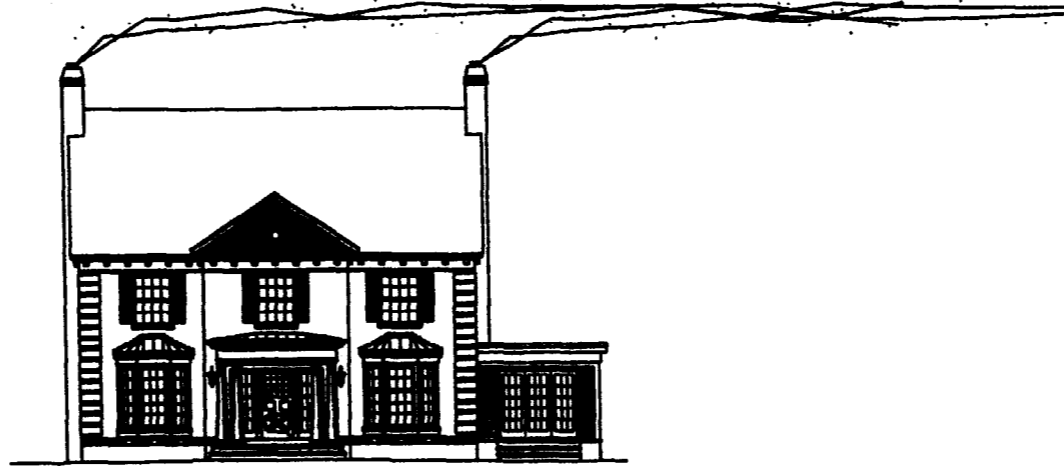


GENDRON RESIDENCE



NOTE: THIS SKETCH IS FOR IMAGE PURPOSES ONLY - SEE A1J FOR ELEVATION

LEGEND

- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAWN
- DETAIL NUMBER
- INDICATES BUILDING AND OR WALL SECTION
- SHEET WHERE BUILDING SECTION IS DRAWN
- INDICATES ELEVATION
- BUILDING SECTION LETTER
- SHEET WHERE BUILDING SECTION IS DRAWN
- EXISTING WALLS
- NEW WALL CONSTRUCTION
- FIRE RATED WALL CONSTRUCTION
- STEEL BEAMS (SEE STRUCTURAL)
- ELEVATOR LOBBY
- ROOM NAME AND NUMBER
- KEY NOTES
- REVISION
- DOOR NUMBER (SEE DOOR SCHEDULE THIS SHEET)
- ELEVATION TARGET
- WALL TYPE (SEE SHEET A1.1)

GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THE CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGNS ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DEPOSITED IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWINGS ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS ESSENTIAL, AND EVERY CONTRIBUTOR CANNOT BE ANTICIPATED. ANY ATTEMPT OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER CONSTITUTES MISCONDUCT AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL PIPES / CONDUIT SHOULD BE CONCEALED EXCEPT IN UNFINISHED LOCATIONS UNLESS NOTED OTHERWISE.
14. DO NOT SCALE DRAWINGS

LIST OF DRAWINGS

- T-1 TITLE SHEET AND NOTES
- A1J EXTERIOR ALTERATIONS
- A1Z POOL HOUSE DRAWINGS

TYPICAL ABBREVIATIONS

A	AND	ENCL	ENCLOSE	MAX	MAXIMUM	RO	ROUGH OPENING
ANG	ANGLE	ENT	ENTRY or ENTRANCE	MCH	MECHANICAL	RM	ROOM
AT	AT	EQ	EQUAL	MFG	MANUFACTURE	RU	ROOF TOP UNIT
ADA	AMERICAN DISABILITIES ACT	EQIP	EQUIPMENT	PH	PLAN HOLE	S	SOUTH
ADJ	ADJUST OR ADJACENT	EW	ELECTRIC WATER COOLER	PL	PILLPETER	SAT	SCHEDULED ACOUSTICAL TILE
APP	ABOVE FINISH FLOOR	EDH	EXHAUST	PLH	PILLPETER	SCHD	SCHEDULE
ALPH	ALPHABET	EDST	EXISTING	PHB	PAIN BRUSH BOARD	SD	STORY DRAIN
ARCH	ARCHITECT OR ARCHITECTURAL	EXP	EXPANSION	HTD	HOTBED	SECT	SECTION
AVG	AVERAGE	EXT	EXTERIOR	HTL	HOTBED	SF	SQUARE FEET
BD	BOARD	FBO	FURNISHED BY OWNER	MS	MICROWAVE	SM	SMELT
BLDG	BUILDING	FDN	FOUNDATION	N	NORTH	SP	SHELL PACKAGE
BLKG	BLOCK/S	FF	FINISH FLOOR	NA	NOT APPLICABLE	SPIC	SPECIFICATIONS
BT	BEAM	FPE	FINISH FLOOR ELEVATION	NAT	NATURAL	SS	STAINLESS STEEL
BO	BOTTOM OF	FN	FINISH	NC	NOT IN CONTRACT	SQ	SQUARE
CL	CENTER LINE	FDG	PICTURE	NAT	NATURAL	STD	STANDARD
CAB	CABINET	FL	FLOORING	NC	NOT IN CONTRACT	STL	STEEL
CLS	CELLING	FLR	FLOOR	N	NORTH	STRUC	STRUCTURAL
CLR	CLEAR	FLOR	FLOURESCENT	NTS	NOT TO SCALE	SUP	SUPPLEMENT
CLO.	CLOSET	FP	FIRE PLACE	OC	ON CENTER	SUPH	SUPPLEMENT
CH	COUNTER	FT	FOOT or FEET	OH	OVER HEAD	SYNTH	SYNTHETIC
COL	COLUMN	GA	GARAGE	PAR	PARALLEL	T	TYPICAL
COLN	COLUMN	GALV	GALVANIZED	PC	PRECAST CONCRETE	T & B	TOP AND BOTTOM
CONC	CONCRETE	GC	GENERAL CONTRACTOR	PCP	PRECAST CONCRETE	TEL	TELEPHONE
CONT	CONTINUOUS	GL	GLASS	PERP	PERPENDICULAR	TL	TYPED GLASS
COORD	COORDINATE	GWB	GYPHUM WALL BOARD	PL	PLATE	TRCK	TRACK
COR	CORNER	HST	HESBIT	PLA	PLASTIC LAMINATE	T	TYPICAL
OPT	CARPET	HM	HOLLOW METAL	PLB	PLASTER	T	TYPICAL
CB	COLD WATER	HORIZ	HORIZONTAL	PLB	PLASTER	T	TYPICAL
CDL	DOUBLE	HR	HOUR	PLYD	PLYWOOD	TA	TOP OF
DBS	DEBRIS	HVAC	HEATING, VENTILATION & AIR CONDITION	PN	POUNDS PER SQUARE INCH	TOU	TOP OF JOIST
DHW	DOMESTIC HOT WATER	IBC	INSTALLED BY CONTRACTOR	PT	PRESSURE TREATED	TOB	TOP OF STEEL
DIA	DIAMETER	N	NORTH	PTD	PAINT	TYP	TYPICAL
DN	DOWN	INSUL	INSULATION	QTY	QUANTITY	UL	UNDERWRITERS LABORATORIES INC
DR	DOOR	INT	INTERIOR	R	RIBBON or RADON	UNO	UNLESS NOTED OTHERWISE
DS	DOWN SPOUT	JT	JOINT	RAD	RADIUM	VB	VERTICAL
DS	DISH WASHER	LAP	LAP	REF	REFLECTED CEILING PLAN	VCT	VERTICAL
DWS	DRAWING	LB	POUNDS	RD	ROOF DRAIN	VRT	VERTICAL
E	EAST	LF	LINEAR FEET	REP	REFRIGERATOR	VF	VERIFY IN FIELD
EA	EACH	LL	LIVE LOAD	RENF	REINFORCED	W	WIDE or WEST
EJ	EXPANSION JOINT	LIC	LIGHT WEIGHT CONCRETE	REGD	REGISTERED	W	WIDE or WEST
ELEC	ELECTRIC					W	WIDE or WEST
ELEV	ELEVATION					W	WIDE or WEST
EMP	EMPLOYEE					W	WIDE or WEST

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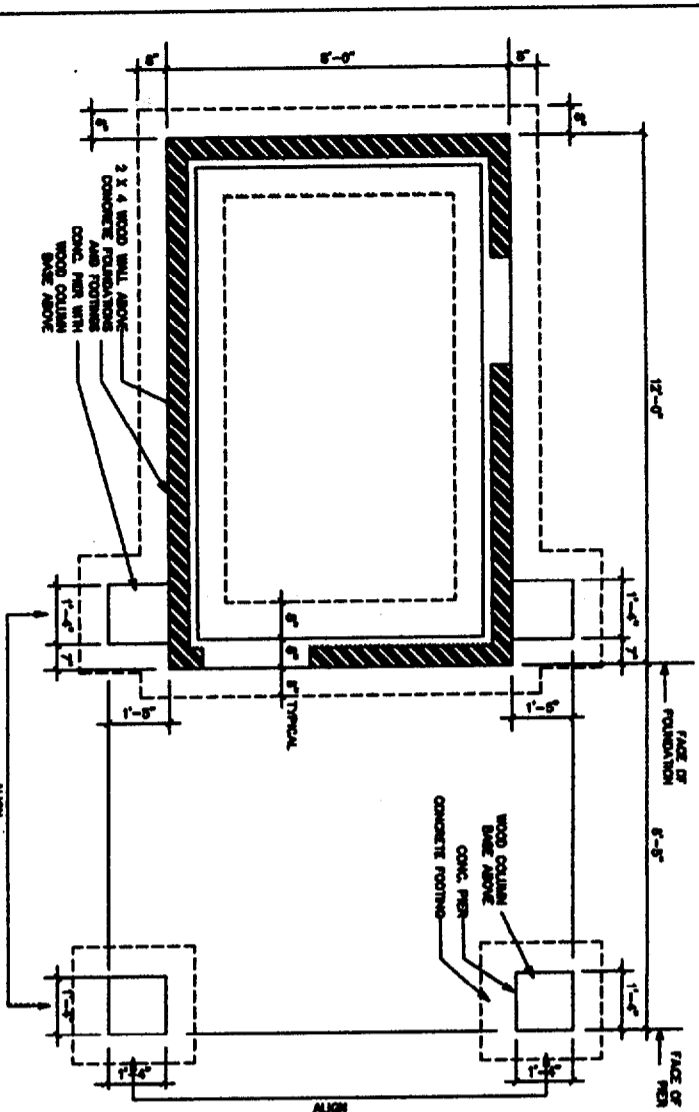


