

IBC Brief Summary

Area Table	
First Floor	2042sf
Second Floor	1354sf
Third Floor	1354sf
TOTAL	4750sf

Garage	658sf
1st Floor unit	1293sf
2nd and 3rd Floor units	1330sf

	IBC	NFPA
Use	R-2	Residential, Apartment Building
Sprinkler System	NFPA 13R	NFPA 13R
Occupancy Load	23	23
Construction Type	VB	Any construction type
Number of exits	1	1

- IBC**
- 310.1 Residential Group R-2 (3-unit apartment)
 - 310.1 Residential Group R-2 (Apartment Building)
 - Storage Group S-1 (under 10% of Basement accessory use)
 - Utility Group U (Private Garage)
 - 406.1.4 Wall separation between dwelling units and private garage: ½" gypsum minimum
 - 420.2 Walls separating units and uses: fire partitions by 709
 - 420.3 Floors separating units and uses: horizontal assemblies by 712
- 503 R-2 VB 7,000sf 2 stories 40' high
- 504.2 NFPA 13R Sprink. +1 story +20'
3 stories max 60' building height max
- 504.3 Towers, spires and steeples can be 20' taller when of combustible materials. They may NOT be habitable, but MAY be for circulation.
- 508.2.1 Accessory occupancies limited to 10% of building area of story

- 601 No rating requirements
- 602 X=10' No Exterior wall rating
- 705.2 Wall projections are limited in length
- 705.8 10' - 15' UP NS 15% Window openings allowed
- 707.3.1 Fire barriers required for shaft enclosures
- 707.4 Exterior walls that are part of a shaft are rated as exterior wall only.
- 707.5 Continuity from foundation or floor decking to slab or deck above, and continuous through concealed spaces.
- 707.5.1 Supporting construction for 1-hour fire barriers in VB does not need to be rated.
- 708.4 Shaft enclosure requires 1-hr rating for < 4 stories connected
- 708.11 Bottom of shaft shall have equal rating or shall open into space with equal rating
- 709 No walls separating units in flats construction
- 712.3 1-hr horz. assembly separation between dwelling units
- 712.4 Structure supporting horz. assemblies need not be rated in VB & separating dwelling units
- 712.5 Ceiling penetrations, including electrical boxes must be rated according to 713
- 713.4.1.1 Electrical boxes must be listed for use in fire rated assemblies
- 715.4 1-hr door required in 1-hr rated shaft
- 715.4.8 Closer and latch required for fire doors

- 901.6.1 Supervising NFPA 72 service is required for sprinkler systems
- 903.2.8 Sprinkler system required
- 903.3.1.2 NFPA 13R allowed with Group R up to 4 stories
- 903.3.1.2.1 Sprinklers required on exterior under balconies and decks when people occupy the space under the deck.
- 905.3 Standpipe not required in R-3
- 907.2.9.1 No manual alarm system required for 3-story 3-unit
- 907.2.11.2 Smoke Detector locations as shown on plan

- 1003.3.3 Handrails are permitted to protrude 4 ½" from the wall
- 1004.1.1 Residential Occupancy Load
- 200 gross 4542sf 23 occupants
- 1005.1 Min horz. egress width 0.2"/occupant 4.6"
Min stair egress width 0.3"/occupant 6.9"
- 1005.2 Doors in any position shall not reduce the required width by more than 1/2
- Door encroachment doesn't apply in individual dwelling units
- 1006.1 Egress lighting not required within units
- 1006.3 Emergency lighting not required in building required to have only one exit.
- 1008.1.1 Minimum door width of 32" clear or 36" leaf
- Minimum width does not apply to interior doors in dwelling units
- Min door height: 6'-8"
- 1009.1 Min stair width: 36" (due to occ load under 50)
- 1009.2 Stair headroom: 80" min
- 1009.4.2 Max riser height in common spaces: 7"
Min tread depth in common spaces: 11"
- 1009.5 Min landing depth: 36"
- 1009.12 Handrails shall be on both sides of stair (according to 1012)
- 1012.2 Handrails height 34"-38"
- 1013.2 Guards min height 42"
- 1014.3 Common path of travel limit 75"
- 1015.1 One exit is allowed per unit when sprinkled and occupant load is less than 20
- 1016.1 Max exit access travel distance: 250'
- 1021.1 One exit is allowed per unit when sprinkled and occupant load is less than 20
- 1021.2 One exit allowed for entire building by this table

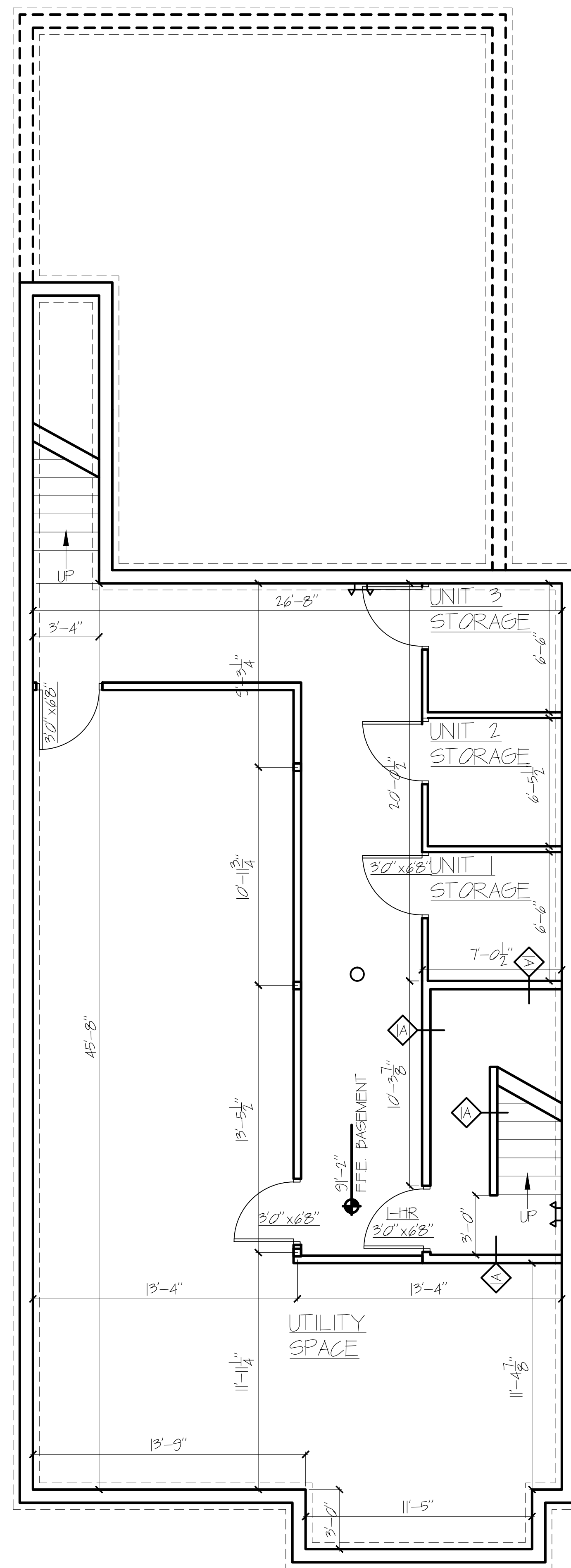
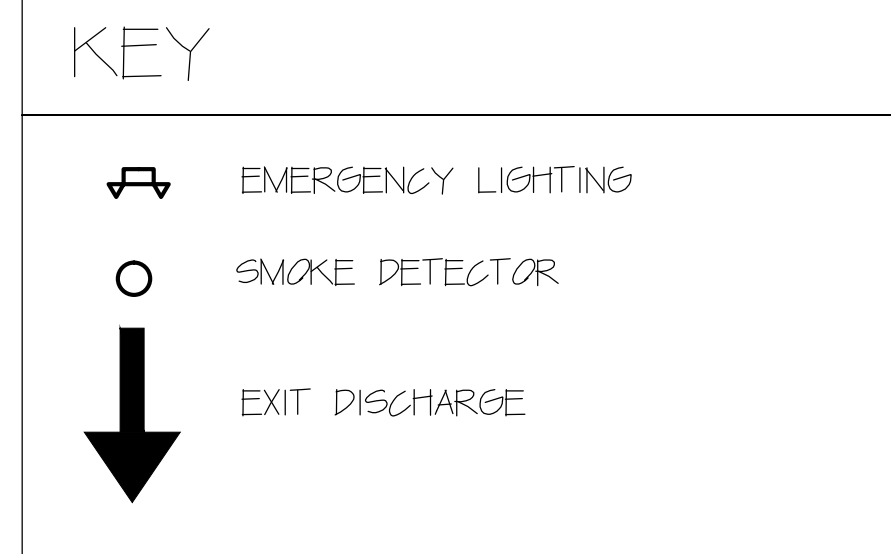
IECC - Climate Zone 6

402.1.1 Fenestration U-Factor	0.35
Ceiling R-Value	49
Wall R-Value	20
Slab R-Value	10

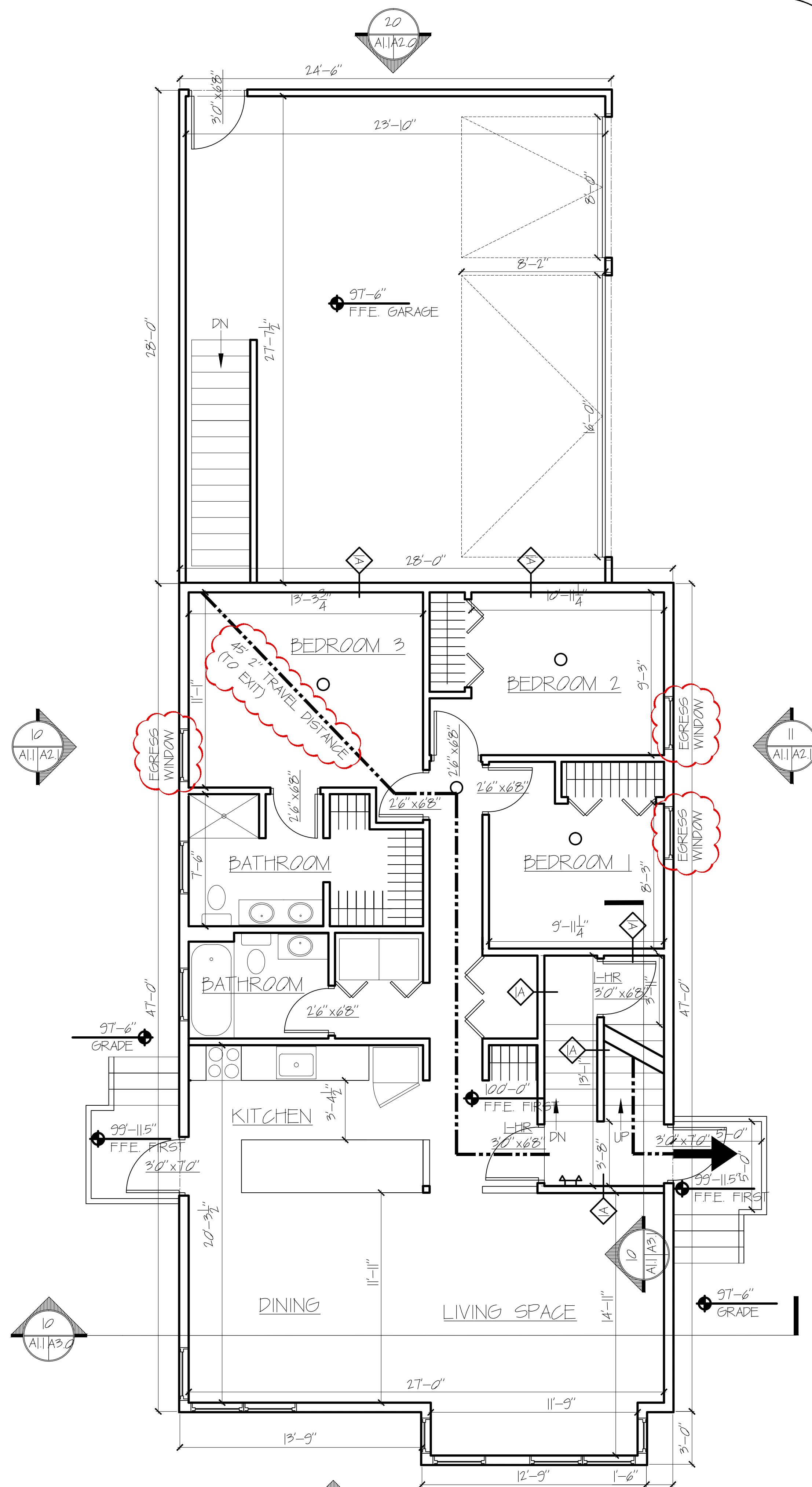
NFPA 101

3.3.32.5 New Building	
6.1.8.1 Residential Occupancy	
6.1.8.1.1 Apartment Building	
6.2.2.3 Ordinary Hazard of Contents	
7.3.1 Occupancy load:	
200 gross 4542sf	23 occupants

ADA ADA does NOT apply
Fair Housing Fair housing does NOT apply (due to less than 4 units)

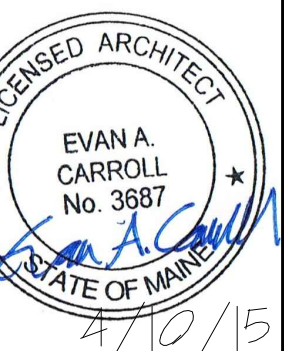


20 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



10 FIRST FLOOR
SCALE: 1/4" = 1'-0"

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PROJECT NO. 15002
PROJECT NAME
WALTON STREET
PORTLAND, ME

REVISIONS

1	6/18/2015
2	
3	
4	
5	

CONSTRUCTION SET

DRAWN BY
EAC

ISSUE DATE
4/10/15

SHEET SCALE
1/4" = 1'-0"

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1.1