

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that JUSTIN FLETCHER

Located At 24 CARLYLE RD

Job ID: 2011-11-2728-SF

CBL: 140- C-008-001

has permission to build a new Single Family Residence (24 foot by 24 foot) .
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

12/30/2011

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

C of O issued
Please scan me
to G:
Send copy to
Justin Fletcher
All Permits closed

SCANNED

Memorandum
Department of Planning and Urban Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: May 21, 2012

RE: C. of O. for # 24 Carlyle Road, Fletcher Single Family Home
(Id# 2011-11-2728-SF) (CBL 140 C 008001)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a Permanent Certificate of Occupancy.**

Cc: Inspection Services Manager
File: Barbara Barhydt, Development Review Services Manager
File: 1 Solution

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2728-SF	Date Applied: 11/15/2011	CBL: 140- C-008-001	
Location of Construction: 24 CARLYLE RD	Owner Name: JUSTIN FLETCHER	Owner Address: 2 LANIER LANE FALMOUTH, ME 04103	Phone: 207-206-4088
Business Name:	Contractor Name: Fletcher, Justin	Contractor Address: 2 Lanier LN FALMOUTH MAINE 04105	Phone: (207) 206-4088
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family home	Proposed Use: Same - Single family home - demolish existing single family home under separate permit - build new single family home - 24' x 24', two stories	Cost of Work: 180000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/condition <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB MJBEC
Proposed Project Description: New SFH 1.5 bath 3 bedroom		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i>	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands <i>N/A</i>	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Site Plan <i>Level I</i> <i>M w/ residential</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>OK w/condition</i> <i>11/15/11</i>	Date:	Date:

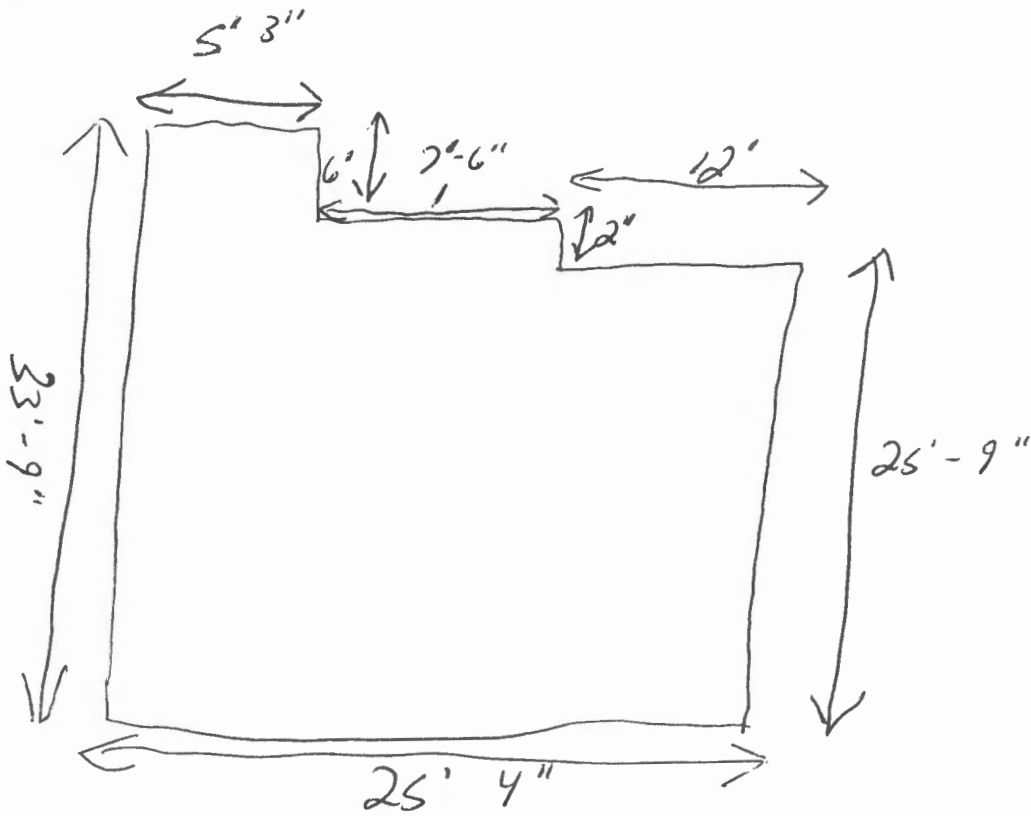
CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12/30/2011 BKL

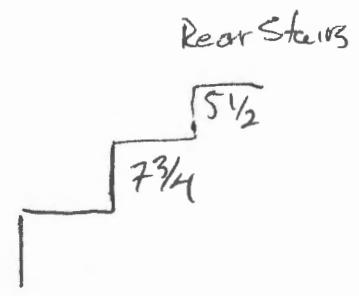
CONTRACTOR will get
a Survey letter



5-18-12 DWM/John Martell Justin 200-4088 Final Fall
 Provide ① Fire sign off ② Basement stair to code ③ SD do not all test
 ④ Avoid access ⑤ Address ⑥ DRC approval ⑦ Survey letter ⑧ Red seal roof
 Framing plan - ~~SEC JOHN~~
 - TAMMY HAS

5-21-12
 JM Fire OK

5-21-12 - VC from 5/18 GF





State of Maine
Department of Public Safety



Fire Sprinkler System Permit

9882

24 Carlyle Road

Located at: 24 Carlyle Road
In the Town of: Portland
Occupancy/Use: Home
Type of System: NFPA 13d

Permission is hereby given to:

Timothy Carland Plumbing & Heating*
205 Allen Avenue
Portland, ME 04103
Contractor License # 733

to begin installation according to plans submittal approved by the Office of State Fire Marshal..
This submittal is filed under log # 2121078 , and no departure from the application submittal shall be made without prior approval in writing. This permit is issued under the provisions of Title 32, Chapter 20, Section 12004-I. Nothing herein shall excuse the holder of this permit from failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. This permit shall be displayed at the construction site or be made readily available.

This permit was issued on 2/29/2012 for a fee paid of \$25.00

This permit will expire at midnight on Monday, August 27, 2012

The expiration date applies only if the installation has not begun by that date and no permission has been granted to extend the date. Once installation begins, then the permit is valid for however long it takes to complete the installation, assuming that the work is fairly continuous.

John E. Morris
Commissioner

The type of Fire Department Connection and its location is to be according to the Local Fire Department

Within 30 days of the completion of a new fire sprinkler system or an addition to an existing fire sprinkler system, a fire sprinkler system contractor shall provide to the Office of State Fire Marshal a copy of this permit signed and dated by the certified Responsible Managing Supervisor representing that the fire sprinkler system has been installed according to specifications of the approved plan to the best of the supervisor's knowledge, information, and belief. This requirement is part of the sprinkler law, and neglect of this duty is grounds to not renew the contractor's license to do work in the State of Maine. All renewed sprinkler licenses are good for two years and expire on a June 30th.

Job completed, tested and verified by date of

5/9/12

RMS for this job: Killeen Thomas J.

RMS Signature: _____



May 21, 2012

Justin Fletcher
2 Lanier Lane
Falmouth, Maine 04105

Re: Foundation Certification – 24 Carlyle Road, Portland, Maine

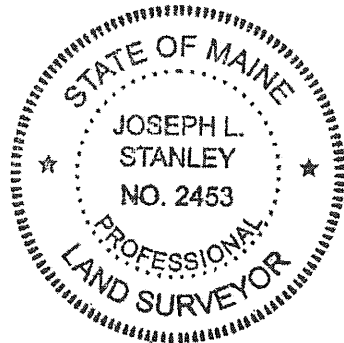
Dear Mr. Fletcher or Whom It May Concern,

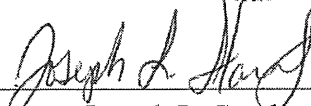
Per request of Justin Fletcher, on May 20, 2012 my firm **LinePro Land Surveying** performed a foundation certification at 24 Carlyle Road in Portland Maine. The certification was for a newly constructed foundation/home on said property. The garage on said property was pre-existing and was not part of this certification.

Based on our field measurements taken on May 20, 2012, the newly poured foundation underneath the living space on said property does meet the stated setbacks. Portions of the poured concrete for the bulkhead area do extend within the rear setback area as far as 4.57 feet. This determination is based on a survey plan supplied by Mr. Fletcher entitled "**Plan of Parcel Boundary Survey 24 Carlyle Road, Portland, Maine Made For MECAP LLC 5 Milk Street, Portland, Maine**" dated August 29, 2011, revised through October 13, 2011, and prepared by Royal River Survey Co. The setbacks utilized were 25 feet on the front & rear, and 16 feet on the sides (for a 2 ½-story building) as stated on the above-referenced survey plan for the Residential 3 zone.

Please let me know if you have any questions, or if you need any additional information.

Thank you,





Joseph L. Stanley, PLS 2453

Date: 5/21/2012

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Foundation wall prior to backfill
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Insulation prior to Close-In
 5. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development

Job ID: 2011-11-2728-SF

Located At: 24 CARLYLE RD

CBL: 140- C-008-001

Conditions of Approval:

Fire

1. All construction shall comply with City Code Chapter 10.
2. A sprinkler system shall be installed.
3. A separate no fee One- or Two-family Fire Sprinkler Permit is required.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
6. **Sprinkler requirements**
 - a. The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
 - b. All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
 - c. Install an NFPA 13D automatic sprinkler system.

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
4. The setbacks for the bulkhead, rear entry stairs and front porch are all being approved using section 14-425.

DRC

1. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
2. The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent monumentation/pins identifying property corners.



3. A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
4. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
5. The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
6. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
7. All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions ie., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.
8. Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.
9. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
10. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Glass glazing required adjacent to stairways when exposed surface of the glass is less than 60 inches above the nose of the tread.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.

