

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

Permit Number: 020993

PERMIT

This is to certify that Kessler Carol F /Fortin Construction
has permission to Single Family Home with a 10' x 19' addition sleeping room, bath, landing and ramp
AT 112 Parsons Rd 139 K012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 10/8/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0993	Issue Date:	CBL: 139 K012001
-----------------------	-------------	---------------------

Location of Construction: 112 Parsons Rd	Owner Name: Kessler Carol F	Owner Address: 112 Parsons Rd	Phone: 774-3289
Business Name:	Contractor Name: Fortin Construction	Contractor Address: 35 Markarlyn St. Auburn	Phone: 7868737
Lessee/Buyer's Name	Phone:	Permit Type:	Zone: R-3

Past Use: Single Family Home	Proposed Use: Same	Permit Fee:	Cost of Work: \$0.00	CEO District: 2
Proposed Project Description: Single Family Home with a 12'3 x 19' addition sleeping room with bath, landing and ramp		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB 10/8/02 <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

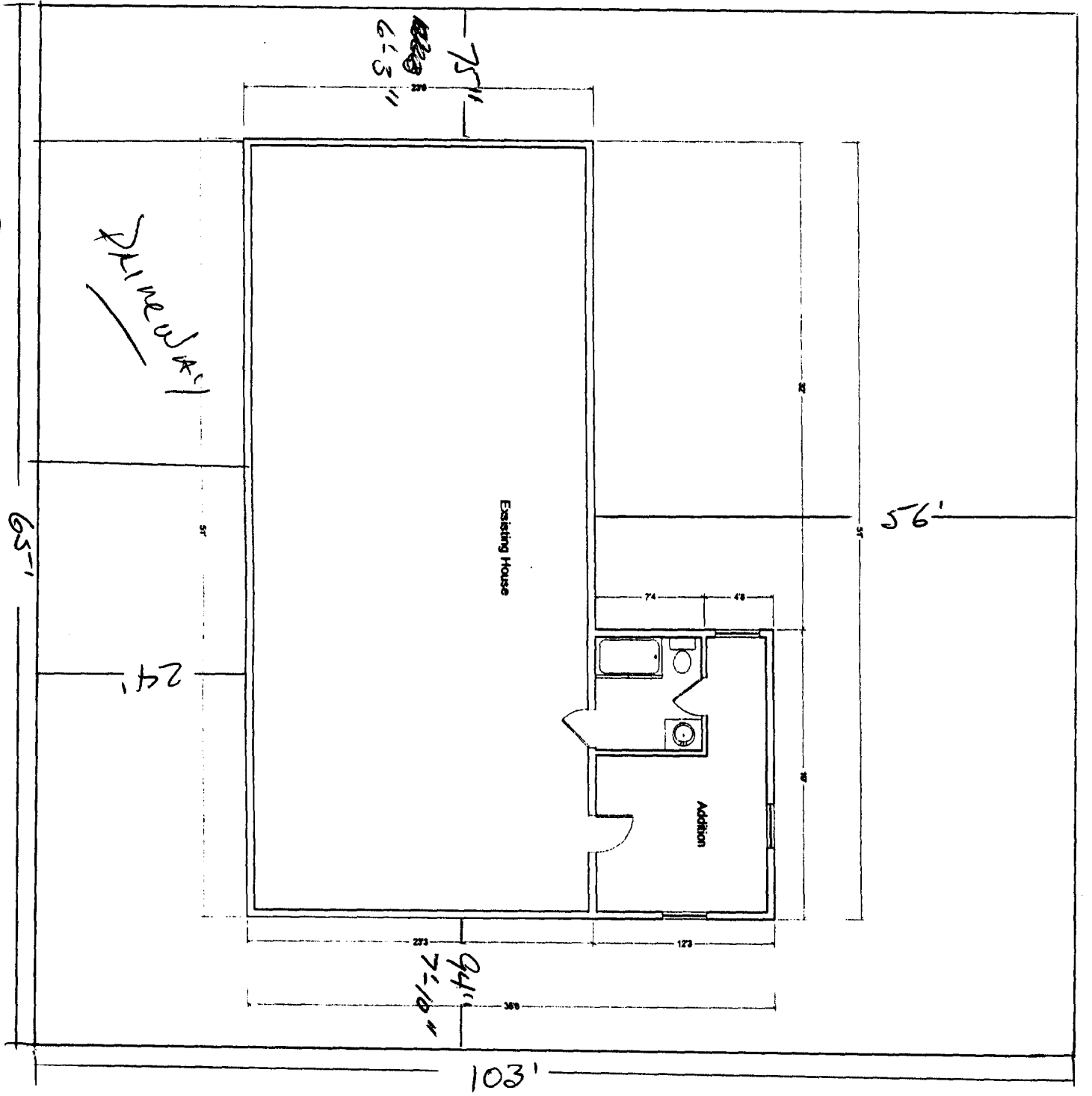
Permit Taken By: gg	Date Applied For: 09/06/2002	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/8/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