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PORTLAND, MAINE 0410

JOB: 01027

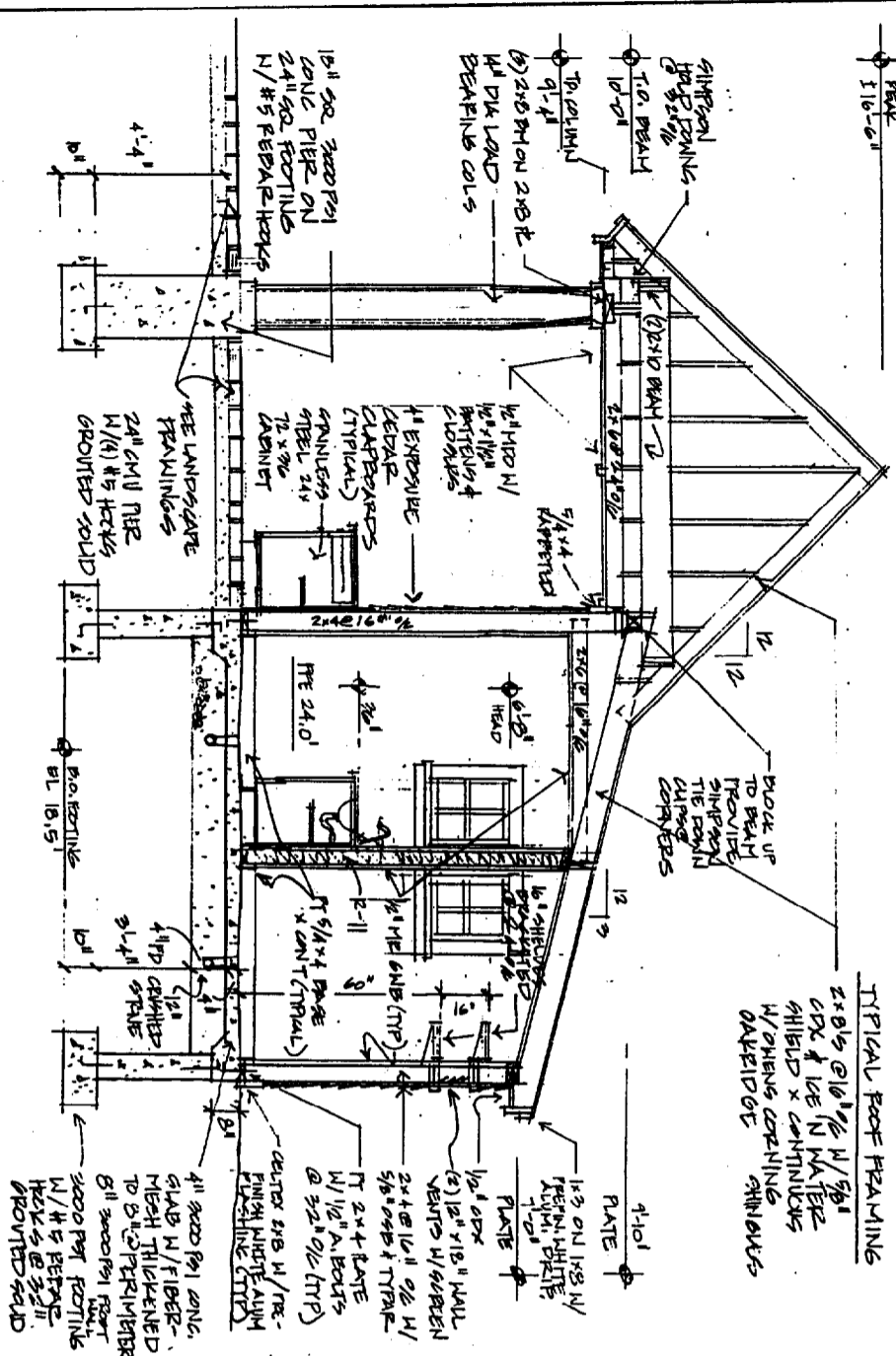
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PRELIM.	9-28-03
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REVISION 1	-
REV. 2	-
REV. 3	-
PRINT	10-22-03

TITLE SHEET
T-1

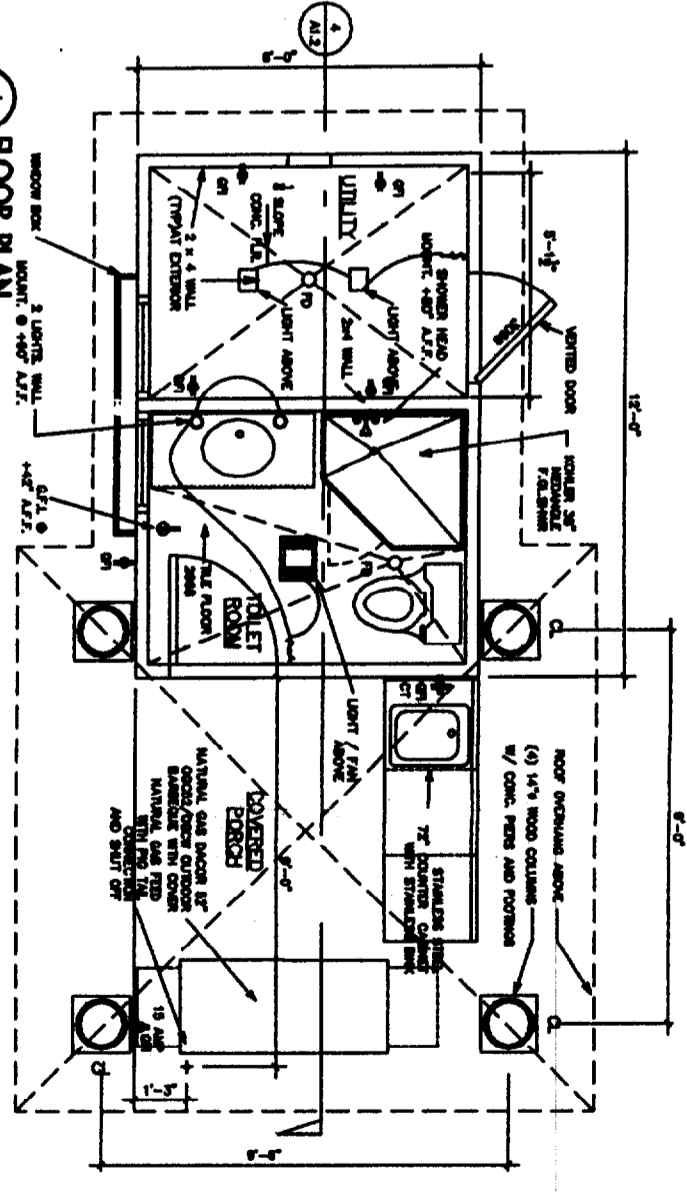


FOUNDATION PLAN INFO
 2 X 4 WALL FOUNDATION

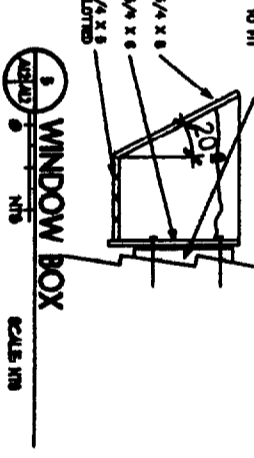
1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



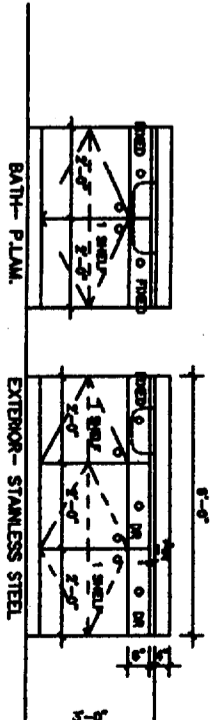
4 SECTION VIEW
 SCALE: 1/4" = 1'-0"



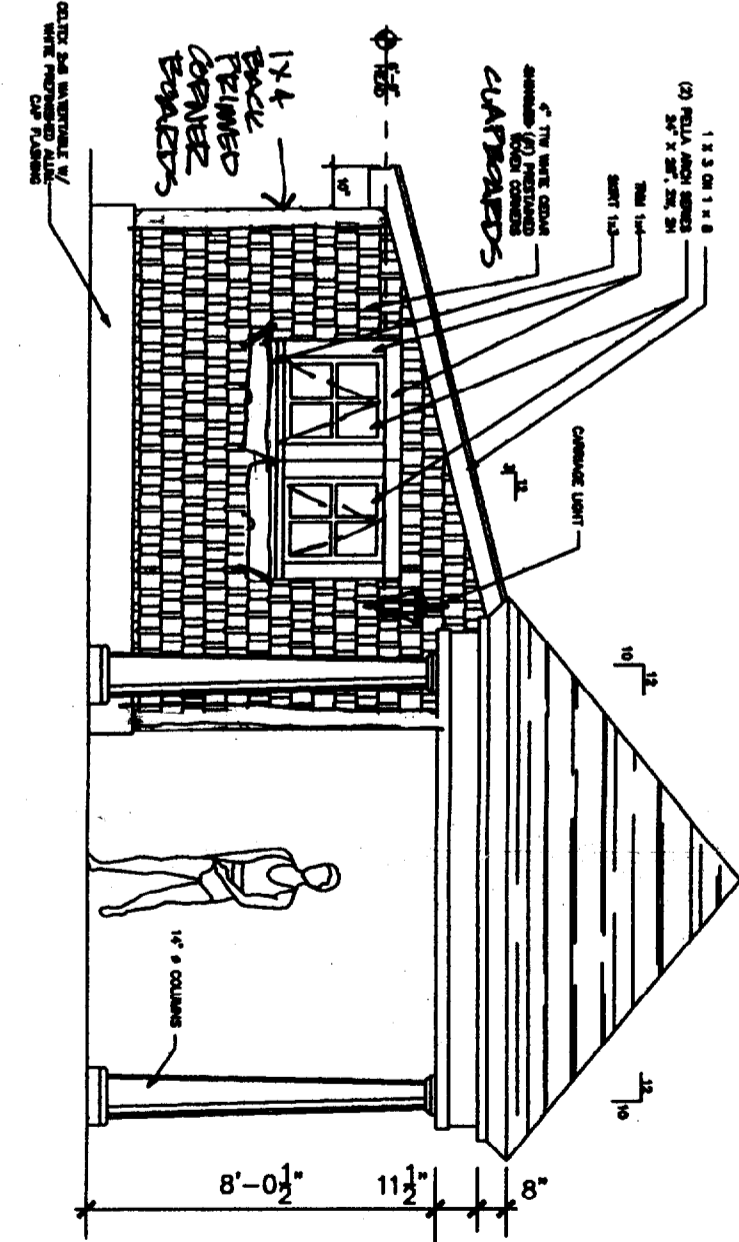
2 FLOOR PLAN
 SCALE: 1/4" = 1'-0"



3 WINDOW BOX
 SCALE: 1/4" = 1'-0"



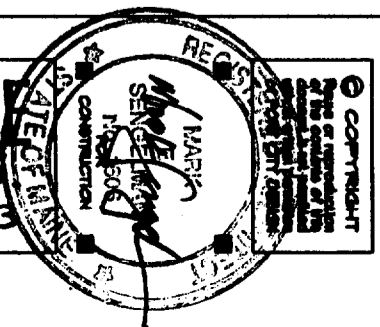
4 CABINET ELEVATIONS
 SCALE: 1/4" = 1'-0"



5 ELEVATION
 SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DATE
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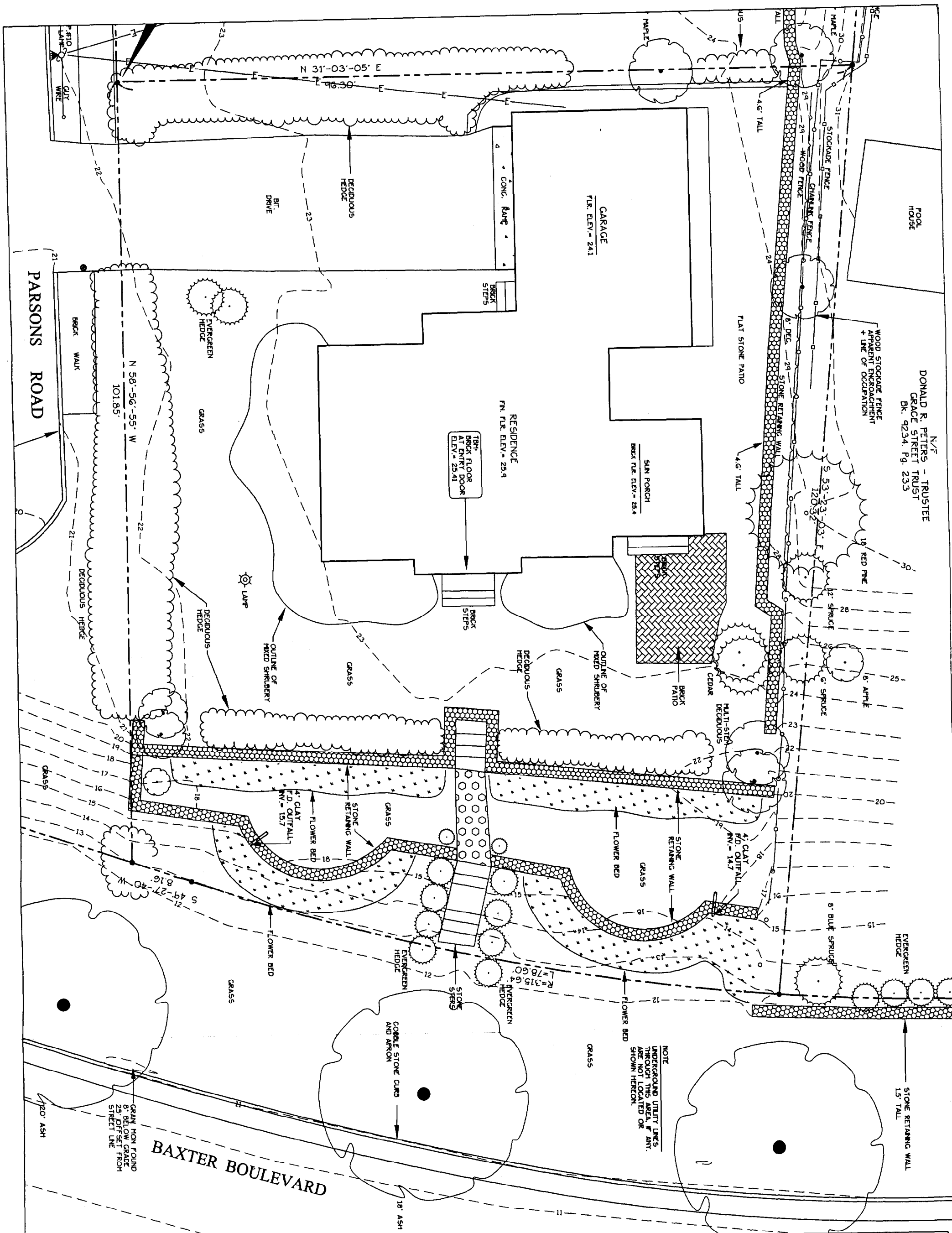
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DESIGN
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 FAX: 207.533.8000
 www.sengdesign.com

FLOOR PLAN
 FOUNDATION PLAN
 SECTION VIEW
 ELEVATION
A12

N/F
DONALD R. PETERS - TRUSTEE
GRACE STREET TRUST
BK. 9234, Pg. 233



NOTE
UNDERGROUND UTILITY LINES
ARE NOT LOCATED OR
SHOWN HEREON.

JOHN R. GENDRON RESIDENCE

450 Baxter Boulevard Portland, Maine

Prepared For:
JOHN R. GENDRON
450 Baxter Boulevard
Portland, Maine 04103

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
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Portland, Maine 04101
Tel: (207) 774-4427

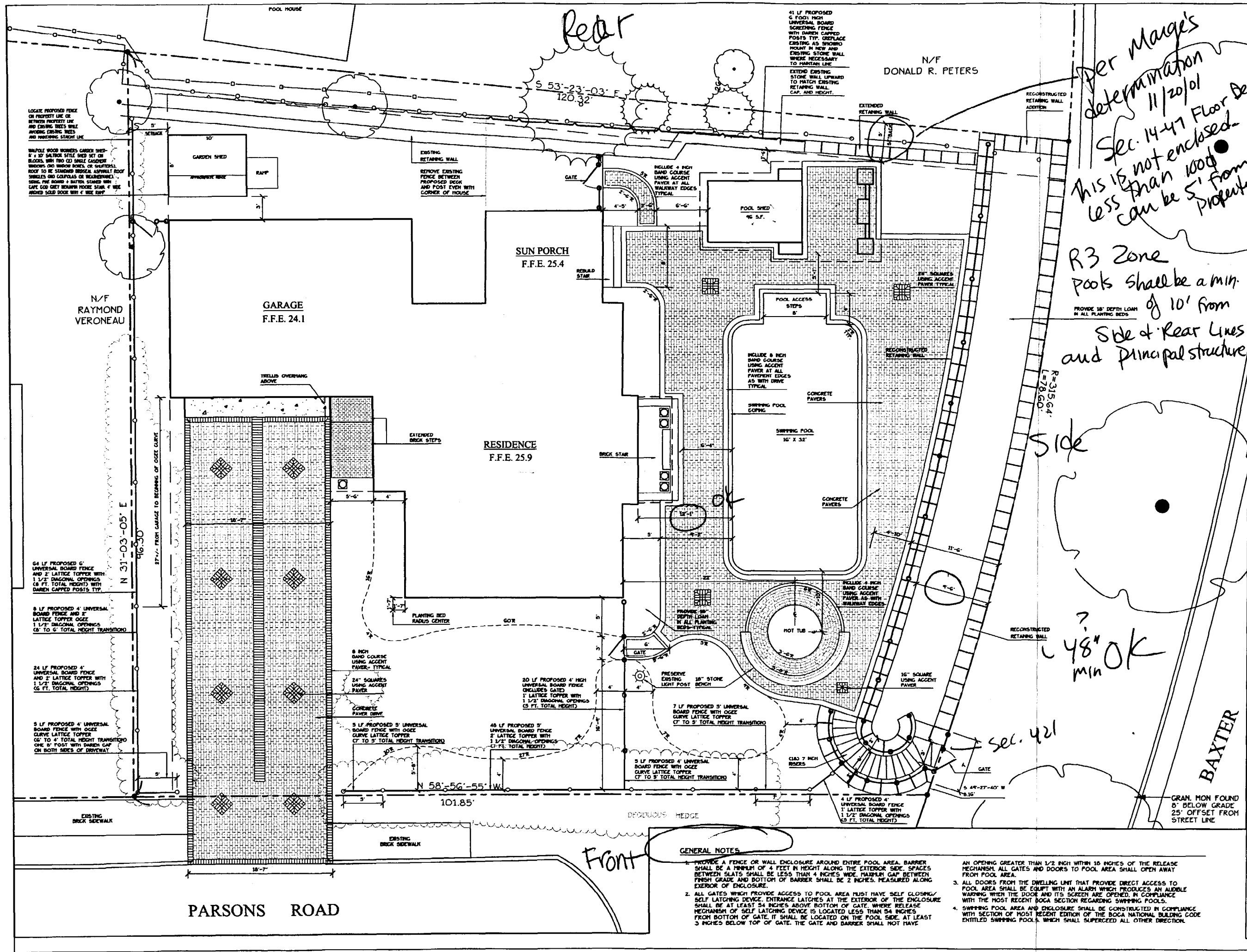
Date:
OCTOBER 24, 2003

THIS
EXISTING CONDITIONS
PLAN



North

Sheet No:
1



Prepared For:
JOHN R. GENDRON
 450 Baxter Boulevard
 Portland, Maine 04103

Prepared By:
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JOHN R. GENDRON RESIDENCE
 Portland, Maine
 450 Baxter Boulevard

Date:
OCTOBER 24, 2003

Revisions:

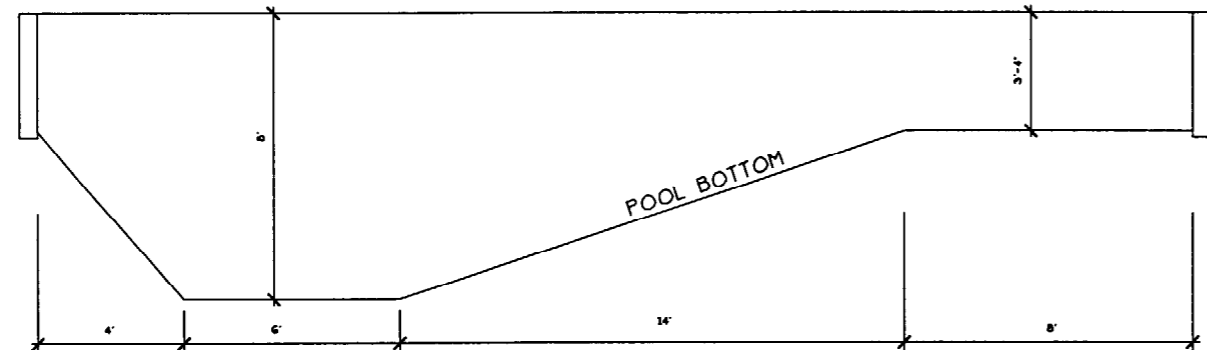
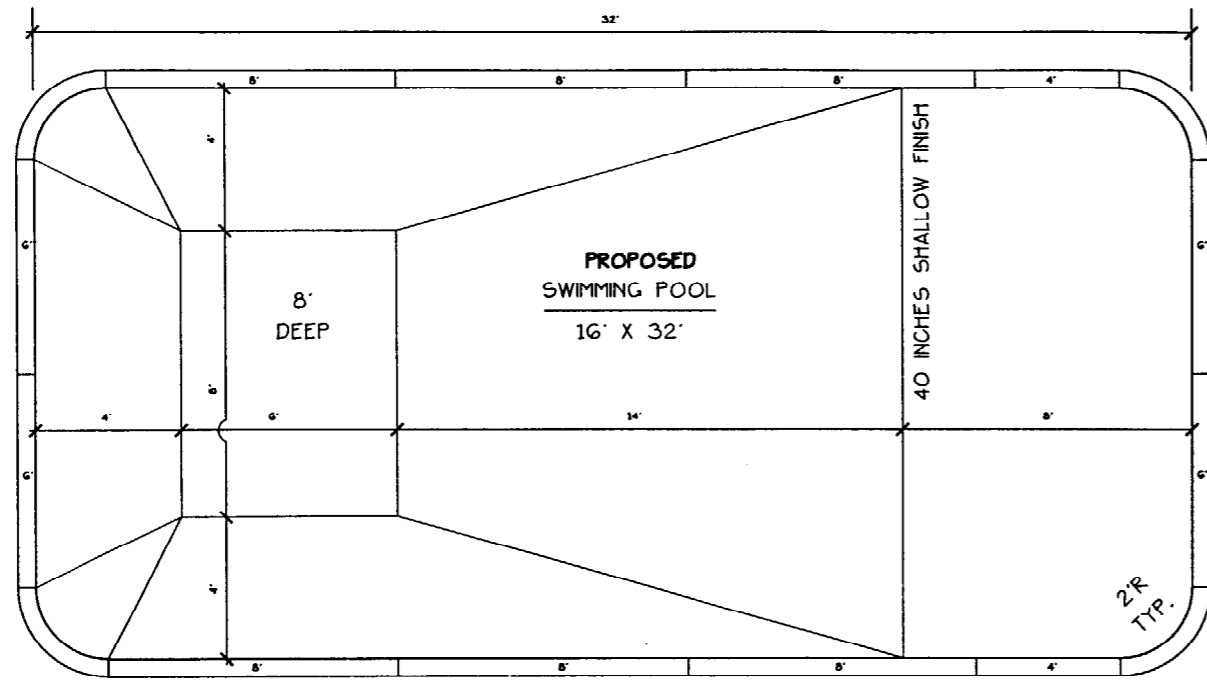
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LAYOUT AND LIGHTING PLAN

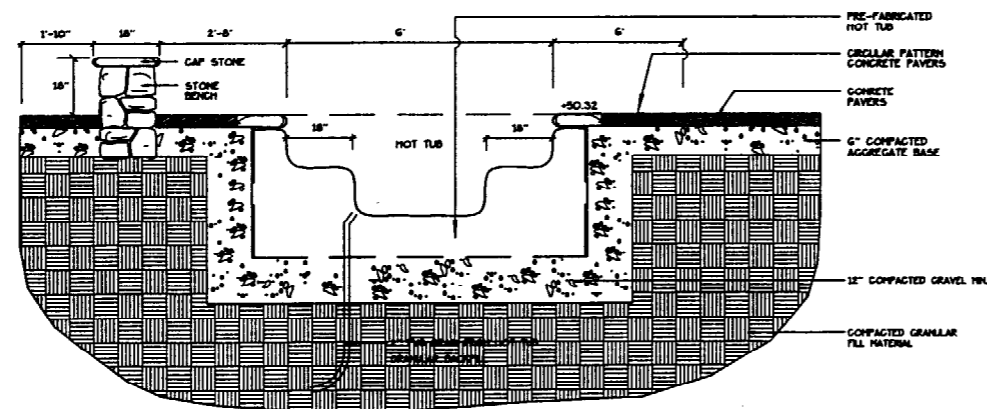
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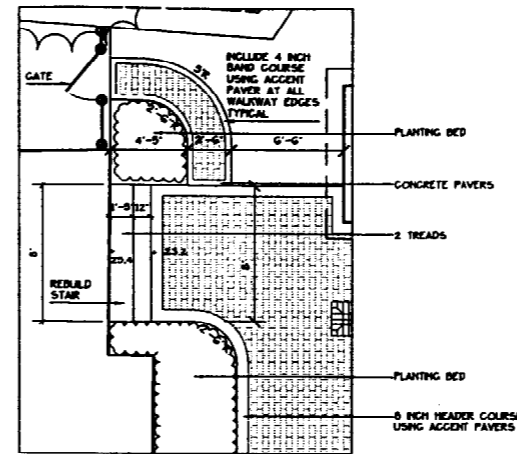
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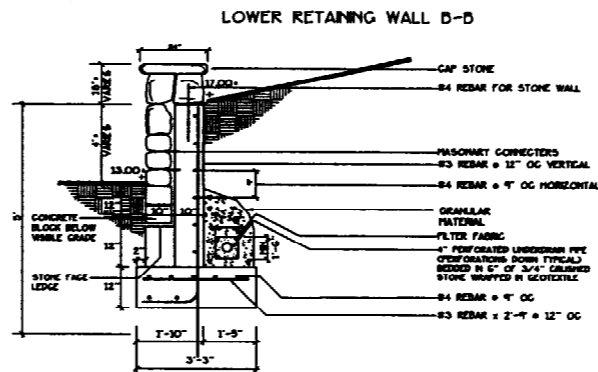
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5 STANDARD 16' x 32' SWIMMING POOL
NOT TO SCALE



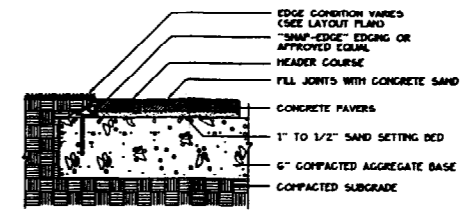
2
5 HOT TUB + STONE BENCH
NOT TO SCALE



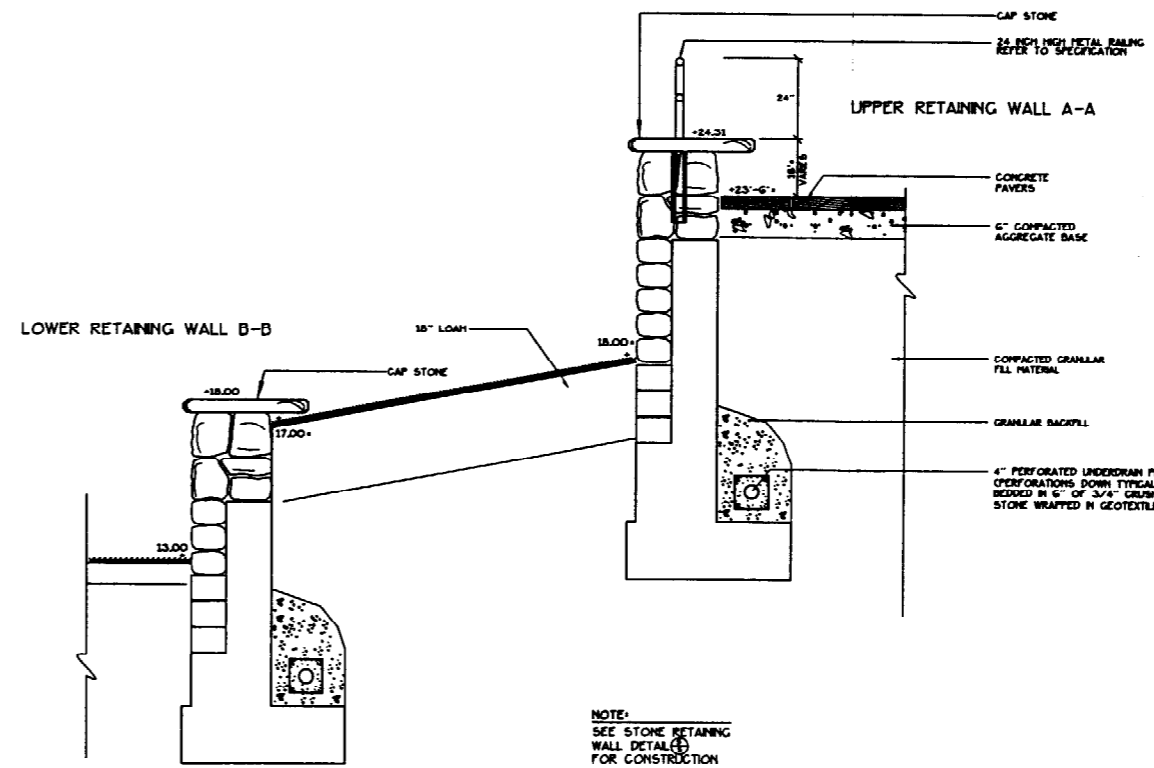
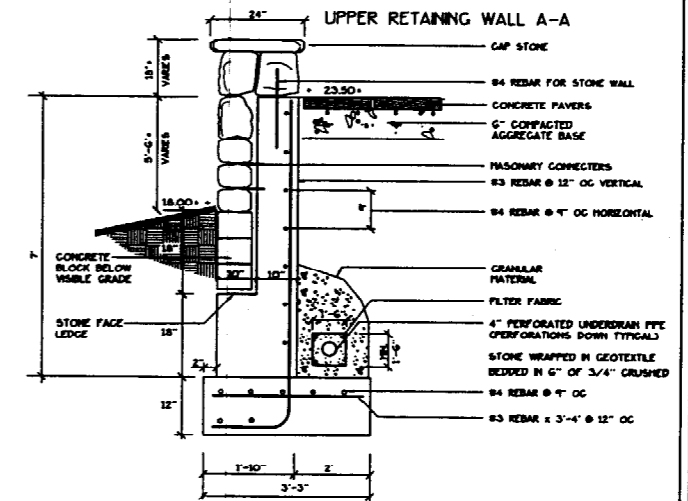
3
5 SUN PORCH STEPS
NOT TO SCALE