Job ID: 2011-11-2728-SF Located At: 24 CARLYLE RD CBL: 140- C-008-001

5. Ventilation of this space is required per ASRAE 62.2 , 2007 edition.
6. Roof Rafter framing and Connection shall comply with Section R802.3 & R802.3.1 of MUBEC. **Note: Contractor is amending the permit prior to construction and will submit full Roof/ Dormer Framing Details; the I Floor Joist will be clear-span without a center Girder; this permit does not approve the Deck Construction- further information/ approval(s) are required; the Building Envelope will comply with our Energy Standards.**

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1))	" 24 x 8" w/ 8" slab 4" slab wal	① <u>Approved</u> <u>okay</u>
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Bituminous coating Pref Pipe	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" Bolts 6'-0" o.c.	② w/ 12" of corner <u>okay</u>
Lally Column Type (Section R407)		clear - space
Girder & Header Spans (Table R 502.5(2))	Ref. Table R502.5(1)	<u>okay</u>
Built-Up Wood Center Girder Dimension/Type	N/A	
Sill/Band Joist Type & Dimensions	2 x 6" P.T.	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	14" I-Joist @ 16" o.c.	③ Specs Needed.
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	"	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	"	

<p>Type of Heating System</p>		
<p>Means of Egress (Sec R311 & R312)</p>		
<p>Basement</p>	<p>Bulkhead</p>	<p>okay</p>
<p>Number of Stairways</p>		
<p>Interior</p>		
<p>Exterior</p>		
<p>Treads and Risers (Section R311.5.3)</p>	<p>7 9/16 x 7 3/8 x 10"</p>	<p>okay</p>
<p>Width (Section R311.5.1)</p>	<p>4'-0"</p>	
<p>Headroom (Section R311.5.2)</p>	<p>6'-8"</p>	<p>okay</p>
<p>Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)</p>	<p>3 6-38" Rail</p>	
<p>Smoke Detectors (Section R313) Location and type/Interconnected</p>	<p>"See Notes"</p>	<p>okay ④ CO Required</p>
<p>Dwelling Unit Separation (Section R317) and IBC - 2009 (Section 1207)</p>	<p>N/A</p>	
<p>Deck Construction (Section R502.2.1)</p>	<p>2x8" PT. @ 16" o.c. Beam</p>	<p>⑤</p>

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8 ¹² / Trusses @ 24" O.C.	(3) Specs Needed
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Floor: 3/4 Wall: 7/16 Roof: 5/8	Okay
Fastener Schedule (Table R602.3(1) & (2))	Ref. R602.3(1)	Okay
Private Garage (Section R309) Living Space? (Above or beside)	N/A	
Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	"Egress Shown"	(4)
Roof Covering (Chapter 9)	30 Yr. Arch.	Okay
Safety Glazing (Section R308)		
Attic Access (Section R807)	Not Shown	(5) Required 22 x 30
Chimney Clearances/Fire Blocking (Chap. 10)		
Header Schedule (Section 502.5(1) & (2))		
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration		(6)

Jonathan Rioux - RE: 24 Carlyle Rd

From: Jonathan Rioux
To: justinfletcher1@hotmail.com
Date: 12/14/2011 10:27 AM
Subject: RE: 24 Carlyle Rd

Justin,

The items below are needed prior to bld. permit issuance:

- Footing Dimensions/ Depth, plan indicates "Typical"
- Anchor Bolts @ Corners (Section R403.1.6)
- Are the I joist on both levels & clear span to the exterior walls?
- Attic Access
- Dormer Framing Detail (Cross-Section)
- Framing Detail for Deck w/ Beam spacing between 10 inch tubes

Keep in mind... the door swing during construction for the stairwell.

R311.7.5 Landings for stairways. There shall be a floor or landing at the top and bottom of each stairway.

Exception: A floor or landing is not required at the top of an interior flight of stairs, including stairs in an enclosed garage, **provided a door does not swing over the stairs.** A flight of stairs shall not have a vertical rise larger than 12 feet (3658 mm) between floor levels or landings. The width of each landing shall not be less than the width of the stairway served. Every landing shall have a minimum dimension of 36 inches (914 mm) measured in the direction of travel.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

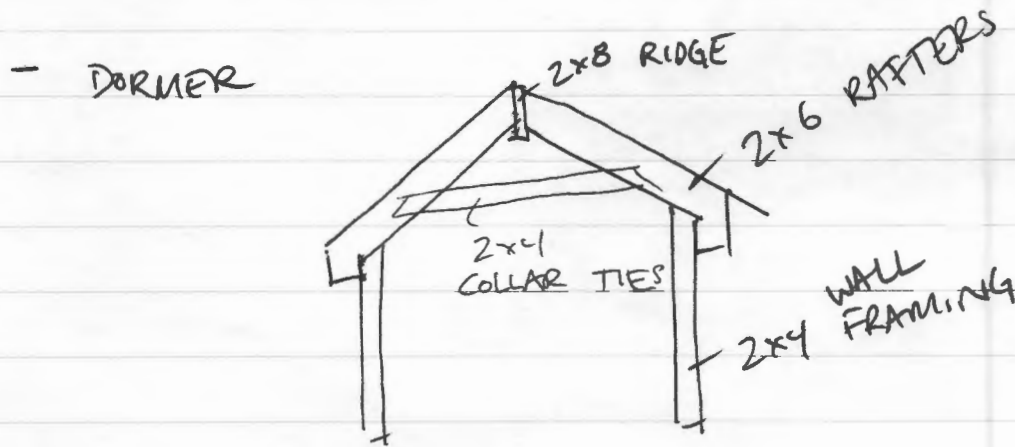
City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

RE: 24 Carayle

JUSTIN FLETCHER 206-4088

TRYING TO AMEND BUILD PERMIT APPLICATION TO MEET REQUIREMENTS. COULDN'T LOCATE PLANS.

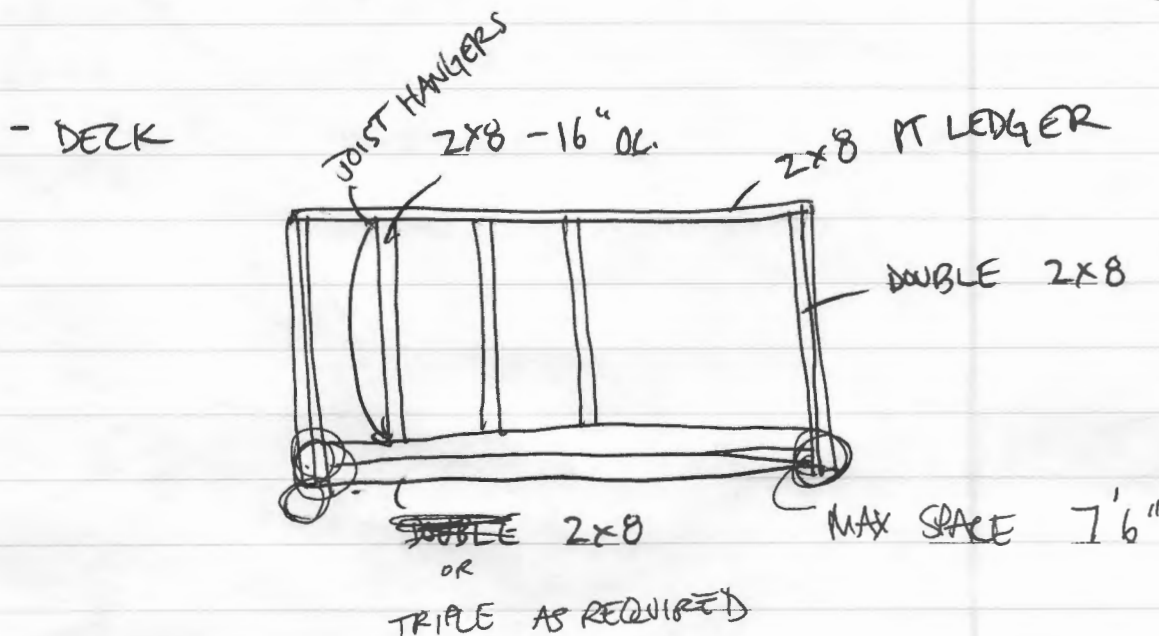
- 24" FOOTINGS x 8"
- ANCHOR BOLTS WILL BE ADDED TO CORNERS 12"
- ATTIC ACCESS WILL BE PUT IN UPSTAIRS HALL



RECEIVED

DEC 15 2011

Dept. of Building Inspections
City of Portland Maine



2011 11 ~~3157~~ 2-28

Location/Address of Site: 24 Carlyle Rd. Portland ME 04103		
Total Square Footage of Proposed Structure/Area: 1200 sq. ft. 600 sq. ft. footprint	Area of lot (total square feet): 5928 sq. ft.	Number of Stories: 2 1/2
Tax Assessor's Chart, Block & Lot(s) Chart# Block # Lot# 111111 140 C008001	Fees Paid: (for Office Use Only) Site Plan _____ Building Permit _____ Inspection _____	Cost of Work: Work: \$180,000 C of O Fee \$ _____
Current Legal Use: Number of residential Units 1 single family	If vacant, previous use? same	Is property part of a subdivision? no If yes, please name: _____
Proposed Use and Project Description: to build new single family residential unit		
Applicant – must be owner, Lessee or Buyer Name: Justin Fletcher Business Name, if applicable: Justin Fletcher Inc. Address: 2 Lanier Lane City/State: Falmouth Zip Code: 04105		Applicant Contact Information Work # 207-206-4088 Home# _____ Cell # _____ e-mail: justinfletcher1@hotmail.com
Owner – (if different from Applicant) Name: _____ Address: _____ City/State: _____ Zip Code: _____		Owner Contact Information Work # _____ Home# _____ Cell # _____ e-mail: _____ NOV 15 2011 Dept. of Building Inspections City of Portland Maine
Agent/ Contractor Name: same Address: _____ City/State: _____ Zip Code: _____		Agent/Contractor Contact Information Work # _____ Home# _____ Cell # _____ e-mail: _____
Billing Information Name: _____ Address: same City/State: _____ Zip Code: _____ Phone Number: _____		Contact when Building Permit is Ready: Name: _____ Address: _____ City/State: _____ Zip Code: _____ Phone Number: _____

Already - 1-5-3

This is not a permit; you may not commence any work until the permit is issued.

General Submittal Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		3 (1 paper copy as of Dec. 1)	Completed application form and check list.
✓		1	Application fees.
✓		3 (1 paper copy as of Dec. 1)	Evidence of right, title and interest.
n/a ✓		3 (1 paper copy as of Dec. 1)	Copies of required state and/or federal permits.
n/a ✓		3 (1 paper copy as of Dec. 1)	Written Description of existing and proposed easements or other burdens.
n/a ✓		3 (1 paper copy as of Dec. 1)	Written requests for waivers from individual site plan and/or technical standards.
✓		3 (1 paper copy as of Dec. 1)	Evidence of financial and technical capacity.
✓		3 (1 paper copy as of Dec. 1)	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

Site Plans and Boundary Survey Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		3 (1 paper copy as of Dec. 1)	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
✓			▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
✓			▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
✓			▪ Location and dimension of existing and proposed paved areas.
✓			▪ Proposed ground floor area of building.
✓			▪ Finish floor elevation (FEE) or sill elevation.
✓			▪ Exterior building elevations (show all 4 sides).
✓			▪ Existing and proposed utilities (or septic system, where applicable)
✓			▪ Existing and proposed grading and contours.
✓			▪ Proposed stormwater management and erosion controls.

STATUTORY WARRANTY DEED

Royal River Development Company, a Maine corporation with a principal place of business in the Town of Windham, County of Cumberland and State of Maine;

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

Justin M. Fletcher Inc., a Maine Corporation with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of 99 Wellington Road, Portland, Maine 04103,

A certain lot or parcel of land, with any buildings and improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine, on the southwesterly side of Carlyle Road, and being Lot No. 200 as shown on Plan of Woodfords Park, recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 32.

Also, a strip of land adjacent to and northwesterly of said Lot No. 200, being a strip of land off the southwesterly side of Lot No. 201, as shown on said plan above referred to; said strip of land being thirty-three (33) feet wide on Carlyle Road and thirty-three and fifty-eight hundredths (33.58') feet wide on the rear of said Lot No. 201, as recorded in said plan.

Being the same premises conveyed to Grantor herein by deed of Stara Vyzhva Homes, LLC, dated June 20, 2011, and recorded at the Cumberland County Registry of Deeds in Book 28773, Page 145.

IN WITNESS WHEREOF, the said Royal River Development Company has caused this instrument to be signed in its corporate name and sealed with its corporate seal by Alan E. Wolf, its Authorized Agent, thereunto duly authorized this 28th day of October, 2011.

Diane R. Snow

Royal River Development Company

By: Alan E. Wolf
Alan E. Wolf
Its Authorized Agent

STATE OF MAINE
CUMBERLAND, SS.

Date: October 28, 2010

Then personally appeared the above-named Alan E. Wolf, Authorized Agent of of Royal River Development Company as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Darcy L. Needham
Notary Public, Maine
Commission Expires January 26, 2016

Before me,
Darcy L. Needham

Attorney at Law/Notary Public
Print Name: _____
My Commission Expires: _____

Applicant: Justin Fletcher

Date: 11/17/11

Address: 24 Carlyle Rd

C-B-L: 140-C-008

perm # 2011-11-2725

CHECK-LIST AGAINST ZONING ORDINANCE

plans site plan received 12/15/11

Date - demolished existing home - new single family

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - Old single family was demolished. build new, two story single family home, 24x24 w/ 12'x2' bump out in rear

57' detached garage existing.
Sewage Disposal - public

Lot Street Frontage - 50' min - 83' given (OK)

Front Yard - 25' min - 25' scaled (OK) to building - front porch - 8'x4' 8'x15' (OK)

Rear Yard - 25' min - 25' scaled (OK) but shed can't be more than 6' at (OK) section 14-4-11

Side Yard - 2 stripes 14' - 16' scaled on right 36' " " left

Projections -

Width of Lot - 65' min - 74.5' scaled

Height - 35' max - 24' scaled (OK)

Lot Area - 6500 sq ft min - 5972 sq ft - OK been a single family home

Lot Coverage/ Impervious Surface - 35% - 2090.2 sq ft

Area per Family - 6,500 sq ft - (OK)

Off-street Parking - 2 spaces required - ~~extra~~ garage 20'x26'

Loading Bays -

Site Plan - Level I Minor Residential

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

1" overhang of eaves (OK)

rear steps 5' x 1.75' = 8.75

butthead 6' x 5.33' = 31.98

haze 24' x 24' = 576

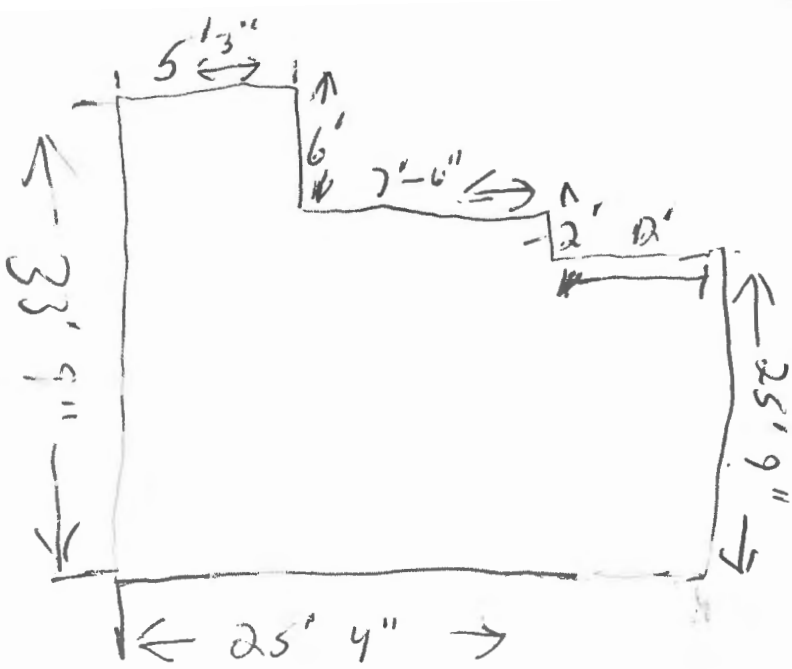
2 x 12' = 24

perm shps. 8' x 5' = 40

1.67 x 4.5' = 7.5

653.46 sq ft

5' 7.5' x 7.5' =

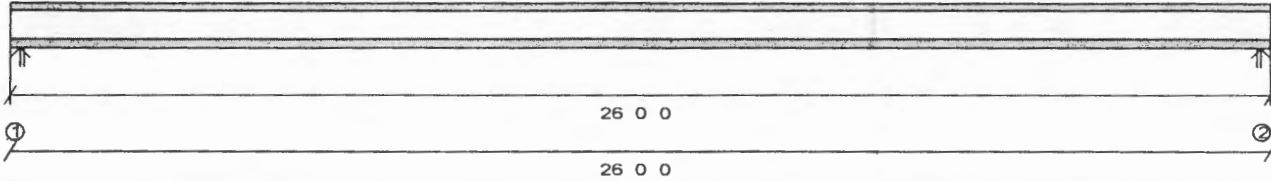


Will get survey letter
 Fosting or BK2
 12/30/2011

KeyBeam® 4.507f
kmBeamEngine 4.509p
Materials Database 1302

Member Data

Description: Member Type: Joist Application: Floor
 Top Lateral B ricing: Continuous
 Bottom Lateral B ricing: Continuous
 Moisture Condition: Dry Building Code: IBC / IRC
 Standard Load: Deflection Criteria: L/480 live, L/240 total
 Dead Load: 12 PSF Deck Connection: Glued & Nailed
 Live Load: 40 PSF Filename: KYB1



Bearings and Reactions

	Location	Type	Material	Input Length	Min Required	Gravity Reaction	Gravity Uplift
1	0' 0.000"	Wall	Spruce-Pine-Fir	3.500"	1.750"	886#	--
2	25' 6.750"	Wall	Spruce-Pine-Fir	3.500"	1.750"	886#	--

Maximum Load Case Reactions

Used for applying point loads (or line loads) to carrying members

	Dead	Live
1	205#(153plf)	682#(511plf)
2	205#(153plf)	682#(511plf)

Design spans
25' 6.750"

Product: 14" NI-80 16.0" O.C.
 Component Member Design has Passed Design Checks.**
 Design assumes continuous lateral bracing along the top chord.
 Design assumes continuous lateral bracing along the bottom chord.
 Lateral support is required at each bearing.

Allowable Stress Design

	Actual	Allowable	Capacity	Location	Loading
Positive Moment	5663. #	8405. #	67%	12.78'	Total load D+L
Shear	886. #	1730. #	51%	0'	Total load D+L
End Reaction	886. #	1550. #	57%	0'	Total load D+L
TL Deflection	0.8035"	1.2781"	L/381	12.78'	Total load D+L
LL Deflection	0.6180"	0.6391"	L/496	12.78'	Total load L

Control: LL Deflection
 DOLs: Live=100% Snow=115% Roof=125% Wind=160%

All product names are trademarks of their respective owners



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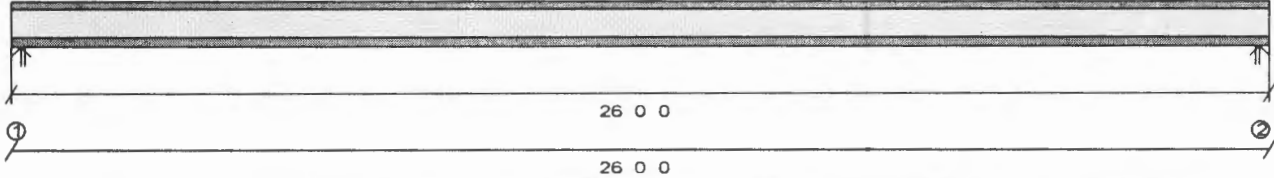
**Passing is defined as when the member, floor joist, beam or girder, shown on this drawing meets applicable design criteria for Loads, Loading Conditions, and Spans listed on this sheet. The design must be reviewed by a qualified designer or design professional as required for approval. This design assumes product installation according to the manufacturer's specifications.

Mike Andrews
 Hancock Lumber
 116 Portland Road
 Bridgton, ME 04009
 207-647-2090
 mandrews@hancocklumber.com

KeyBeam® 4.507f
 kmBeamEngine 4.509p
 Materials Database 1302

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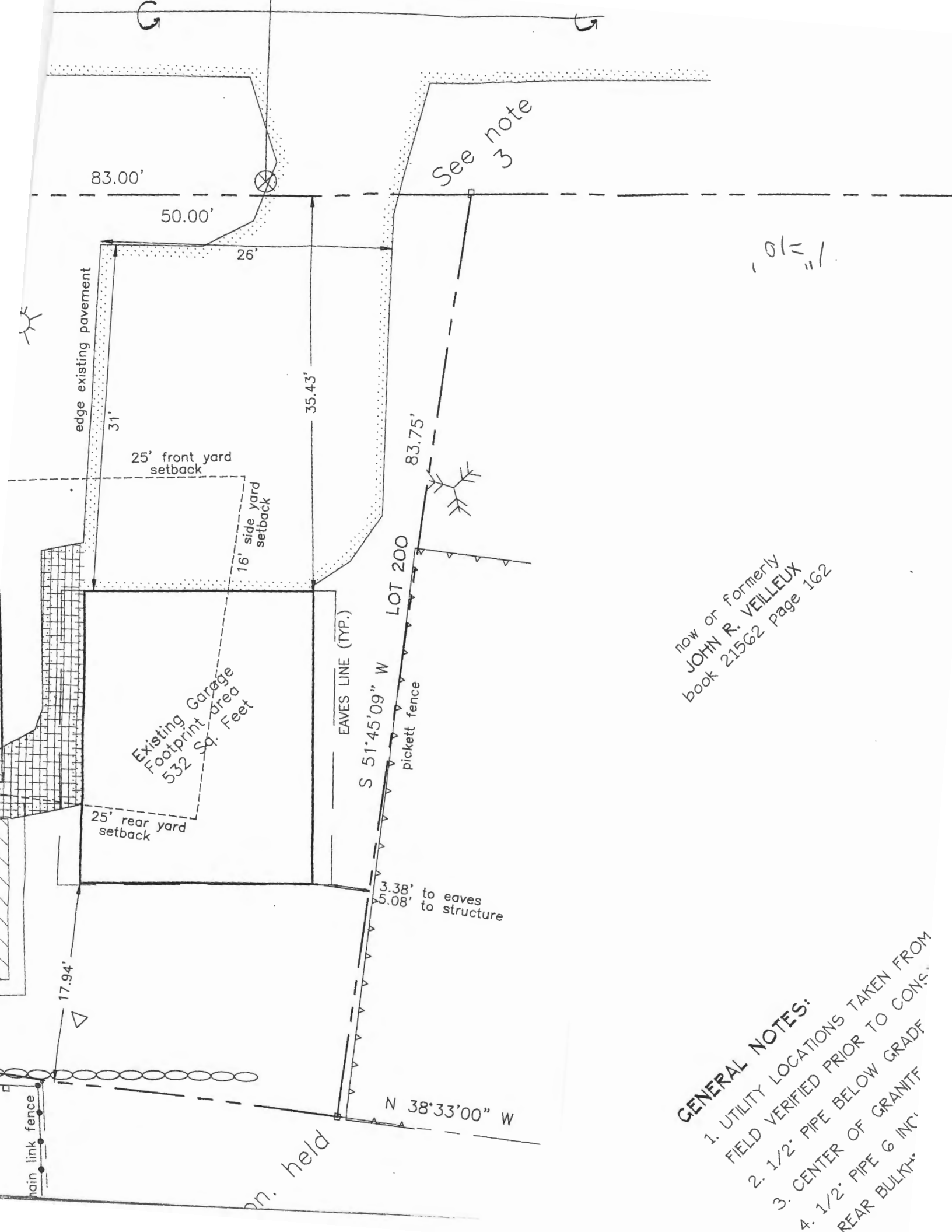
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 207-647-2090
mandrews@hancocklumber.com



See note
3

01 = 11

now or formerly
JOHN R. VEILLEUX
book 21562 page 162

- GENERAL NOTES:**
1. UTILITY LOCATIONS TAKEN FROM FIELD VERIFIED PRIOR TO CONS.
 2. 1/2" PIPE BELOW GRADE
 3. CENTER OF GRANITE REAR BULKH
 4. 1/2" PIPE 6 INC

on. held

main link fence

N 38°33'00" W

3.38' to eaves
5.08' to structure

S 51°45'09" W

LOT 200

pickett fence

EAVES LINE (TYP.)

Existing Garage
Footprint area
532 Sq. Feet

25' rear yard setback

16' side yard setback

25' front yard setback

edge existing pavement

83.00'

50.00'

26'

35.43'

31'

83.75'

17.94'



WELLINGTON RD

CARLYLE RD

OCEAN AVE

GEORGE ST

WALTON ST

141 C035

141 C018

140 C002

140 C022

138 B010

138 D013

140 A029

140 A028

140 A027

140 A026

140 A006

140 A007

140 A008

140 A009

140 A010

140 A011

140 A012

140 B001

140 B003

140 B004

140 B005

140 B006

140 B007

140 B008

140 B009

140 B010

140 B011

140 B012

140 B013

140 B014

140 B015

140 B016

140 B017

140 E008

140 E002

140 E003

140 E024

140 E023

140 B028

140 B026

140 B030

140 B025

140 B024

140 B023

140 B022

140 B021

140 B020

140 B019

140 B018

140 B017

140 C019

140 C005

140 C004

140 C007

140 C008

140 C009

140 C025

140 C027

2 - 110
1 - 109

140 C010

194 - 208
193 - 207

140 C014

140 C018

140 C013

140 C020

140 C021

140 C011

140 C012

2 - 58
1 - 57

140 F001

140 F022

140 F002

140 F003

2 - 126
1 - 125

180 - 192
179 - 191

138 D016

138 D012

138 D011

138 D017

IMPORTANT NOTICE FROM CITY OF PORTLAND

To residents and property owners: A Level 1: Minor Residential Development application was submitted to the Portland Planning Division by Justin Fletcher for a new single family home at 24 Carlyle Road.

In accordance with the Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administratively by City Staff.

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you have any questions or wish to submit comments, contact the Planning Division at 874-8719 or email jmy@portlandmaine.gov

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Labels Requested For CBL:

140 B019

140 B021

140 B022

140 C007

140 C008

140 C011

COTE MATTIE &
MICHAEL D JTS
19 CARLYLE RD
PORTLAND, ME 04103

DIBIASE JOHN G &
MARILYN L JTS
27 CARLYLE RD
PORTLAND, ME 04103

LAVOIE MARGARET CUSHING
28 CARLYLE RD
PORTLAND, ME 04103

LORING PAMELA S
23 CARLYLE RD
PORTLAND, ME 04103

ROYAL RIVER DEVELOPMENT
COMPANY
24 CARLYLE RD
PORTLAND, ME 04103

VEILLEUX JOHN R
196 OCEAN AVE
PORTLAND, ME 04103



PROJECT
FUNDING BY
MILKST CAPITAL
207-358-7900
smatthews@milkstreet
capital.com



General Building Permit Application

Entered 2/9/12

(B)

Permit # 2011-11-2728 SF

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Amend: ~~2011-11-2728 SF~~ 2012-40674

Location/Address of Construction: <u>24 CARLYLE RD</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>140 C008 001</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone: "
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>See original permit</u> C of O Fee: \$ <u>Cost Savings</u> Total Fee: \$ <u>30.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>NEW CONSTRUCTION Original Permit 2011-11-2728 RECEIVED</u> <u>- Change framing details, relocate front steps off sidewalk of porch, reframe</u> FEB 08 2012		
Contractor's name: <u>JMF INC</u>		
Address: <u>2 LANIER LN.</u>		Dept. of Building & Construction City of Portland
City, State & Zip: <u>FALMOUTH, ME 04105</u>		Telephone: <u>(207) 206-4088</u>
Who should we contact when the permit is ready: <u>N/A</u>		Telephone: _____
Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 2/8/12

This is not a permit; you may not commence ANY work until the permit is issued

Revised 01-20-10 - FRAMING AMENDMENT
- DECK AMENDMENT



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

2/8 2012

Received from JMF

Location of Work 24 Carlyle

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ 30.00 Site Fee: _____

Certificate of Occupancy Fee: _____

Amend

Total: 30.00

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 140 Co08 001

Check # 177537

RECEIVED
FEB 08 2012
Dept. of Building Inspections
City of Portland, Maine

Total Collected \$ 30.

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: (CS)

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

2/8 20 12

Received from JMF

Location of Work 24 Carlyle Rd

Cost of Construction \$ _____ Building Fee: 0

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Original permit fee \$39

Total: _____

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other Amendment

CBL: _____

Check #: _____ Total Collected \$ _____

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: Bj

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



Certificate of Occupancy



CITY OF PORTLAND, MAINE
Department of Planning and Urban Development
Building Inspections Division

Location: 24 CARLYLE RD

CBL: 140- C-008-001

Issued to: JUSTIN FLETCHER

Date Issued: 5/21/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-11-2728-SF, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

SINGLE FAMILY RESIDENCE
USE GROUP: R3
TYPE: 5B
IRC 2009

Approved:

5-21-2012

(Date)

Inspector

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.