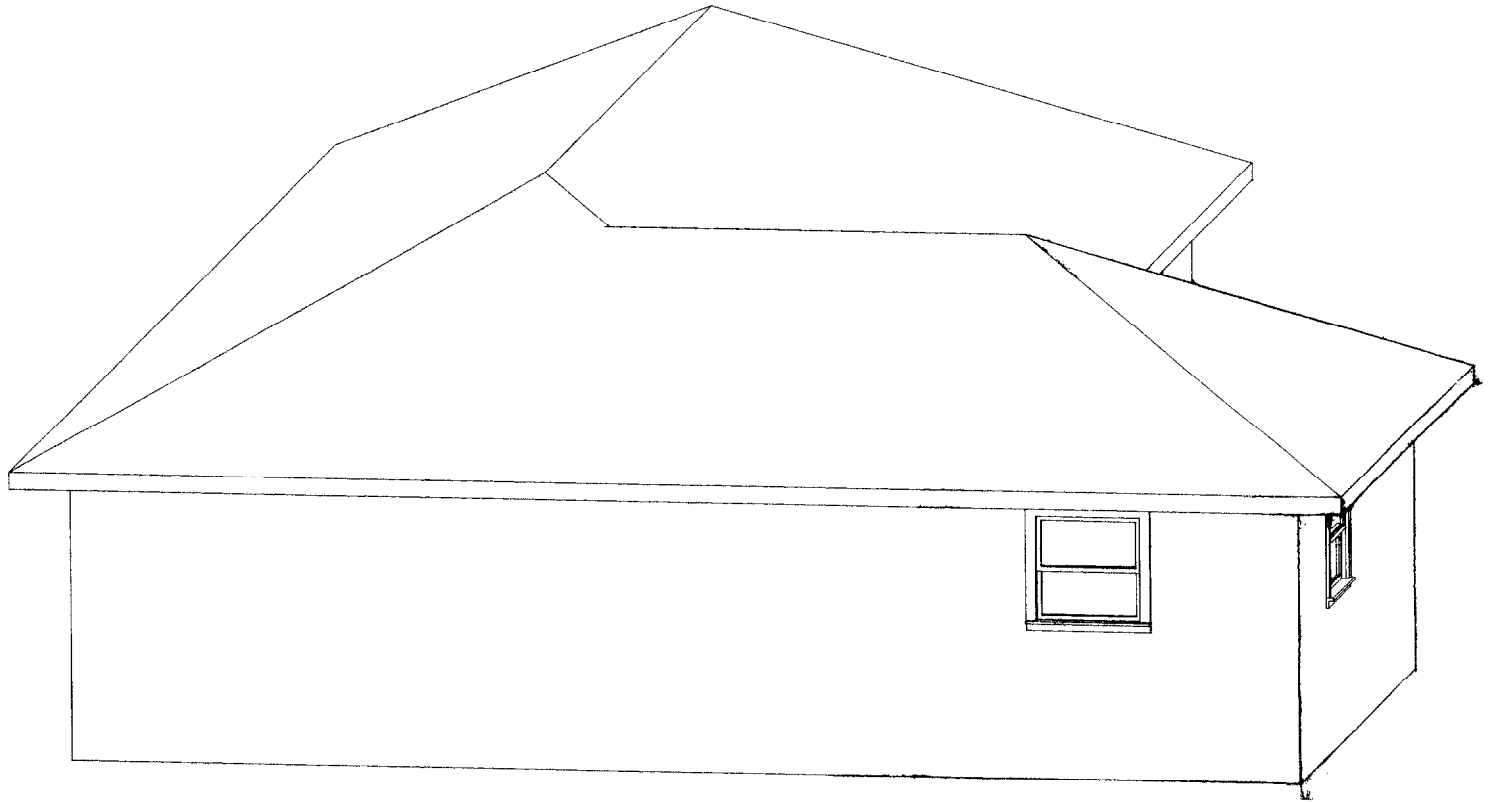
Kessler Job -
F&H Construction

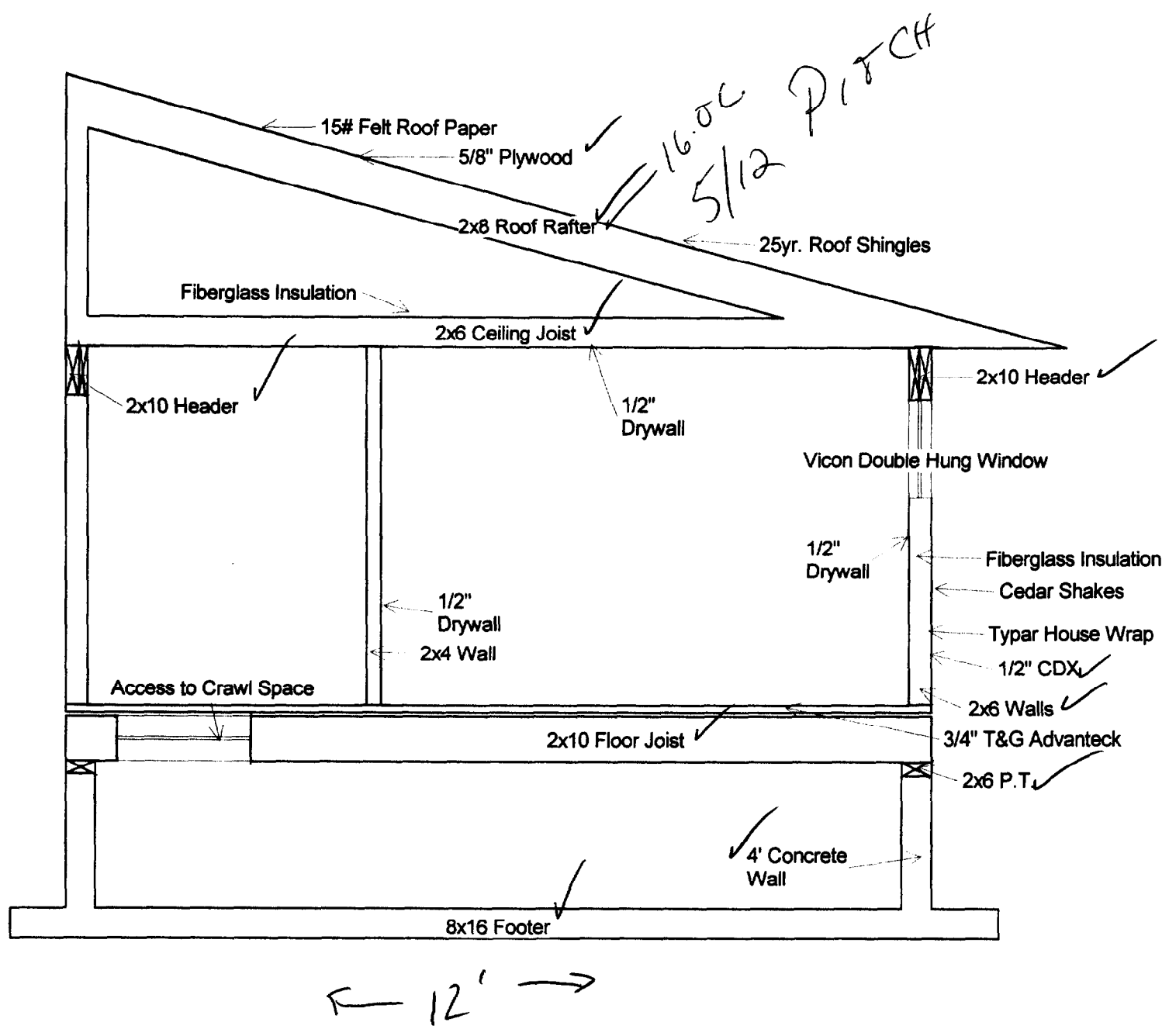


112 PARSONS RD.

Lot 41

Kessler Job
Fortin Construction





Fortin

Home Construction, Inc.

35 MARKARLYN STREET AUBURN, ME 04210 TEL: 786-8737 FAX: 753-0402

FAX:

TO: Jeanne FAX 874-8716
 FROM: Dave Valle DATE: 10/7/02
 RE: Kesson Pennst PAGES 8
 CC: 112 Parsons Rd

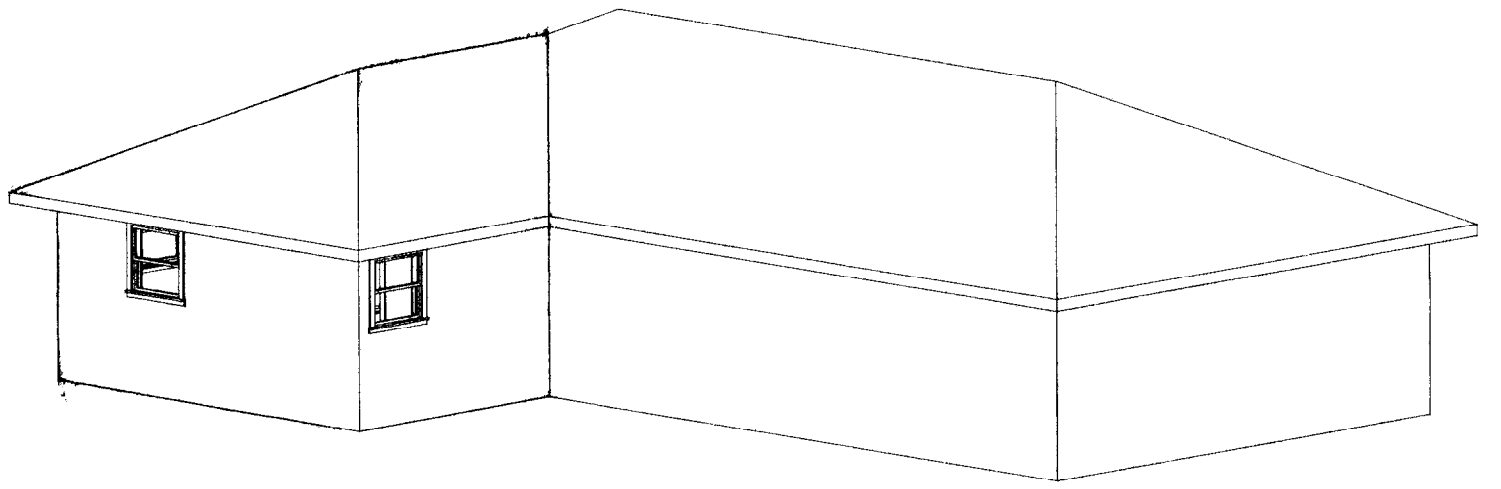
Urgent For Review Please Comment Please Reply Please Recycle

.....

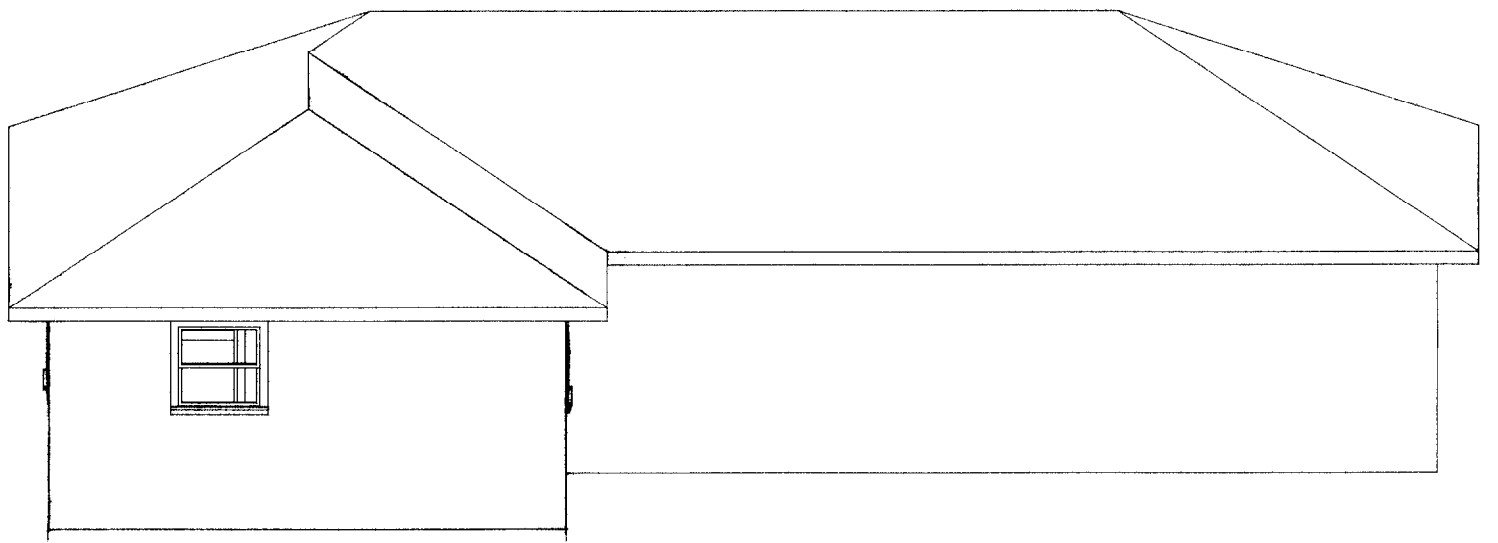
NOTES:

Please Call me for any additional
Info.
Thanks
Dave Valle

Kessler job
Fonti Construction



Kessler job
Port in Construction



Fortin Home Construction, Inc

"Uncompromised Quality at Competitive Prices"

E-mail: FHCI@AOL.com
Tel. 786-8737
Fax 753-0402

yn St
Auburn, ME 04210

Proposal Outline

Date _____

Carol Kessler
112 Parsons Rd
Portland, Me

Job Location
112 Parsons Rd
Portland,

Home: _____ Work _____

Cell: _____ Email: _____

Description:

To construct a 12' x 19' Addition with 0 Bedrooms 1 Baths, 0' x 0' Breezeway and a 0' x 0' Attached / Unattached Garage _____ per blueprints
Permits: Excavation, Building, Electrical, Plumbing, Growth/Impact Fee, Other _____
Clear site of: Trees, Brush, Stumps, Other _____, _____ Homeowner to clear

Excavation:

Excavate for foundation & install up to 0 gravel driveway, install all crushed stone inside with drains, Install outside drain with stone & clean backfill. (Additional fill beyond foundation is not included.)

Options: Pave driveway allowance \$ _____, Blasting allowance \$ _____.

A) Water supply;

- Drilled well (no depth limit); includes pump with tank & sediment filter.
- City water w/ _____ impact & meter connect fees
- \$ _____ Filter allowance. To improve water quality.

B) _____ Standard _____ bedroom private septic system, _____ City sewer w/ _____ impact connect fees

- Design septic system, _____ yes, _____ no, _____ N/A
- Pump station included _____ yes, _____ no, \$ _____ extra if necessary

C) _____ Loam and seed up to a _____' radius of house (disturbed areas).

Foundation: All concrete to be 3/4" 3000 PSI at 28 days.

- A) House foundation to be 8" thick, _____" high with 2 rows of 1/2" rebar
- B) Foundation coating; Rub-R-Wall Plus Waterproofing (Lifetime Warranty) Optional foam: _____ 1", _____ 2".
- C) 4" Average floor w/machine finish; fiber reinforced in Garage. (if applicable)
- D) Breezeway foundation, 8" thick, _____" high.
- E) ~~Ad~~ e foundation, 8" thick, 48" high, or ~~floating slab~~
- F) ~~16" x 32" Insulated vinyl slider foundation windows~~
- G) Bulked Type: _____ location _____
- H) Basement to have: _____ daylight, _____ walkout on _____ sides framed & insulated same as exterior wall

Floor system:

- ~~A) Basement carrying beam: All steel, Some steel placed _____, Wood w/posts~~
- ~~B) Floor joists Trusses, Wood I joist, 2 x 12-16oc, 2 x 10-12oc, 2 x 10-16oc, 2 x 8-16oc, Other _____, with solid bridging and/or 1x4 Diagonal bridging.~~
- ~~C) Floor sheathing to be 3/4" T&G Advantech glued and screwed.~~
- ~~D) Underlayment: 1/2" Advantech for tile, or 1/4" Multi-Ply for vinyl included. (none under carpet or hardwood.)~~
- ~~E) Garage 2nd floor (if applicable) to have; _____ mfg attic trusses w/ floor joists, _____ steel beam- no posts, _____ wood beam w/ posts, _____ other _____~~
- ~~F) Garage 2nd floor joists to be; _____ 2 x 10-16oc, _____ 2 x 8-16oc, _____ other _____~~
- ~~G) Garage 2nd floor sheathing to be; _____ 3/4" Advantech, _____ 5/8" Advantech, _____ 1/2" Advantech, _____ Garage Stairs _____~~

Exterior walls:

- ~~A) House to have 2 x 6-16oc exterior wall studs with 1/2" CDX plywood sheathing. Wrap house with tyvar wrap.~~
- ~~B) Flat ceiling height 96" high. Cathedral ceilings in _____ Room(s).~~
- ~~C) Garage to have _____ 2x4-16oc, _____ 2x6-16oc exterior wall studs with 1/2" Plywood sheathing.~~
- ~~D) Insulate with fiberglass insulation with poly vapor barrier in walls. Kraft faced in ceiling. (R-19 walls, R-38 flat ceiling, R-30 slope ceilings, if applicable), other _____~~
- ~~E) Siding to be _____ Lifetime warranty D/4 vinyl, Brand _____ Concrete clapboards w/ 4 1/2 " exposure. _____ cedar claps w/ 4" exposure w/stainless steel nails, _____ Pine claps w/ 4" exposure w/ galvanized nails. Other: Ceduce Shakes~~
- ~~F) Soffits covered with White vented vinyl, _____ AC 3/8 plywood, Other _____~~
- ~~G) Fascia to be covered with White baked aluminum, _____ #2 pine, Other _____~~
- ~~H) Shutters _____ not included, _____ included on _____ windows. Style: _____~~
- ~~I) _____ 4" Lineals _____ Lintels _____ not included, _____ included on _____ windows, _____ Doors, _____ Door Surround.~~

House roof:

- ~~A) _____ # _____, _____ / _____ pitch manufactured roof _____ truss system, 24" oc with 5/8" plywood sheathing~~
- ~~B) 2 x 8-16oc rafters with 5/8" plywood sheathing. Front pitch to be 5/12, Back pitch 5/12~~
- ~~C) 12" overhang on eaves, 2" overhang on gables.~~
- ~~D) _____ Dog house dormers _____ Dust pan dormer _____~~
- ~~E) _____ Venting skylights, _____ Fixed skylights: in _____ rooms.~~

Breezeway roof: (If applicable)

- ~~A) _____ # _____, _____ / _____ pitch manufactured roof truss system, 24" oc with 5/8" plywood sheathing.~~
- ~~B) 2 x _____-16oc rafters with 1/2" plywood sheathing. Pitch: Front _____ / _____, Back _____ / _____~~
- ~~C) _____" overhang on eaves, _____" overhang on gables.~~
- ~~D) _____ Dog house dormers _____ Dust pan dormers _____~~
- ~~E) _____ Venting skylights, _____ Fixed skylights: in _____~~

Garage roof: (If applicable)

- ~~A) _____ # _____, _____ / _____ pitch manufactured roof truss system, 24" oc with 5/8" plywood sheathing.~~
- ~~B) 2 x _____-16oc rafters with 1/2" plywood sheathing. Pitch: Front _____ / _____, Back _____ / _____~~
- ~~C) _____" overhang on eaves, _____" overhang on gables.~~
- ~~D) _____ Dog house dormers _____ Dust pan dormers _____~~
- ~~E) _____ Venting Skylights, _____ Fixed Skylights; Placement _____~~

Shingles: 25 year 3-tab, architectural roof shingles, other _____

Masonry:

- A) Chimney to be _____" x _____". _____ flue(s), with _____ brick, _____ rock top above roof, _____ all brick outside, _____ all rock on outside, for _____ furnace, _____ woodstove _____
- B) Wood Fireplace(if applicable) to be _____" x _____", _____ brick, _____ rock with required flue.
- C) Gas Fireplace Allowance \$ _____ Mantle to be: _____
- D) Hearth: _____ None _____ Rock, _____ Brick, _____ 5' high, _____ to ceiling.

Body of structure:

- A) Strap all ceilings with 1 x 3-16oc.
- B) Interior partitions to be 2 x 4-16oc

Windows:

- A) House windows Harvey Classics D/H, w/: full screens.
- B) Kitchen windows _____, _____, _____, w/: full screens.
- C) Basement windows _____, Garage windows _____.
- D) no grills, _____ grills between glass, _____ wood inside glass, _____ vinyl inside glass,

Exterior doors:

- A) Front: (style) Therma True w/ 0 side light(s).
- B) Breezeway/Side (style) _____
- C) Patio _____ x _____, _____ hinged, _____ slider, _____ vinyl, _____ Anderson, _____ Smooth Star, _____ w/screen, _____ grills.
- D) Basement entrance (style) _____, (mfg.) _____

Garage doors:

- A) Overhead _____ - _____' x _____', _____ insulated steel, _____ non-insulated steel, _____ w/windows(style) _____, _____ w/no windows, _____ electric openers, _____ Transoms
- B) Side entrance to be (style) _____ Therma True, _____ 3'0"x6'8", _____ x _____

House interior walls and Trim:

- A) Install 1/2" sheetrock to all living area. (includes stairway to basement) other _____.
- B) Ceiling to be: _____ texture, smooth, _____ other _____.
- C. Garage (if applicable) to have 5/8" sheetrock on adjacent wall. Other _____.
- D. Interior doors to be: 6-Panel Pine, _____ Semi-Solid Masonite, _____ Molded Masonite, _____ Other _____
- E. Casing to be: 2 1/2" colonial, _____ 3 1/2", _____ 1x4 flat, other _____ .Paint grade, Stain grade
- F. Base to be: 3 1/2" colonial, _____ 5 1/2" speed base, _____ 1x6 flat, other _____ .Paint grade, Stain grade

*Paint grade molding to be finger jointed Pine.

Stairs:

- A. Treads to be _____ all oak, _____ oak on ends/curbs with carpet on _____ treads, style # _____
_____ all carpet, _____ other _____ on _____ side(s)
- B. Risers to be _____ oak, _____ pine, _____ carpet, _____ other _____.
- C. Trim boards to be _____ oak, _____ pine, _____ other _____
- D. Handrail to be _____ oak, _____ beach, _____ other _____
- E. Balusters to be _____ oak, _____ beach, _____ other _____ . _____ 1/2 wall with cap.
- F) Basement stairs _____ Avanteck, _____ other, _____

Allowances:

- A. Finished flooring \$ _____ (includes material, installation & tax).
- B. Hardwood in _____ rooms. (Includes material & installation, Not included as part of allowance)
- C. Cabinet/ Vanity/ Countertop/ Accessory: \$ _____ (includes materials & tax).
- D. Appliance \$ _____ (includes materials & tax).

Plumbing/Heating: All plumbing to meet code. *For warranty, we must supply all plumbing fixtures*

- A. Install oil, ___ gas, cast iron burner with Hot Water Baseboard to have 1 zone(s) on 1st floor, ___ zone(s) on 2nd floor, ___ zone(s) in basement. Stub for ___ future zones, using circulators on all zones.
- ~~B. Includes _____, _____ gallon oil tank(s).~~
- ~~C. Hot Water to be: ___ tankless coil through furnace, ___ 40 gallon, ___ 80 gallon storage tank..~~
- ~~D. Whirlpool Allowance \$ _____. (Includes Tub / faucet and fixtures, tile surround part of floor allowance.)~~
- ~~E. Gas Company Installation Allowance \$ _____.~~
- ~~F. Bathroom(s) 1st floor, Full 3/4 1/2 2nd floor ___ Full 3/4 1/2 Basement _____~~
- ~~G. Radon ___ "T" in basement ___ piped to attic ___ install system.~~
Includes standard Kohler fixtures, fiberglass tubs & showers, drop in lavs, toilets, stainless steel kitchen sink, chrome faucets, two outside anti-freeze faucets, washer & dishwasher hookups. As per plan.

Electrical: Wire house to code. Includes standard switches, outlets, and cover plates ___ phone jacks, ___ cable outlets, up to 3 ceiling fans, bath light/fans, two GFI outside outlets, smoke detector in each bedroom, at least one on each floor, door bell. Ceramic fixtures for basement and/or garage. Includes one overhead fixture on switch or switch outlet/ room.

- A. To install 100 amp, 30ct, ___ ariel, ___ underground entrance service. Appx. _____,
- ~~B. Lights/ Ceiling Fan Fixture Allowance \$ _____ (includes materials & tax)~~
- ~~C. CMP Line Extension Allowance \$ _____.~~
- ~~D. Includes _____ standard recess lights on single lever switch. (not part of allowance)~~
- ~~E. Special Items: _____ Central Vac, ___ R/I Security System (System determined by customer), ___ Gentran~~

Painting/ Staining/ Polyurethane:

We will do the painting as follows: walls painted, (1 coat Primer, 2 coats paint all one color, eggshell finish) ceilings painted (flat white), doors: painted, stained, window sashes painted, stained, windows & doors casings: painted, stained. Exterior _____.

* Stained trim to have 3 coats clear satin or semi-gloss poly./ painted trim to have 2 coats semi-gloss

___ Customer to do all painting (Includes touch ups, filling nail holes, etc.)

Exterior Decks/ Steps:

- A. Exterior steps Allowance \$ 2000 - (includes materials, installation, & tax, temporary stairs charged if permanent stairs are not built or purchased.)
- B. Front porch ___ x ___, deck material _____, ___ covered, rail materials _____ posts ___ balisters, ___ stairs, ___ lattice, ___ other _____
- C. Rear deck ___ x ___, deck material _____, ___ covered, rail materials _____, ___ posts ___ balisters, ___ stairs, ___ lattice, ___ Install P.T. Ledger Board only

Other

Details: _____

WARRANTY DEED

OPY

KNOW ALL BY THESE PRESENTS, That Emily P. Farley, of 112 Parsons Road, Portland, Cumberland County, Maine, in consideration of One Dollar (\$1.00) and other valuable consideration, received from Carol F. Kessler, also of 112 Parsons Road, Portland, Cumberland County, Maine, does hereby give, grant, bargain, sell and convey unto the said Carol F. Kessler, her heirs and assigns forever,

a certain lot or parcel of land, with the buildings thereon, situated in Portland in the County of Cumberland and State of Maine, bounded and described as follows:

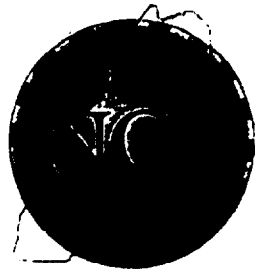
Beginning at a stake in the northerly side line of Parsons Road, said stake being seventy-five (75) feet easterly from the intersection of the northerly side line of Parsons Road and the easterly side line of Clifton Street; thence northerly at a right angle with the street line of Parsons Road one hundred nine and seventy-five hundredths (109.75) feet to the northerly boundary line of The Allen Land Company's land; thence with an included angle of 84° 22' easterly and by said boundary line sixty-five and thirty-one (65.31) feet to a stake; thence with an included angle of 95° 38' southerly one hundred three and thirty-five hundredths (103.35) feet to a stake in said street line; thence with an included angle of 90° westerly and by said street line sixty-five (65) feet to the point of beginning. Being lot numbered 41 as shown on an unrecorded plan of the Allen Land Company's land.

Being the same premises conveyed from The Allen Land Company to Emily P. Farley by deed dated February 19, 1940, recorded in the Cumberland County Registry of Deeds at Book 1564, Page 497.

TO HAVE AND TO HOLD the aforementioned and bargained premises, with all the privileges and appurtenances thereof, to the said Carol F. Kessler her heirs and assigns, to her and their use and behoof forever.

AND Emily P. Farley DOES COVENANT with said Grantee, her heirs and assigns, that she is lawfully seized in fee of the premises, that they are free of all

E.P.F



Northwest
Northeast Civil Solutions
INCORPORATED

September 18, 2001

153 U.S. Route 1
Scarborough
Maine 04074

Ms. Carol F. Kessler
112 Parsons Road
Portland, Maine 04103

Dear Carol:

tel
207.883.1000
800.882.2227

I am writing this letter in response to your request for documentation of the work we performed on your property located at 112 Parsons Road in Portland.

fax
207.883.1001

On August 17 a field inspection was made at the above listed property. Using the recorded subdivision plan, your current deed, a metal detector and a 300 foot measuring tape, we searched the grounds for existing property corners (i.e. iron pipes, monuments, etc.). The inspection uncovered a $\frac{3}{4}$ " iron pipe at the southeast corner of your lot. This iron pipe seems to agree with the subdivision plan. The plan shows a distance of 140' from the corner of Clifton St. and Parsons Road to your southeast corner. We found a distance of approximately 140.2' as measured from the intersection of the back of the sidewalks at Clifton St. and Parsons Road to the iron pipe. In Portland, the back of the sidewalk follows very closely to the property lines and the edge of the right-of-way.

We then measured your road frontage of 65' along Parsons Road from the iron pipe back towards Clifton Street. I placed a temporary "PK" nail in the sidewalk at the approximate southwest corner of your property. We found no evidence of property corners along your rear line. However, the recorded subdivision plan shows that your side property lines run at or nearly at 90 degrees to the street line.

I hope this letter addresses your questions. If we can be of further assistance or if you should need a sketch plan of your property showing the dwelling, improvements and lines of occupation, we would be happy to perform the work for you. Please call should you have any questions.

Sincerely,

Camille C. Alden
Project Manager

PARSONS ROAD
PLAN OF LOTS

DEVELOPED BY
ALLEN LAND CO.

SCALE 1 IN. = 60 FT.

OCT. 1945

169.84 ±	70.24	70.24	70.24	70.24	70.24	70.24	70.24	70.24	70.24
32	33	34	35	36	37	38	39	40	41
164.08 ±	158.33 ±	152.57 ±	146.82 ±	141.06 ±	135.31 ±	129.56 ±	123.81 ±	118.06 ±	112.31 ±

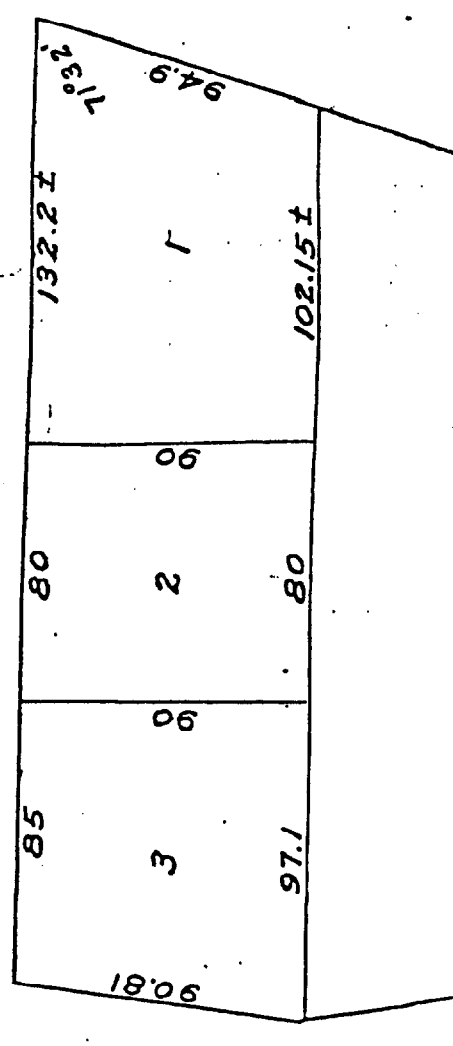
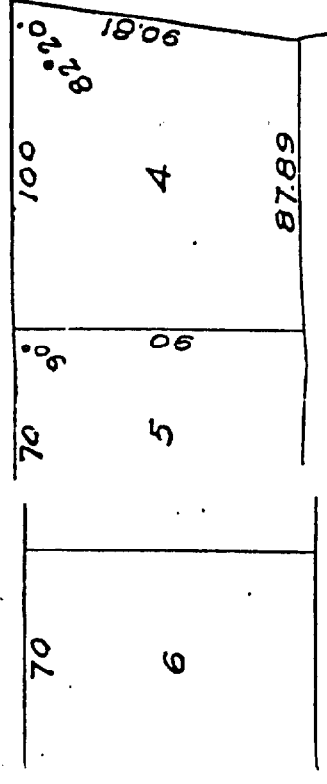
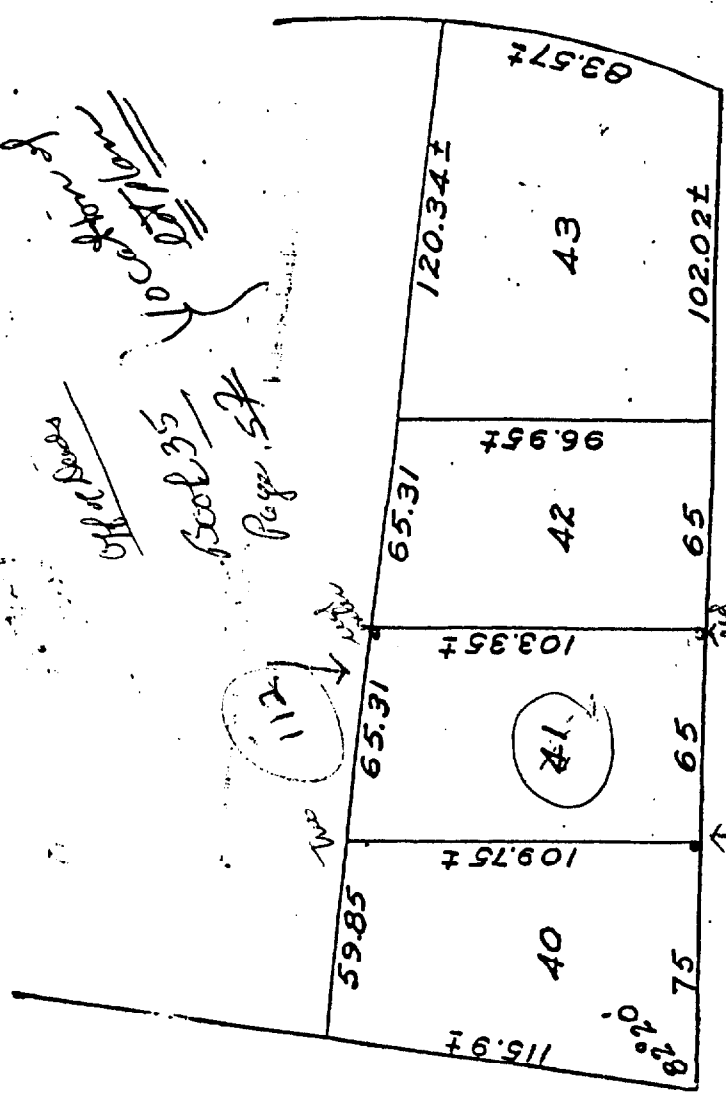
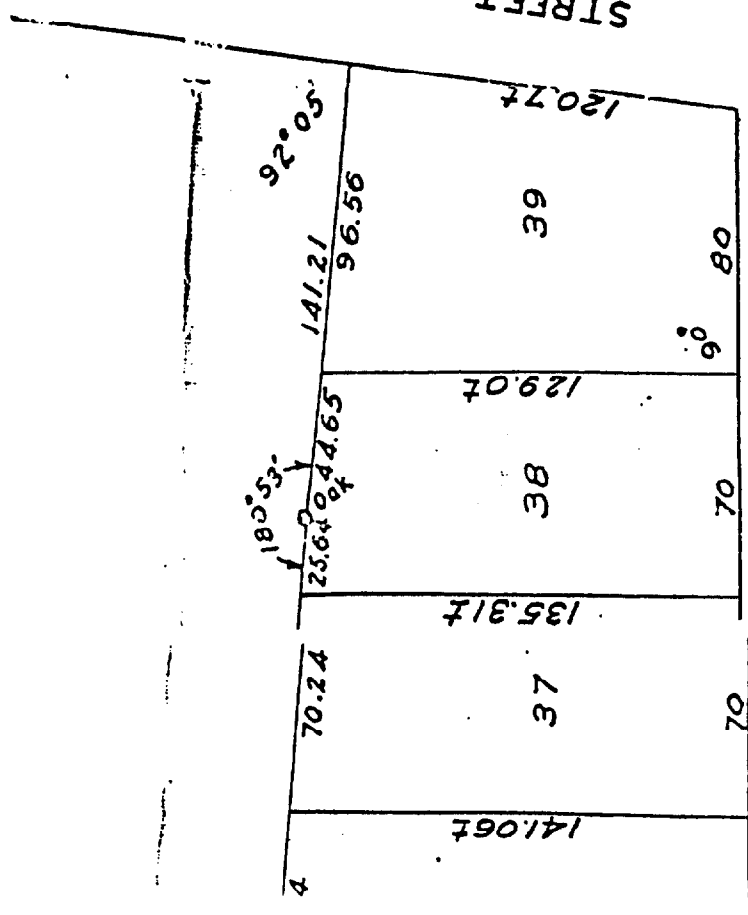
PARSONS ROAD

