

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-----------------------------------|---------------------|
| Permit No: 03-1337 | Issue Date: NOV 10 2003 | CBL: 139 K013001 |
|-----------------------|-----------------------------------|---------------------|

| | | | |
|--|--------------------------------------|---|-------------------------|
| Location of Construction: 450 Baxter Blvd | Owner Name: Gendron John R | Owner Address: 450 Baxter Blvd CITY OF PORTLAND | Phone: 207-838-2420 |
| Business Name: n/a | Contractor Name: P.M. Constuction | Contractor Address: 19 Industrial Park Road Saco | Phone: 2072827697 |
| Lessee/Buyer's Name n/a | Phone: n/a | Permit Type: Swimming Pools | Zone: R3 w/ST |

| | | | | |
|----------------------------|--|-------------------------|------------------------------|--------------------|
| Past Use: Single Family | Proposed Use: Add 19' x 29' Pool with 4' x 8' stairs, also a 3040 sq. Ft. platform . patio | Permit Fee: \$471.00 | Cost of Work: \$50,000.00 | CEO District: 2 |
|----------------------------|--|-------------------------|------------------------------|--------------------|

| | | | |
|--|---|--|---|
| Proposed Project Description: Add 19' x 29' Pool with 4' x 8' stairs, also a 3040 sq. Ft. platform . 16' x 32' patio | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied</td> <td style="width: 50%;">INSPECTION: Use Group: R3 Type: accessory BOCA 1999 Signature: JMB 11/10/03</td> </tr> </table> | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R3 Type: accessory BOCA 1999 Signature: JMB 11/10/03 |
| FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R3 Type: accessory BOCA 1999 Signature: JMB 11/10/03 | | |

| | |
|--|--------------------------------|
| Signature: | Signature: JMB 11/10/03 |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | |
| Signature: | Date: |

| | | |
|------------------------|---------------------------------|------------------------|
| Permit Taken By: gg | Date Applied For: 10/24/2003 | Zoning Approval |
|------------------------|---------------------------------|------------------------|

| | | | | |
|---|---|---|--|---|
| <ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Within 250' but well over 75' from</i> <input type="checkbox"/> Wetland <i>Hum</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Parcel 7 zone X</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> </td> <td style="width: 50%;"> Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied </td> </tr> </table> | Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Within 250' but well over 75' from</i> <input type="checkbox"/> Wetland <i>Hum</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Parcel 7 zone X</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied |
| Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Within 250' but well over 75' from</i> <input type="checkbox"/> Wetland <i>Hum</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Parcel 7 zone X</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied | | | |
| Date: 11/10/03 JMB | Date: | Date: JMB | | |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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| Permit No: 03-1337 | Date Applied For: 10/24/2003 | CBL: 139 K013001 |
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| Location of Construction: 450 Baxter Blvd | Owner Name: Gendron John R | Owner Address: 450 Baxter Blvd | Phone: 207-838-2420 |
| Business Name: n/a | Contractor Name: P.M. Constuction | Contractor Address: 19 Industrial Park Road Saco | Phone: (207) 282-7697 |
| Lessee/Buyer's Name n/a | Phone: n/a | Permit Type: Swimming Pools | |

| | |
|--|---|
| Proposed Use: Add 16' x 32' Pool with 4' x 8' stairs, also a 3040 sq. Ft. Patio | Proposed Project Description: Add 16' x 32' Pool with 4' x 8' stairs, also a 3040 sq. Ft.patio |
|--|---|

Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 11/10/2003

Note: 11/6/03 Met w/Laura from PM to discuss setbacks, barrier protection at doors & gates. Also spoke w/ John G. About pool size discrepancies, barriers & the setback determination of the shed/shelter structure. He will call John M. To submit. **Ok to Issue:**

- 1) This permit approves the bath house and to be a minimum of 5' from the rear line, it is under 100 SF. The attached roof shelter is not considered in the calculation based on Sec. 14-47 floor definition, so there is no setback for this structure.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 11/10/2003

