

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that KATHRYN J & PETER STEAD

Located At 50 GLECKLER RD

Job ID: 2011-03-616-ADDR

CBL: 140 - - A - 004 - 001 - - - -

has permission to Extend existing deck 7' x 45"

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-03-616-ADDR	Date Applied: 3/15/2011	CBL: 140 - - A - 004 - 001 - - - - -	
Location of Construction: 50 GLECKLER ROAD	Owner Name: KATHRYN J & PETER STEAD	Owner Address: 50 GLECKLER RD PORTLAND, ME - MAINE 04103	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single Family Dwelling	Proposed Use: SAME: Single Family Dwelling - to add 3.75' x 7' extension to the existing deck	Cost of Work: 1000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: VB Signature: [Signature]
Proposed Project Description: 50 Gleckler Road - extend deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with Conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	CERTIFICATION <i>3/22/11</i>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-03-616-ADDR

Located At: 50 GLECKLER

CBL: 140 - - A - 004 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
4. Separate permits shall be required for future decks, sheds, pools, and/or garages.

Building

1. Provide double 2x8 girders.
2. Provide positive bearing at girder/post connection.
3. Provide "Deck lateral load connection" in conformance with IRC 502.2.2.3
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

HOUSE

EXISTING DECK.

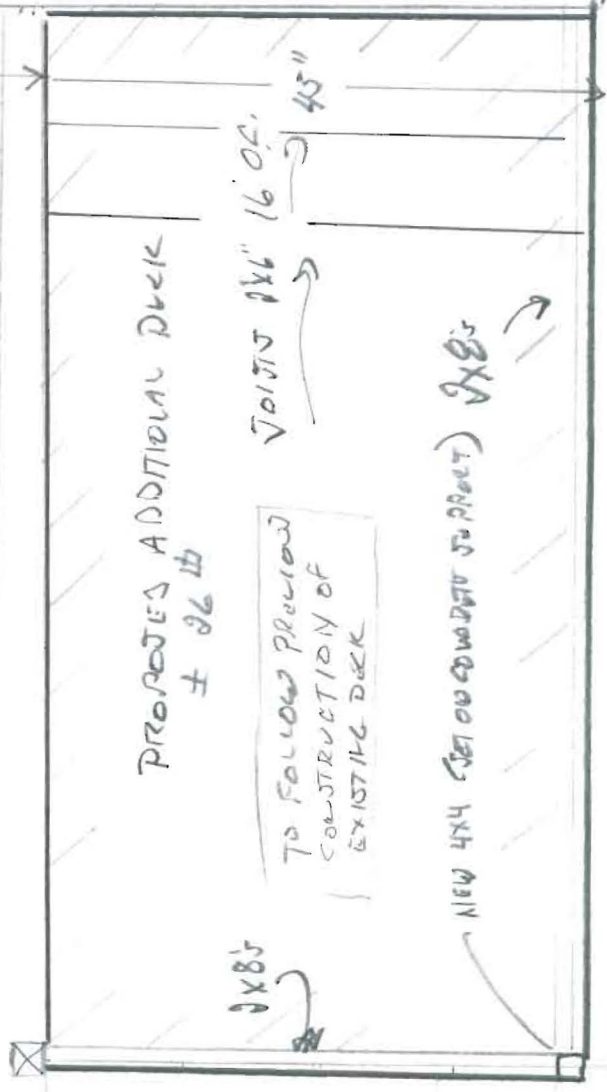
50 GLECKLER RD
PORTLAND OREGON

ALL RAILINGS 38" HIGH
NO OPENING GREATER THAN 4"

± 0 0 0 ±

63"

EXISTING
STUD
STUD
STUD



PROPOSES ADDITIONAL DECK
± 26 IN

TO FOLLOW PREVIOUS
CONSTRUCTION OF
EXISTING DECK

NEW 4x4 (SEE ORDNANCE TO PROJECT) 2x8's

JOISTS 16" 16" OF
45"

48'

71

→

←

←

OVER HEAD
VIEW

11 1/2'