5
5 STONE RETAINING WALLS
NOT TO SCALE



4
5 CONCRETE PAVERS
NOT TO SCALE



NOTE:
SEE STONE RETAINING WALL DETAILS FOR CONSTRUCTION

6
5 RETAINING WALLS AND HANDRAIL
NOT TO SCALE

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JOHN R. GENDRON RESIDENCE
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450 Baxter Boulevard

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Revisions:

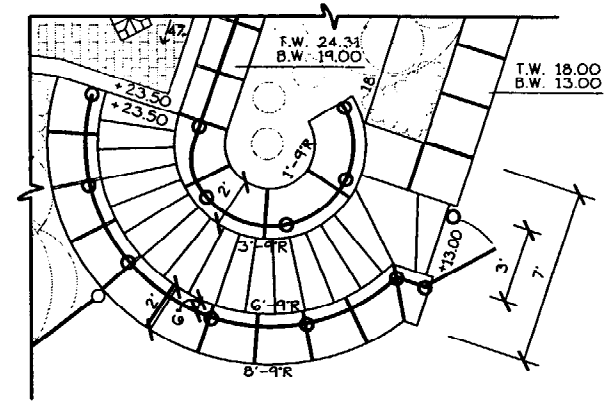
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Title:
SITE DETAILS

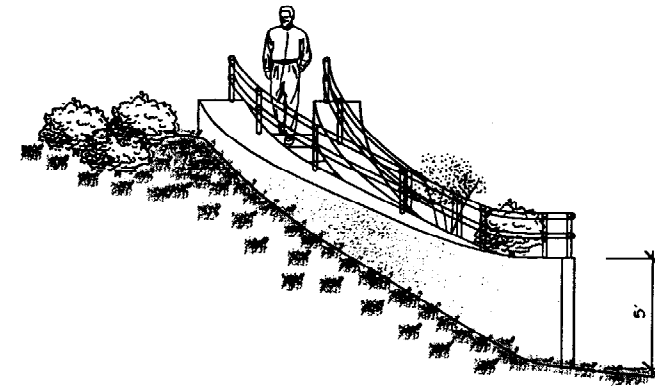
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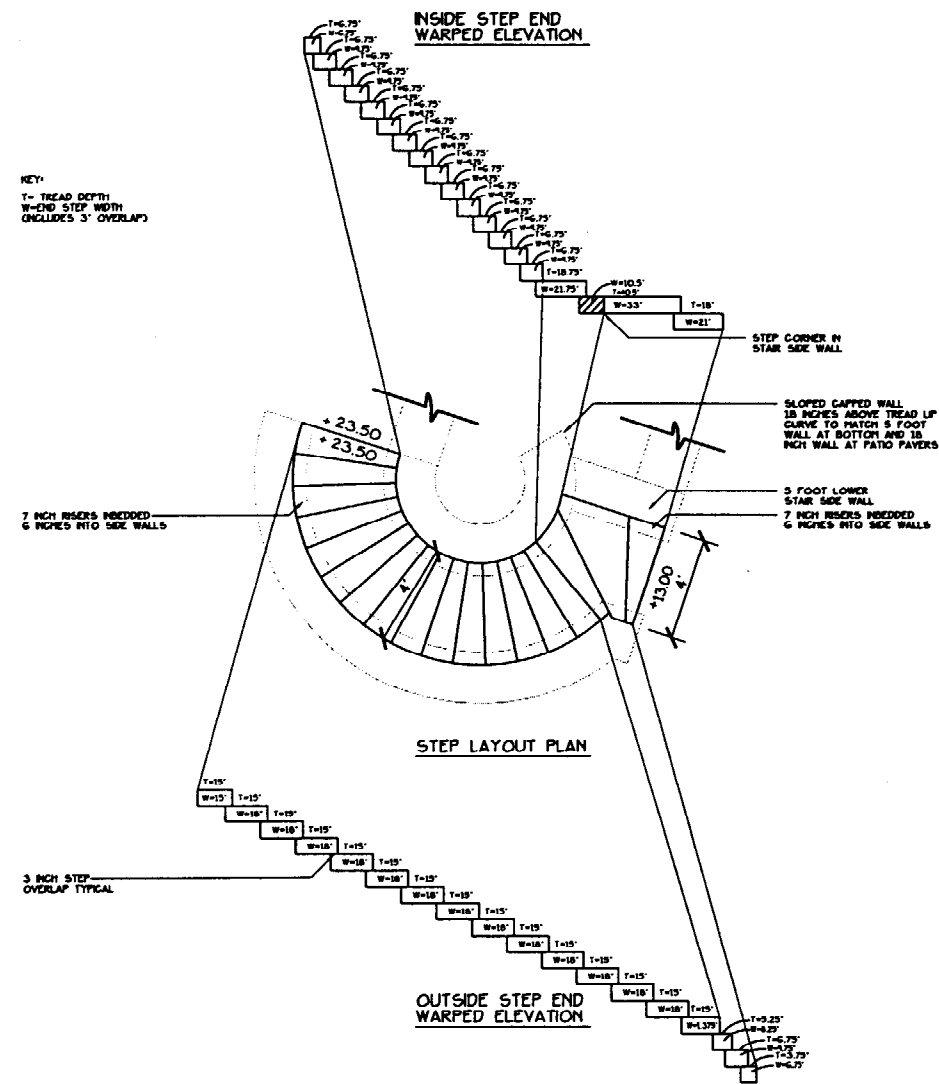
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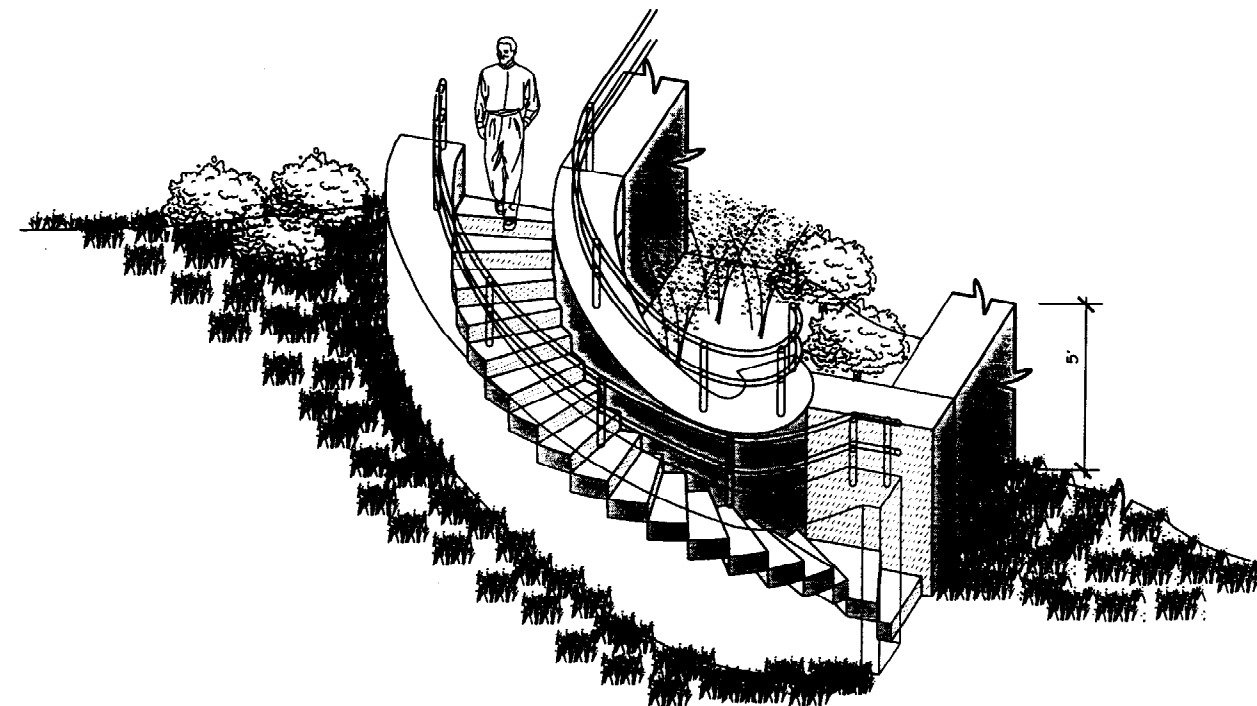
1
G
CIRCULAR STAIR PLAN
NOT TO SCALE