Note: **Ok to Issue:**

- 1) Must meet Sec. 421 Of BOCA 1999 for pools & barrier protection
- 2) Separate electrical and plumbing permits are required

Pool Installation/Construction Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

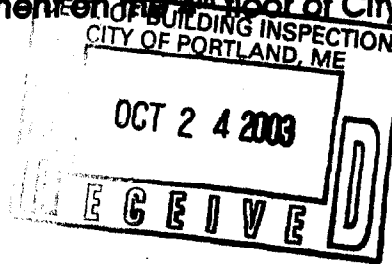
| | | |
|--|---|---|
| Location/Address of Construction: <u>450 Baxter Boulevard, Portland ME</u> | | |
| Total Square Footage of Proposed Structure <u>503 SF</u> | Square Footage of Lot <u>10243 SF</u> | |
| Tax Assessor's Chart, Block & Lot Chart# <u>134</u> Block# <u>K</u> Lot# <u>13</u> | Owner: <u>John R. Gendron</u> | Telephone: <u>207-830-2420</u> |
| Lessee/Buyer's Name (if Applicable) | Applicant name, address & telephone: <u>Same</u> | Cost Of Work: \$ <u>50,000</u> Fee: \$ <u>471.00</u> |
| Dimensions of pool: <u>19x29 w/4x8 stairs</u> Above or below ground: <u>below</u> | | |
| Dimensions of decking and/or any platforms, sheds, or other structures: <u>3040 SF, including 96SF Pool Shed w/ 1/2 Bath (on separate blage permit)</u> | | |
| Contractor's name, address & telephone: <u>PM Construction</u> <u>19 Industrial Park Rd, Saco, ME, 04072</u> | | |
| Whom should we contact when the permit is ready: <u>Philip Morin</u> <u>207-282-7697</u> | | |
| Mailing address: <u>19 Industrial Park Rd</u> <u>Saco, ME 04072</u> | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-282-7697</u> <i>Call</i> | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|-----------------------|
| Signature of applicant: <u><i>John R. Gendron</i></u> | Date: <u>10-20-03</u> |
|---|-----------------------|

This is NOT a permit; you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

| | |
|----------------------|---|
| Card Number | 1 of 1 |
| Parcel ID | 139 K013001 |
| Location | 450 BAXTER BLVD |
| Land Use | SINGLE FAMILY |
| | |
| Owner Address | GENDRON JOHN R 450 BAXTER BLVD PORTLAND ME 04103 |
| | |
| Book/Page | 17904/184 |
| Legal | 139-K-13 BAXTER BLVD 448-456 PARSONS RD 120-126 10043 SF |

Valuation Information

| | | |
|-------------|-----------------|--------------|
| Land | Building | Total |
| \$74,970 | \$193,730 | \$268,700 |

Property Information

| | | | | | | |
|---------------------------|--------------------------|--------------------------|-------------------------|-----------------------------|-------------------------|--|
| Year Built 1937 | Style Colonial | Story Height 2 | Sq. Ft. 2680 | Total Acres 0.231 | | |
| Bedrooms 4 | Full Baths 2 | Half Baths 2 | Total Rooms 8 | Attic None | Basement Full | |

Outbuildings

| | | | | | |
|-------------|-----------------|-------------------|-------------|--------------|------------------|
| Type | Quantity | Year Built | Size | Grade | Condition |
|-------------|-----------------|-------------------|-------------|--------------|------------------|

Sales Information

| | | | |
|-------------|---------------|--------------|------------------|
| Date | Type | Price | Book/Page |
| 07/01/2002 | LAND + BLDING | \$500,000 | 17904-184 |
| 06/14/2000 | LAND + BLDING | \$480,000 | 15533-141 |
| 04/08/1997 | LAND + BLDING | \$345,000 | 13022-185 |

Picture and Sketch

[Picture](#)