EXISTING STRUCTURE

EXISTING
DOOR

Existing Deck

5'

9'

Existing Stairs

5- 6 STEPS

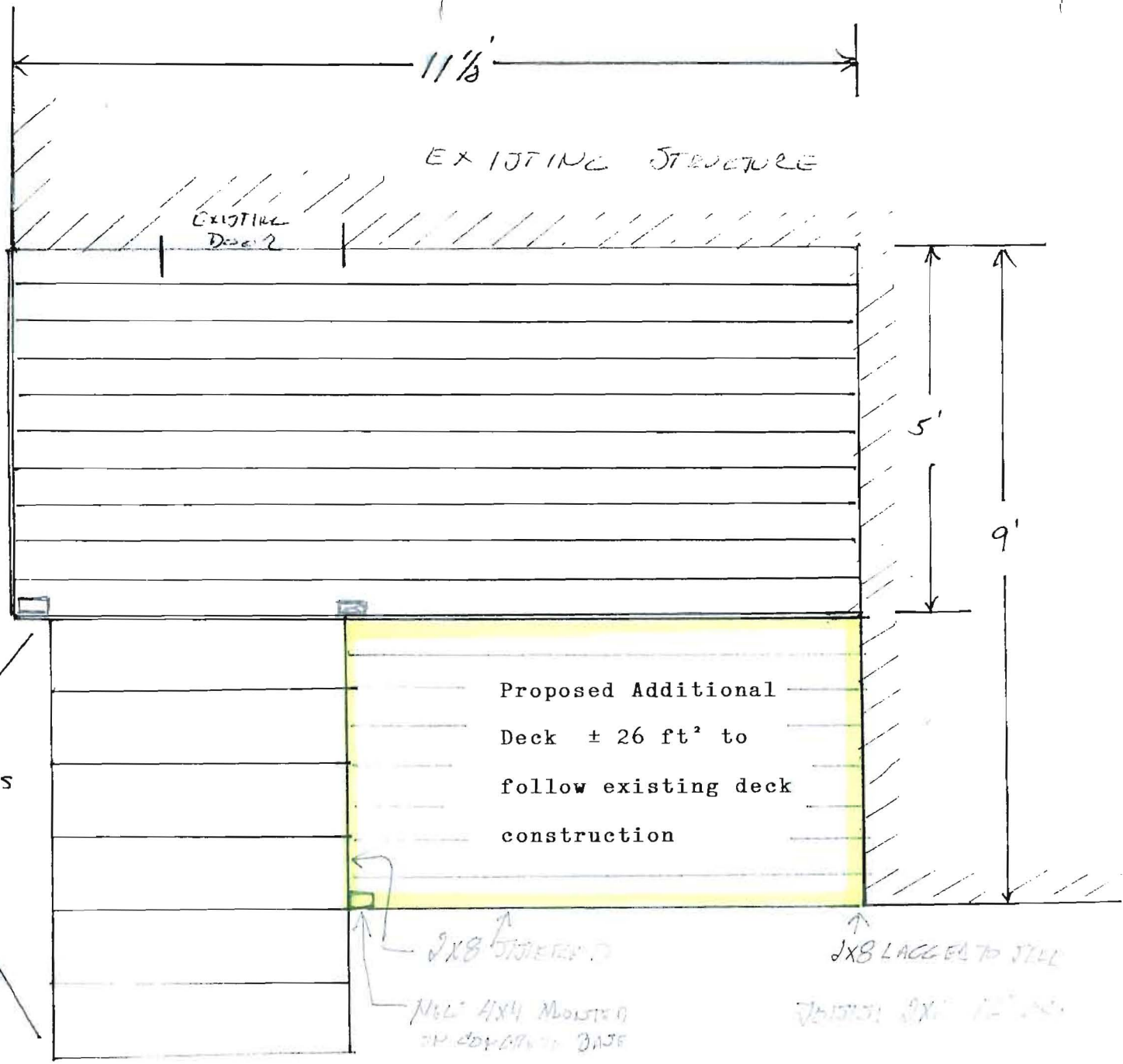
Proposed Additional
Deck ± 26 ft² to
follow existing deck
construction

2x8 JOISTED

2x8 LAGGED TO JILL

NEW 4x4 MOUNTED
ON CONCRETE BASE

JOISTED 2x12 JOIST





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>50 GLECKLER RD</u>		
Total Square Footage of Proposed Structure/Area <u>~ 26 #</u>	Square Footage of Lot <u>5250</u>	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>140 A 4</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Address City, State & Zip	Telephone: <u>774-2468</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>PETER STEAD</u> Address <u>50 GLECKLER RD</u> City, State & Zip <u>PORTLAND</u> <u>04103</u>	Cost Of Work: \$ <u>300.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>SFR</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>DECK</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>extending existing deck - 26 # - 7'x45" 3.75' x 7' = 26.25 #</u>		
Contractor's name: <u>DWPER</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>DWPER</u> Telephone: <u>774-2418</u> Mailing address: <u>JEG ABAL</u>		

please call

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 15 MAR 11

This is not a permit; you may not commence ANY work until the permit is issued

Came in 3/15/11

Job Summary Report
Job ID: 2011-03-616-ADDR

Report generated on Mar 22, 2011 11:24:03 AM

Page 1

Job Type:	Addition Residential SF	Job Description:	50 Gleckler Road	Job Year:	2011
Building Job Status Code:	In Review	Pin Value:	906	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	1,000	Square Footage:			
Related Parties:		KATHRYN J STEAD		<i>Property Owner</i>	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 20616

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
S47716	140 A 004 001		M				-70.281115	43.679926

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				50 GLECKLER ROAD EAST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE					DISTRICT 5	WOODFORDS

R-3

Structure Details

Structure: Single Family Home

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			50 GLECKLER ROAD EAST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property Value
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Permit #: 20112021

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
20616	Single Family Home	Initialized	Extend existing deck 7' x 45"			

Inspection Details

ERROR generating document - DATA could not be merged

Job Summary Report
Job ID: 2011-03-616-ADDR

Report generated on Mar 22, 2011 11:24:03 AM

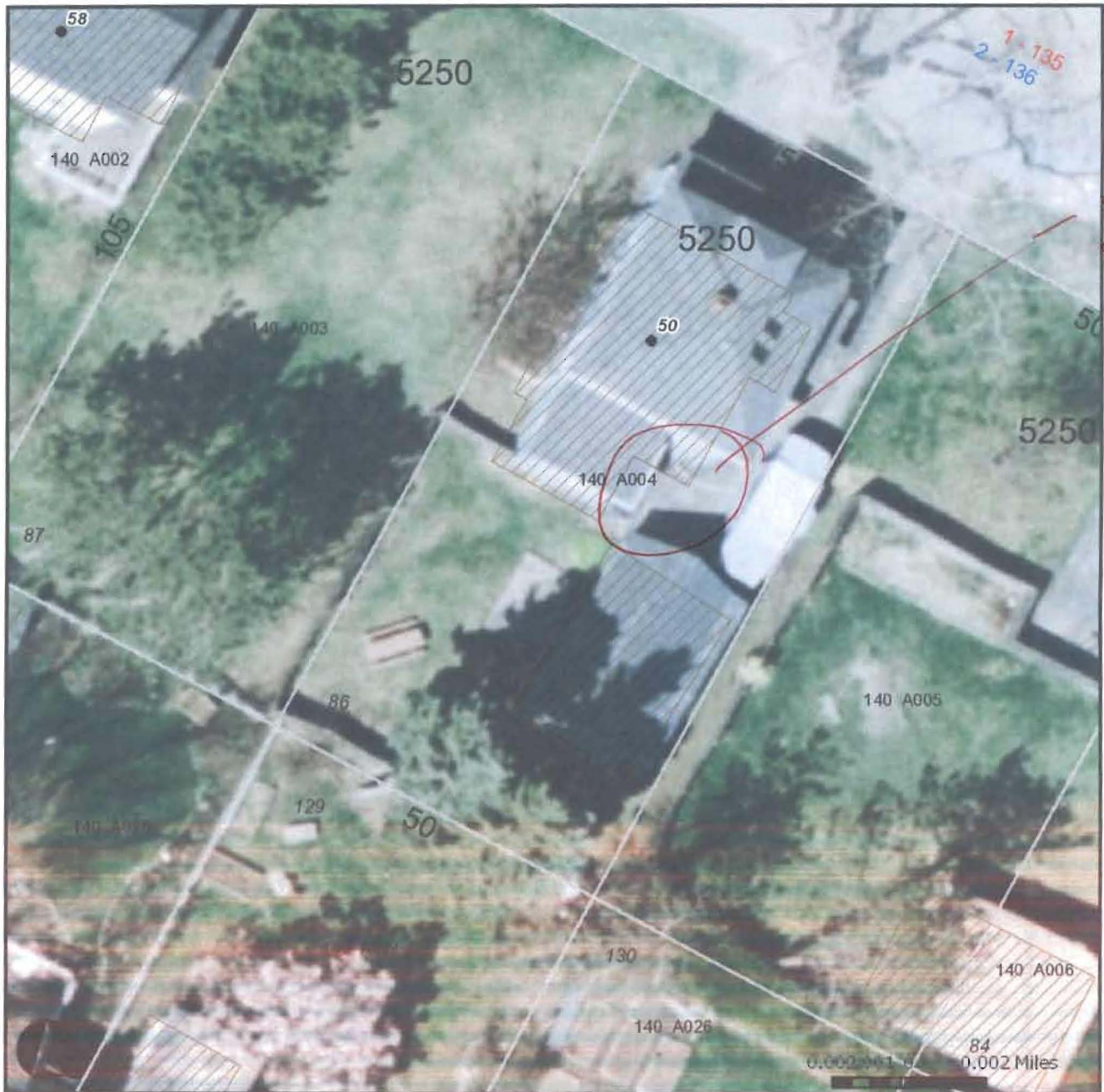
Page 2

<u>Inspection Id</u>	<u>Inspection Type</u>	<u>Inspection Result Status</u>	<u>Inspection Status Date</u>	<u>Scheduled Start Timestamp</u>	<u>Result Status Date</u>	<u>Final Inspection Flag</u>
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Fees Details

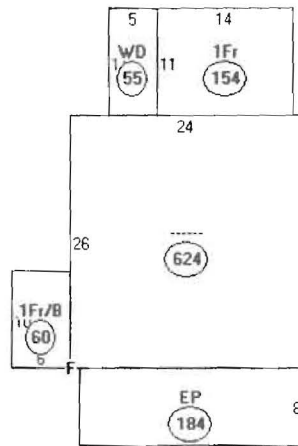
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$30.00							

Map



Approx
new
Deck
location

Interstate □	Stream —	County Streets —A15 —A21 —A31	ME Towns □ Land □ Water Body
Streets	Wetland □ swamp	Photos 2006 (islands) ■ Red:Band_1 ■ Green:Band_2	Ocean □
Buildings □ Building □ Out Building	Lake/Pond □ under_road □ waterbody		
Parcels			



Descriptor/Area
A:.....
624 sqft
B: 1Fr/B
60 sqft
C: 1Fr
154 sqft
D: EP
184 sqft
E: WD
55 sqft
F: RG1
378 sqft

Ex. Gmg
= 14x27

624
60
154
184
55
378

$5250 \# \times 35\% = 1837,5 \#$

~~Handwritten scribbles~~

26.25 New Deck
8.75 x 21

1481.25

R-3

Front: N/A

REAR: 25' min - 26' + shown

Side: 8' min - 15' shown

EXISTING

HERD

GAZON

New Partials Application

NEW DECK + STAIRS
21ft' barrier

15ft' Garage

EDGE OF DRIVEWAY

Side

PROPERTY LINE

Front