3
C
CIRCULAR STAIR ELEVATION
NOT TO SCALE



2
G
CONCEPT PLAN AND END ELEVATIONS FOR CIRCULAR RETAINED STAIRS
NOT TO SCALE



4
G
CIRCULAR STAIR PERSPECTIVE
NOT TO SCALE

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Title:
STAIR DETAILS

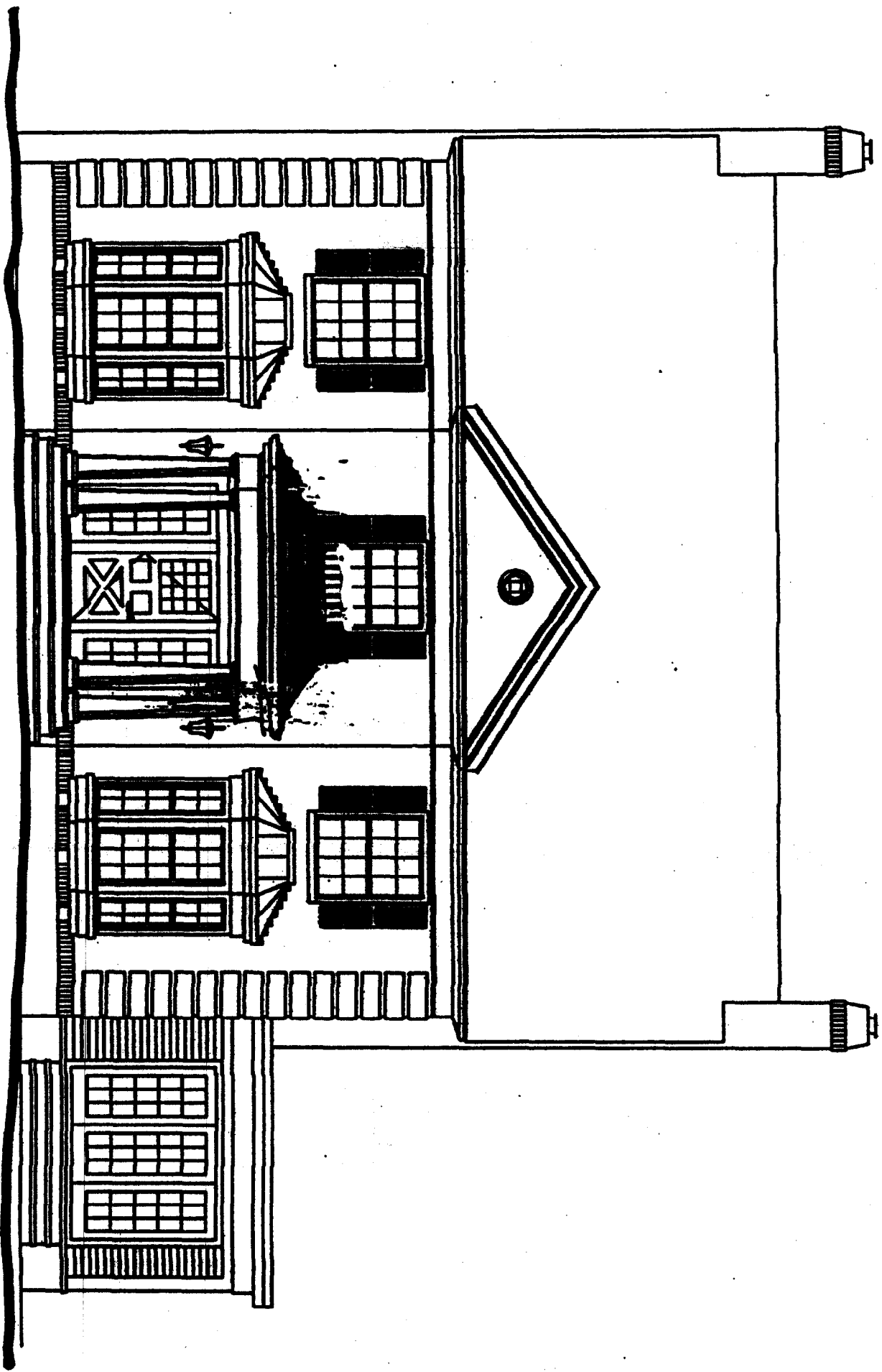
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North:

Sheet No.:

6

FRONT ELEVATION
N.T.S.



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PA1

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JOB: 01027

DATE	SCALE
REVISION	DATE
BY	DATE
CHECKED	DATE
APPROVED	DATE
PROJECT	14888

A1

9.25.03

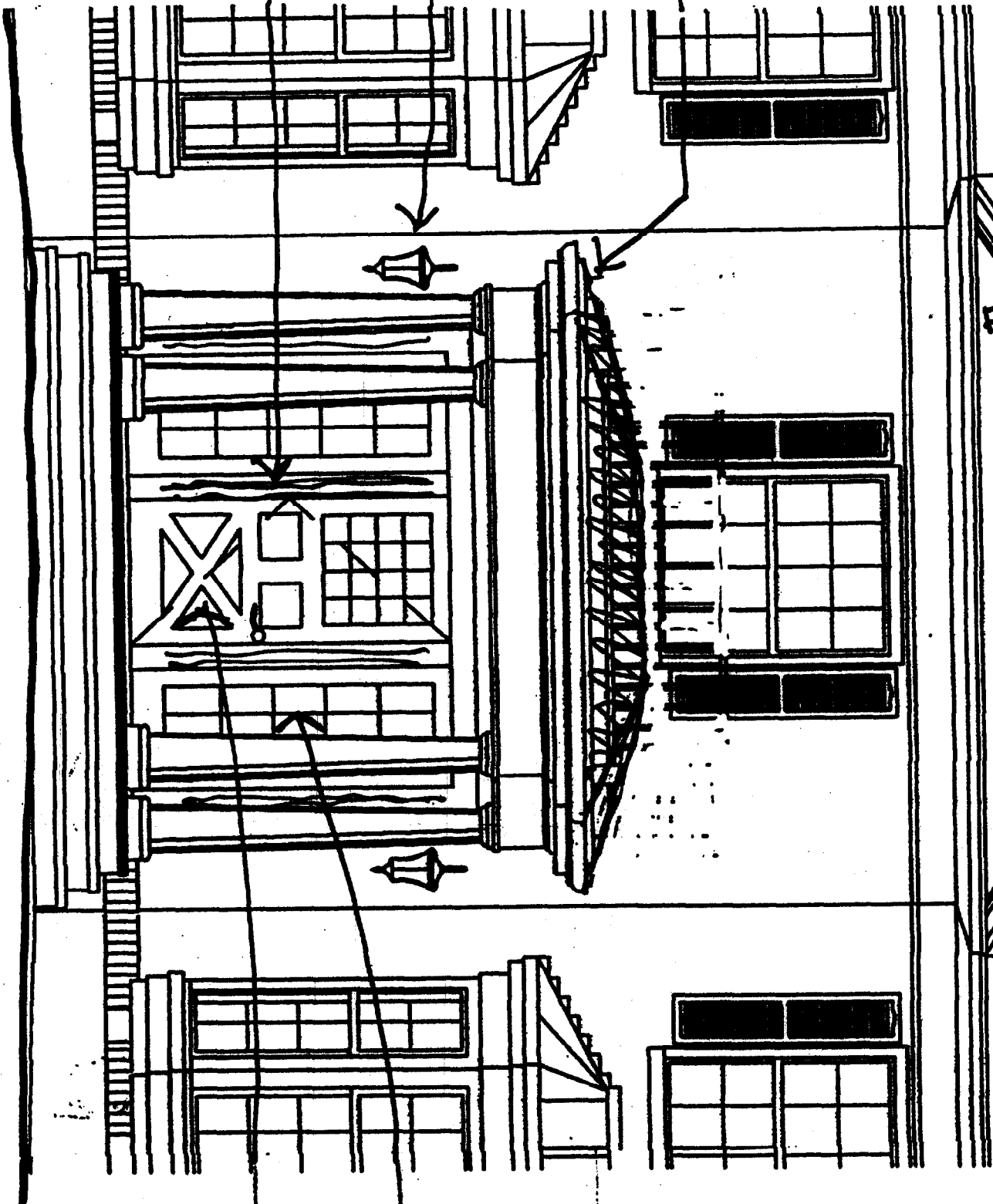
RELOCATE
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PROPOSED
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RELOCATE
EXISTING
LIGHTS
FLUTED
CASINGS



FRENCH
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Y411sc

REVISED

9.15.03
9.26.03

A2

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SCALE	
PROJECT	Y411sc

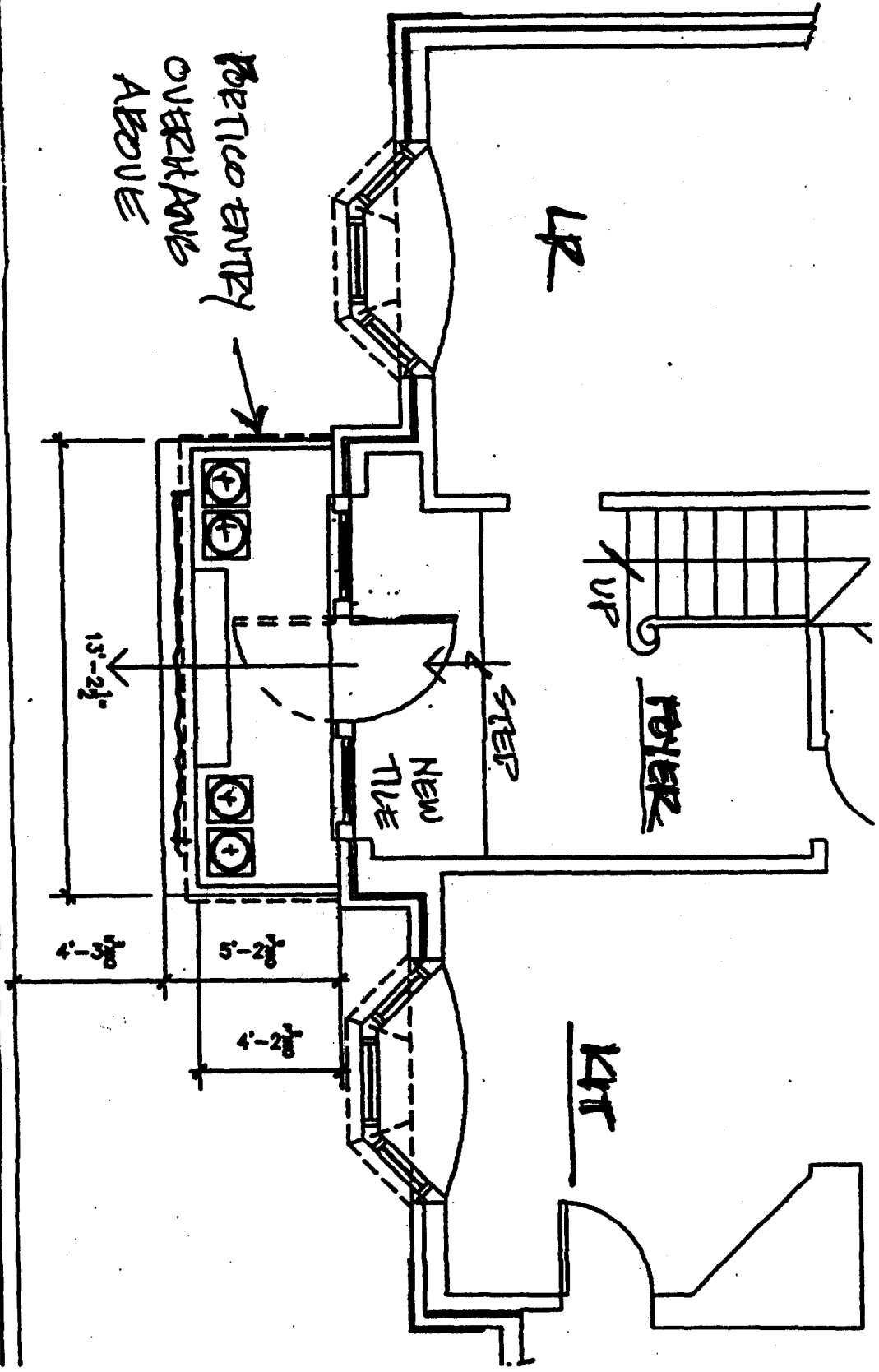
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BY THE STATE OF MAINE
OR ANY AGENCY THEREOF
FOR ANY PROJECT OR
ACTIVITY.

PLAN
3/16" = 1'



POOL

GENDRON RESIDENCE
450 BAXTER BLVD.
PORTLAND, MAINE 04103

JOB 01027

DATE	
BY	
REVISION	
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BY	
REVISION	
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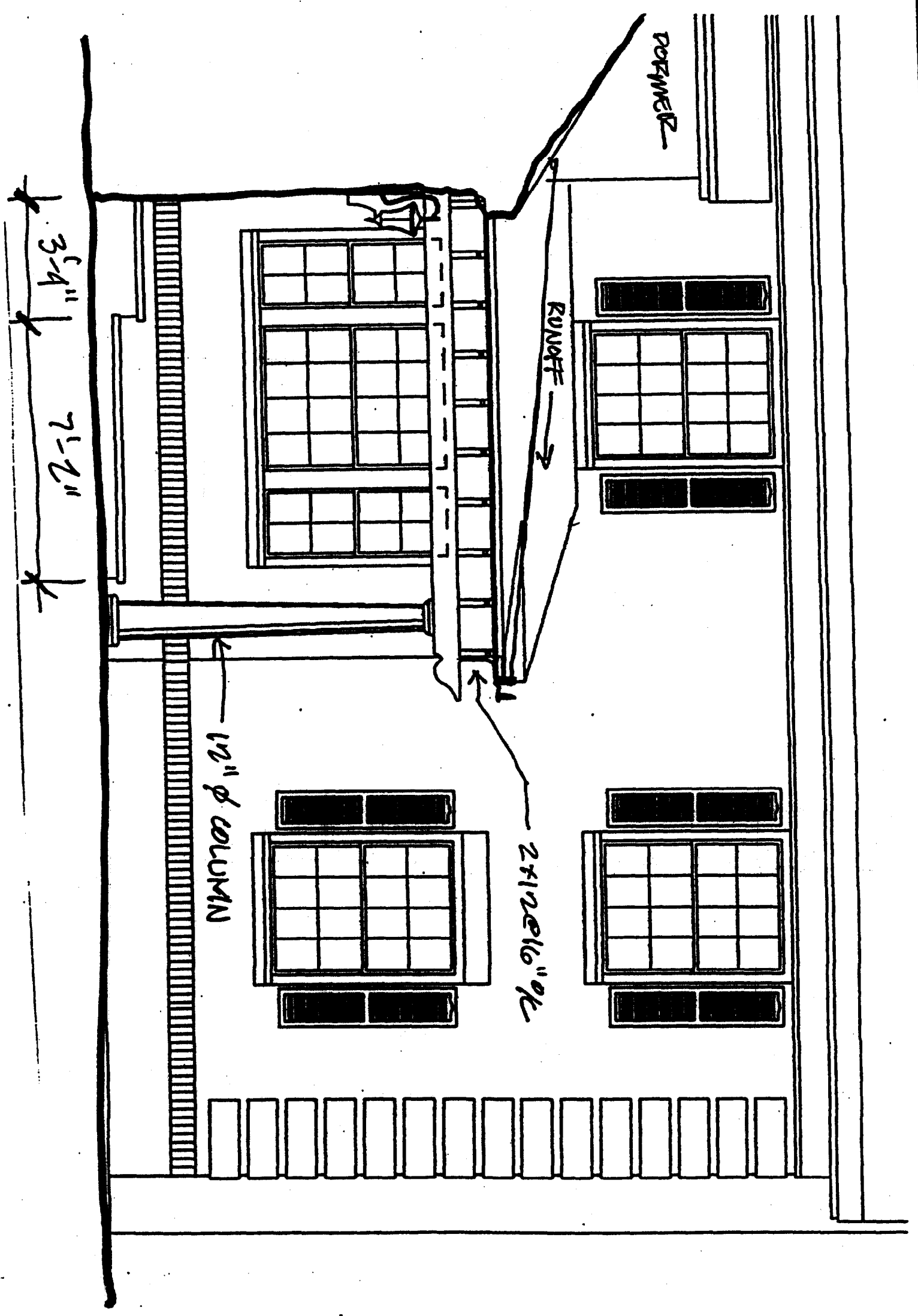
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REAR ELEVATION
YH11C



A4
9.25.03

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APPROVED	
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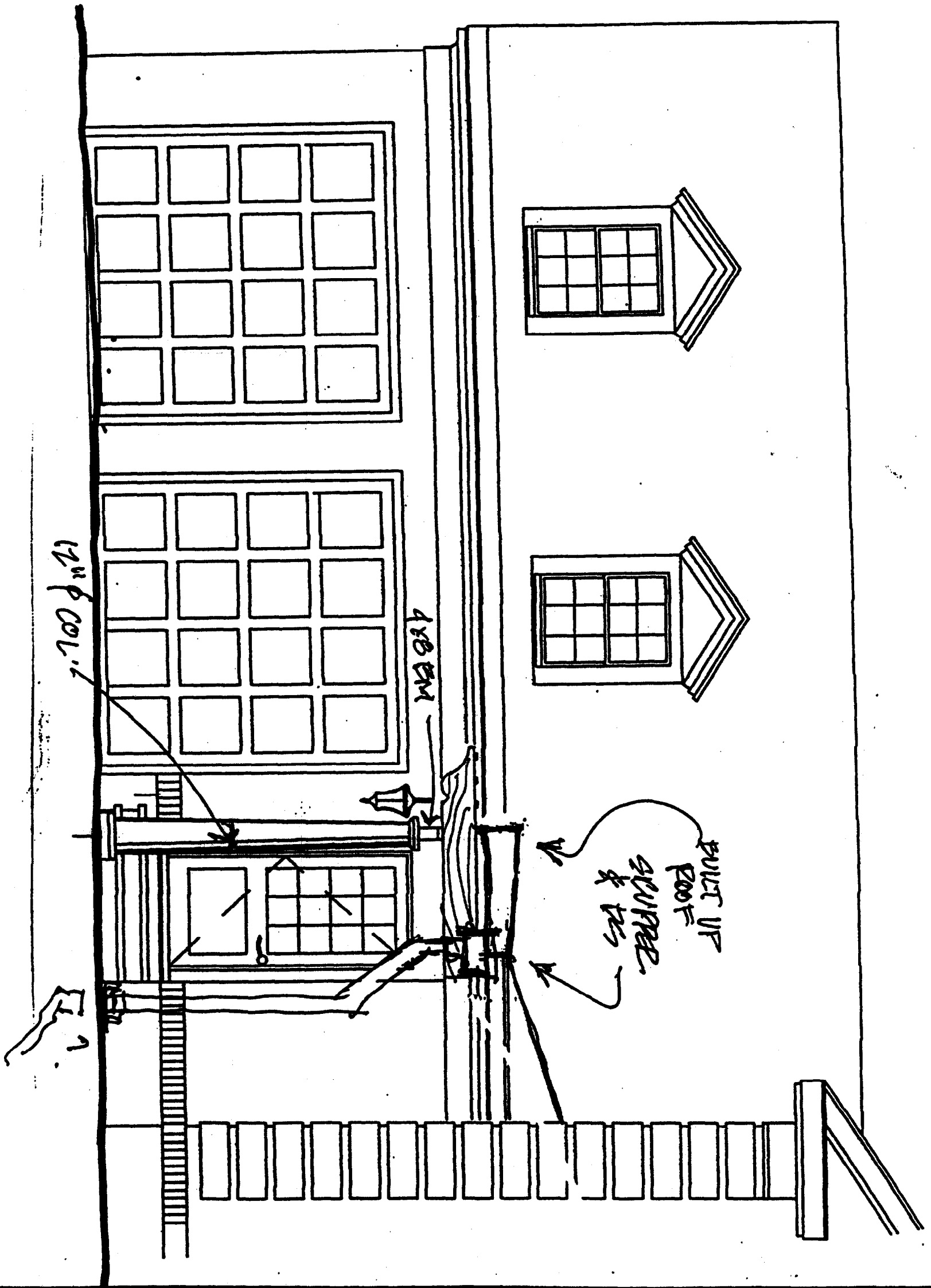
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REAR GARAGE ELEV.
1/4" = 1'



A5
9.25.03

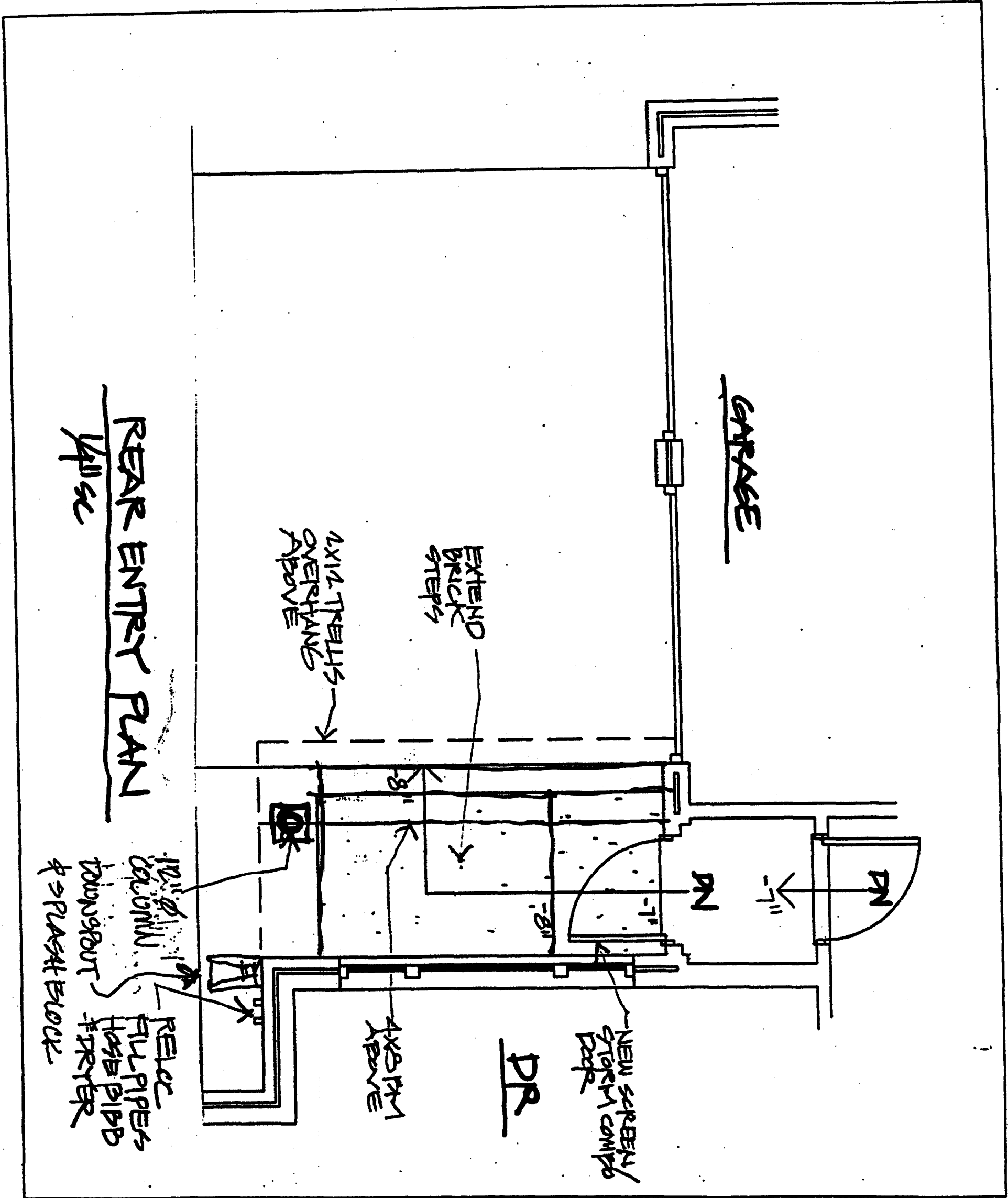
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JOB: 01027

NO.	DATE	REVISION

AG
 9.1503

WHITE
REFINISHED
WATER
TABLE

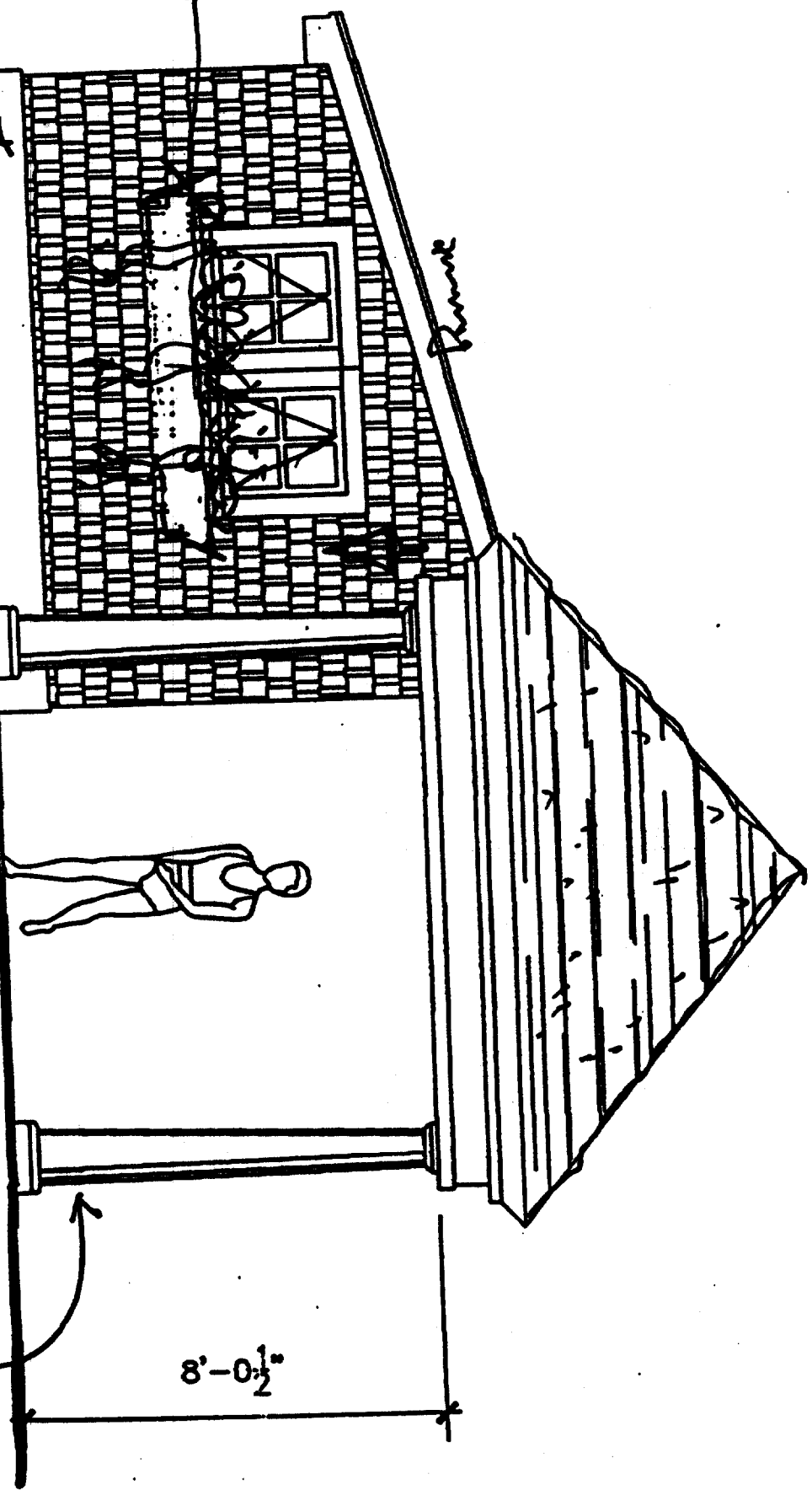
WINDOW BOX

Roofline

Pool House ELEV (POOL VIEW)
1/4" = 1'-0"

12" DIA
COLUMNS

8'-0 1/2"



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PORTLAND, MAINE 04103

JOB 01027

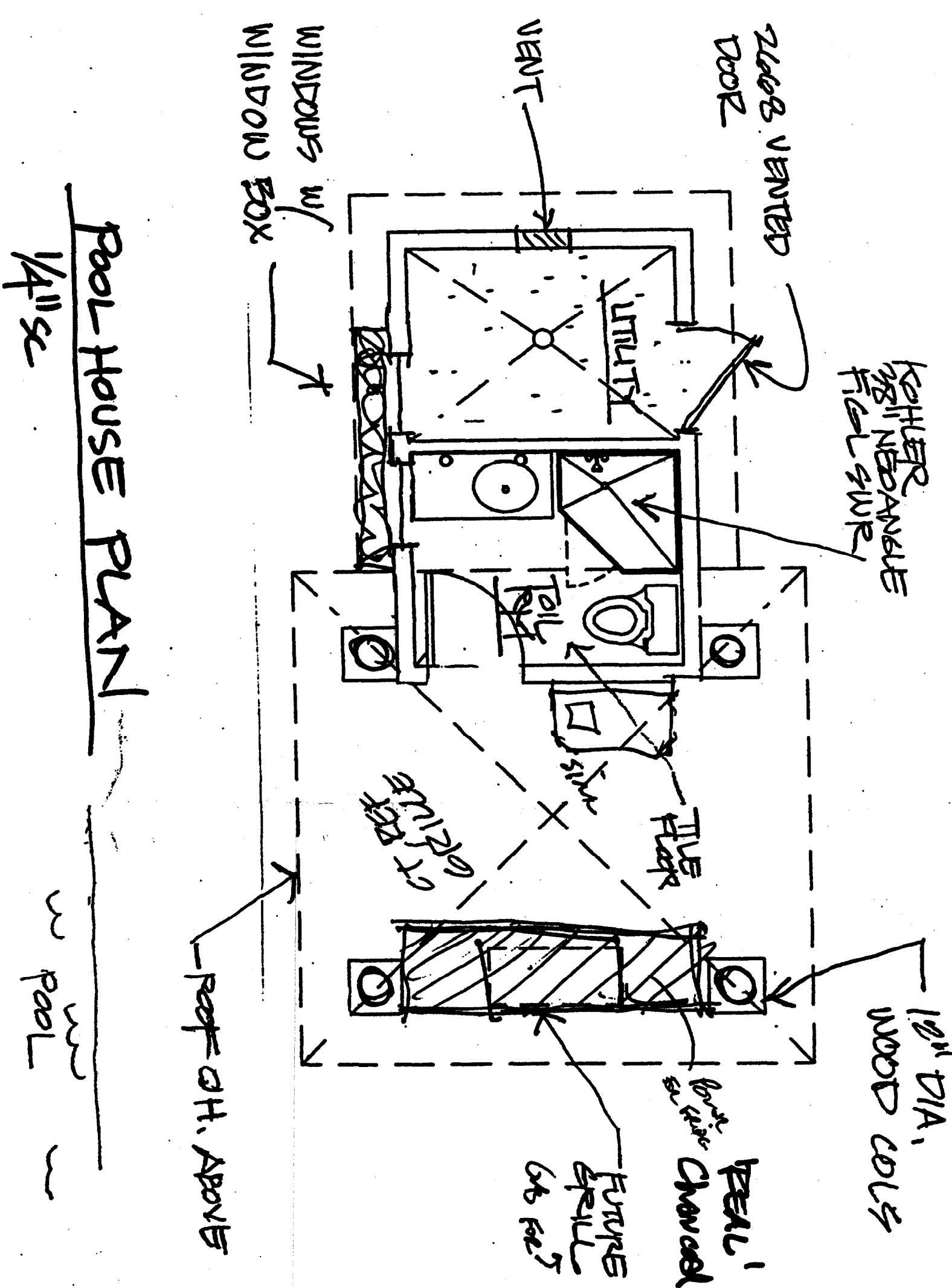
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POOL HOUSE PLAN
1/4" = 1'

pool

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