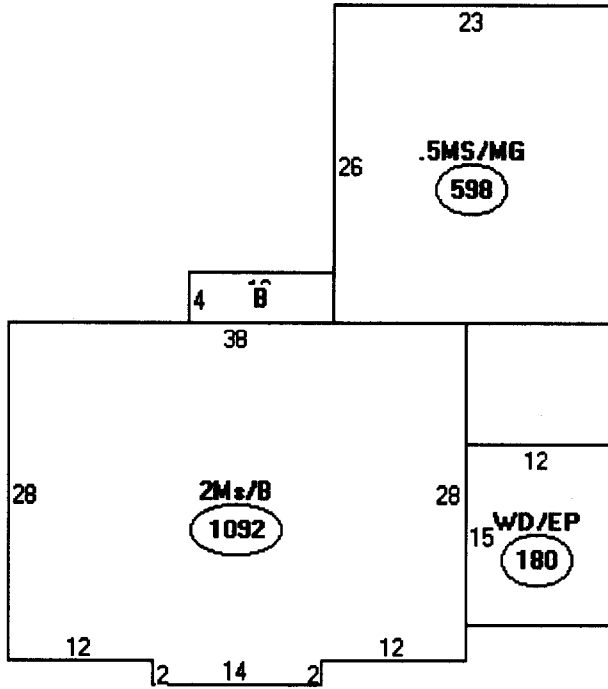
[Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).







Descriptor/Area

A: 2Ms/B
1092 sqft

B: 1Ms/B
48 sqft

C: .5MS/MG
598 sqft

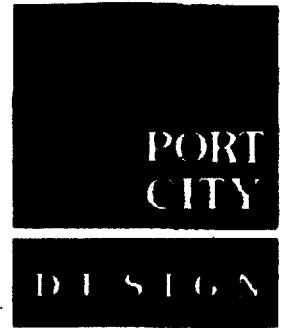
D: WD/EP
180 sqft

814 8716

November 20, 2001

Marge Schmuckal
Zoning Administrator
City of Portland
389 Congress Street
Portland ME 04101

Re: 450 Baxter Boulevard
Portland ME 04103



~~PERMIT DENIED~~

Letter from previous permit #0-1408
allowing shelter setback of
5' in Rear

Dear Marge,

Thank you for your inquiry earlier today regarding our zoning interpretation of the R-3 Residential zone (Land Use Ch 14-87). Specifically you asked for our interpretation of how the design falls within the maximum allowable area (100 SF) for detached structures.

Your initial question referred to the zoning definition of structure which we interpreted to mean built and enclosed (heated) space. The reference in the zoning to "attached to something having a fixed location on the ground" we interpreted to prohibit cantilevers which could extend to maximize enclosed space. *Not a cantilevers - open Arch way - Not a continued slab from the bath house*

The pool shed is clearly two enclosed rooms with finished walls, ceilings and finished floors. The roof extension is merely a cover for the Toilet Room entrance and a cover for the portable BBQ grille. Further, the roof extension has no walls, will be open on the sides to the weather and will have the same brick or concrete pavers found around the pool. The Toilet Room on the other hand will have a poured concrete floor finished with tile, therefore these two areas are completely different types of space. In conclusion, we interpreted the zoning to allow this design as drawn within a normal interpretation of the Portland Land Use Code.

I will look forward to your response.

Sincerely,
Port City Design

Mark Sengelmann, NCARB
Principal

MS/cg

cc. John Gendron, Gendron Commercial

14-47 - Floor Definition: A floor space enclosed by exterior or standard fire walls, exclusive of vent shafts and courts

This is not enclosed by walls & would not be considered floor space - I have taken into account the ZBA's interpretation in reference to Mars Wolf's open garage

43 Deering Street • Portland, Maine 04101

207-761-9500 / Fax 761-9595 design@portcitydesign.net

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

DEPARTMENT OF BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 031337
NOV 10 2003

This is to certify that Gendron John R /P.M. Construction
has permission to Add ~~19' x 29'~~ Pool with 4' x 8' stairs, also 3040 sq ft. platform Photo
AT 450 Baxter Blvd 16' x 32' 139 K013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is leased or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Carrie Bourke 11/10/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD