

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that Justin Fletcher INC

Located At 24 CARLYLE RD

Job ID: 2011-11-2728-SF

CBL: 140- C-008-001

has permission to Demolish SFH for New SFH Garge to remain
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

11/21/2011

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2728-SF 2011-13138 demo	Date Applied: 11/14/2011	CBL: 140- C-008-001	
Location of Construction: 24 CARLYLE RD	Owner Name: JUSTIN FLETCHER	Owner Address: 2 LANIER LN FALMOUTH, ME 04103	Phone: 207-206-4088
Business Name:	Contractor Name: Fletcher, Justin	Contractor Address: 2 Lanier LN FALMOUTH MAINE 04105	Phone: (207) 206-4088
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - Single family - demolish existing single family - build new single family - #2011-11-2728	Cost of Work: 3000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type: Demos Signature: <i>[Signature]</i>
Proposed Project Description: Demolish existing single family - build new single family #2011-11-2728		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	Zoning Approval		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/conditional</i> <i>11/21/11 ABU</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

PWD - Spoke with Steve - 11-21-11 - Windows 10 main Remote Desktop server disconnected

CMP - all disconnected 11-16-11

Unit 1 - spoke with Barb at school in 1974

Bluer -

Wd Howard's day to Demo
NCD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

1. Pre-Demolition Inspection
2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-11-2728-SF

Located At: 24 CARLYLE RD

CBL: 140- C-008-001

Conditions of Approval:

Zoning

1. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Demolition permits are valid for a period of 30 days from the date of issuance. A written request must be submitted and granted for an extension to this time period. Dust prevention shall be controlled per Chapter 6 of the Municipal Ordinance and demolition per Section 3303 of the IBC 2009.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. **Demolition permit only.** No other construction activities allowed until a separate approved building permit is issued. The foundation hole shall be filled in and the site graded. **Demo permit only! Construction requires separate permits.**



R-3

2011-11-27/3138 272P -

2011-13138

Demolition of a Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>24 Carlyle Rd. Portland ME 04103</u>		
Total Square Footage of Proposed Structure <u>1200 sq. ft. 600² ft. footprint</u>	Square Footage of Lot: <u>5928 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>140</u> Block# <u>C008001</u> Lot#	Owner: <u>Justin Fletcher</u>	Telephone: <u>207-206-4088</u>
Lessee/Buyer's Name (If Applicable) <u>n/a</u>	Applicant name, address & telephone: <u>2 Lanier Ln. Falmouth 04105</u>	Cost Of Work: \$ <u>3000</u> Fee: \$ <u>50</u>
Current legal use: (i.e. garage, warehouse) <u>vacant single family home</u> If vacant, what was the previous use? How long has it been vacant? <u>1+</u> years		
Project description: <u>demolition of current home, preservation of garage, and building of new single family home (blueprint and app. included)</u> <i>New Single Family #201 11-272P</i>		
Contractor's name, address & telephone: <u>same</u>		
Who should we contact when the permit is ready: <u>Justin Fletcher</u>		
Mailing address: <u>same</u> Telephone: <u>same</u>		

11/16/11

Electronic files in pdf format are also required

RECEIVED
NOV 14 2011

Dept of Building Inspections
City of Portland Maine

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>11/14/11</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Demolition Call List & Requirements

Site Address: 24 Cartyle Rd.

Owner: Justin Fletcher

Structure Type: old style cape

Contractor: " "

Utility Approvals	Number	Contact Name/Date
✓ Central Maine Power	1-800-750-4000	<u>n/a Nov. 1 2011</u>
✓ Until	1-207-541-2533	<u>n/a Nov. 1 2011</u>
✓ Portland Water District	761-8310	<u>n/a Nov. 1 2011</u>
Dig Safe	1-888-344-7233	<u>Nov. 1 see approval #</u>

all utilities disconnected

approval #: 20114504111

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>n/a no call back left office notice Nov. 14</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>Carol Nov. 14</u>
Historic Preservation	874-8726	<u>n/a not historic home or neighborhood</u>
✓ DEP – Environmental (Augusta)	287-2651	<u>Steven Nov. 2</u>

Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company
- 5) Electronic files in pdf format are also required in addition to hard copy

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 11/14/11

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

NOTICE OF DEMOLITION

Date 11/7/11

Dear neighbors,

This notice is to inform you that the property, 24 Carlyle Road, which adjoins your property, is to have a building and foundation demolition, commencing within 30 days. All public utilities and environmental protection offices have been notified. If you have any questions or concerns, please call Justin Fletcher at 207-206-4088.

Sincerely,

JUSTIN FLETCHER INC.



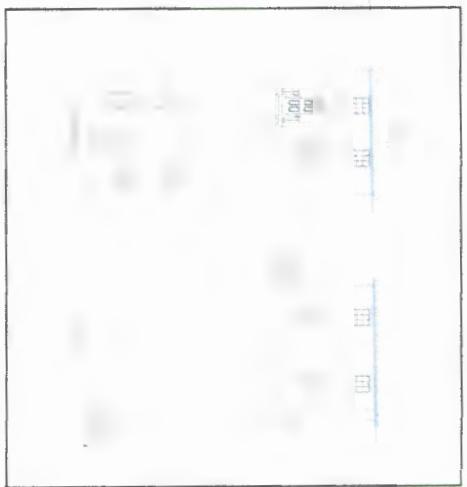
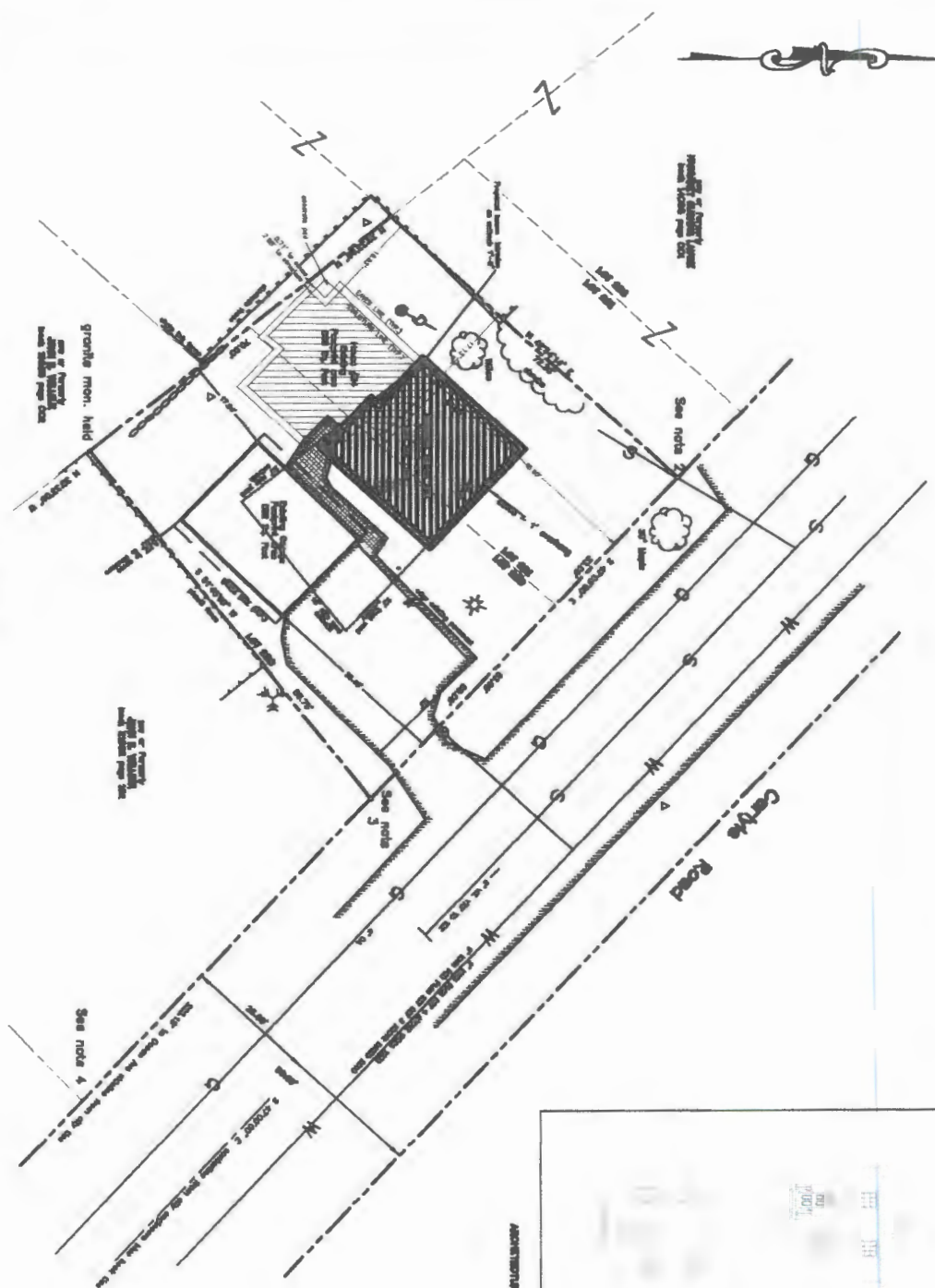
Horse
Foundation











ADDITIONAL ELEVATIONS 1 inch = 20'

PLANS INFORMATION:

1. PLAN OF THIS PROJECT WAS APPROVED BY THE CHICAGO AND COUNTY BOARD OF HEALTH IN PLAN BOOK 14 PAGE 28
2. CITY OF CHICAGO ENGINEER'S OFFICE NO. 1000
3. CITY OF CHICAGO ENGINEER'S OFFICE NO. 1000
4. CITY OF CHICAGO ENGINEER'S OFFICE NO. 1000

GENERAL NOTES:

1. ALL UTILITY LOCATIONS SHOWN FROM CITY ENGINEER'S PLAN BOOK 14 PAGE 28. UTILITY LOCATIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. 1/2" PER FOOT GRADE SHALL BE MAINTAINED.
3. CURBS OF CONCRETE SHALL BE 12" HIGH.
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ROYAL RIVER SURVEY CO.

1425 W. 14TH ST. CHICAGO, ILL. 60604

TELEPHONE: 312-341-1111

FAX: 312-341-1112

WWW.ROYALRIVERSURVEY.COM

PROJECT: 1425 W. 14TH ST. CHICAGO, ILL. 60604

DATE: 10/1/2010

SHEET 1 OF 1

or formerly
MARKET CUSHING LAVOIE
ok 14083 page 001

LOT 202
LOT 201

See note 2

N 42°54'14" E
72.36'
shrubs

17.13'
Willow

36" Maple

N 38°33'00" W
16.83'

EAVES LINE (TYP.)

STRUCTURE LINE (TYP.)

House #24
Existing area
560 Sq. Feet

Proposed House #24
Footprint area
600 Sq. Feet

eaves - 1' overhang

LOT 201
LOT 200

S 47°00'00" E
33.00'

83.00'

50.00'

17.94'

25' rear yard setback

Existing Garage
Footprint area
532 Sq. Feet

16' side yard setback

25' front yard setback

edge existing pavement

31'

26'