→ Clifton
→ Baxter

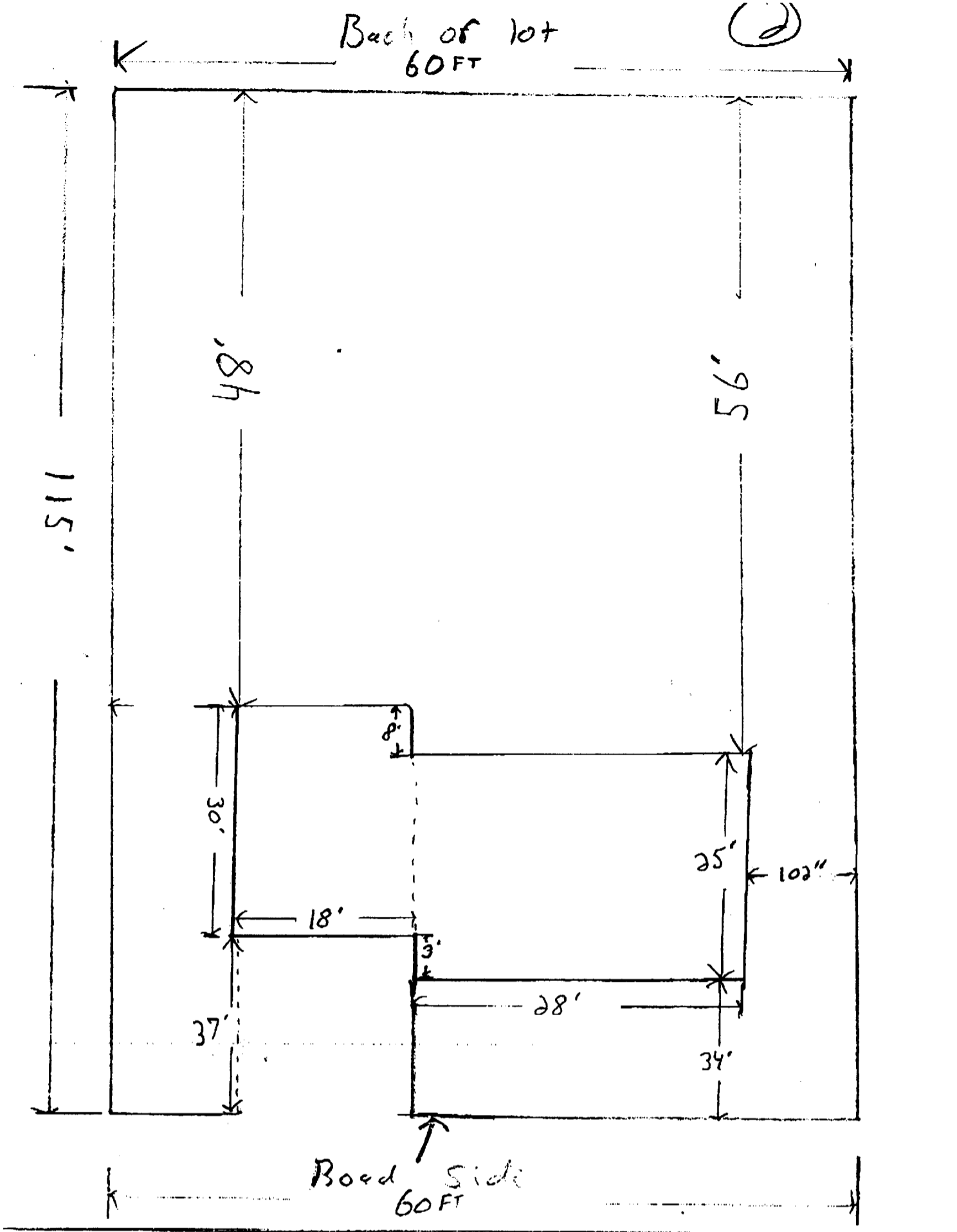
87.93	70	70	70	71	70
11	10	9	8	7	6

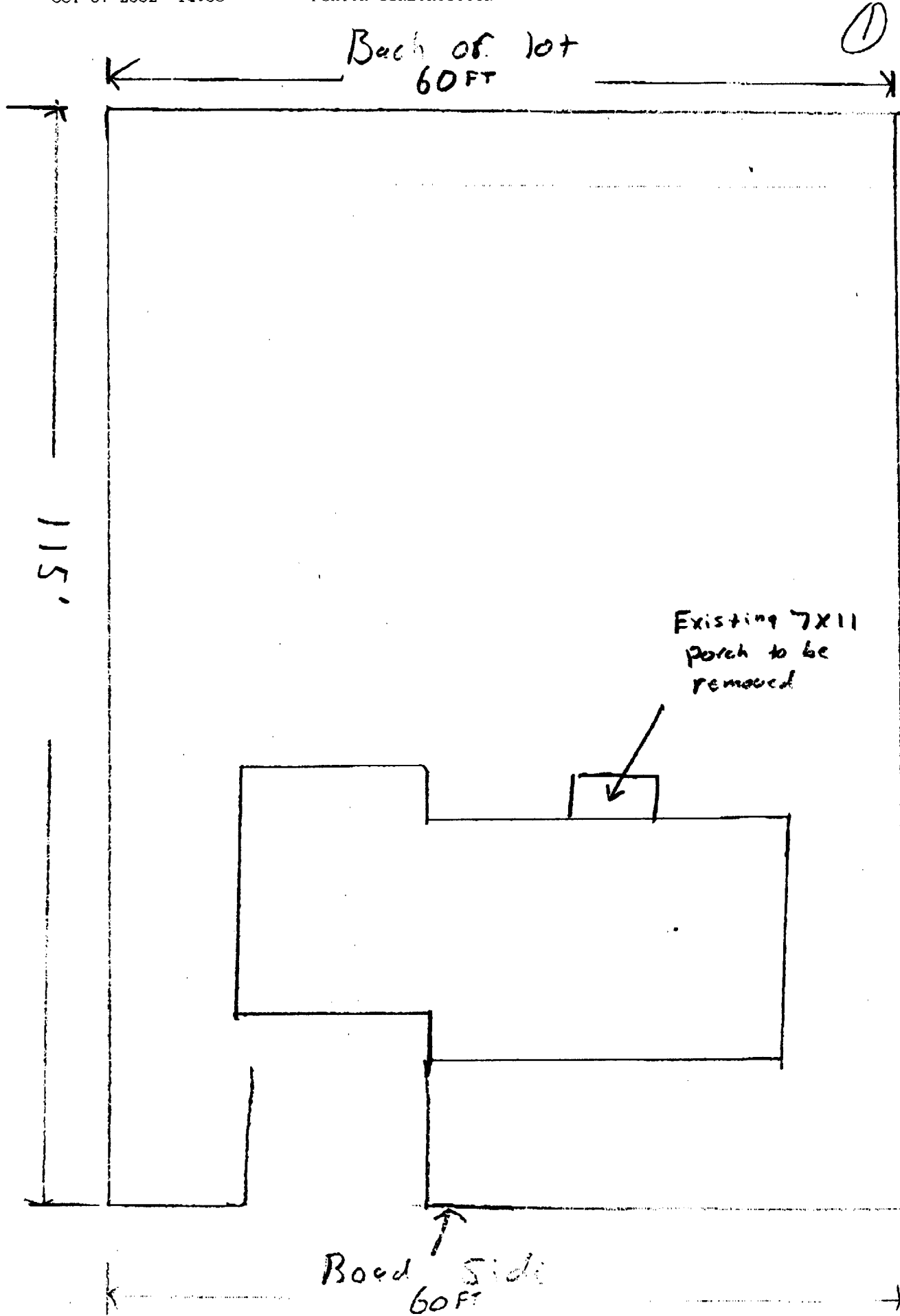
Richard A. Cole
Richard A. Cole

Book 35
Page 57
112



BAXTER





All Purpose Building Permit Application

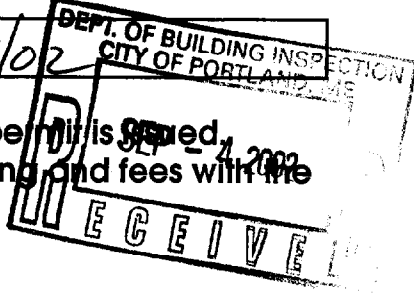
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>112 Parsons Rd, Portland</u>		
Total Square Footage of Proposed Structure <u>228</u>	Square Footage of Lot <u>6,890</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>139</u> Block# <u>K</u> Lot# <u>012</u>	Owner: <u>Carol Kessler</u>	Telephone: <u>714-3289</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Fortin Construction</u> <u>35 Mainklyn St. Auburn</u> <u>207-786-8737</u>	Cost Of Work: <u>\$4,2000⁰⁰</u> Fee: <u>\$335⁰⁰</u> <u>317.00</u>
Current use: <u>Residence</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Living Area</u>		
Project description: <u>19x12 Addition with full Bathroom.</u>		
Contractor's name, address & telephone: <u>Fortin Construction, 35 Mainklyn St. Auburn, ME 04210</u> <u>207-786-8737</u>		
Who should we contact when the permit is ready: <u>Fortin Const., Dave Valle</u>		
Mailing address: <u>Same</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-786-8737		

ASAP
for a
94 yr. old
woman
to have
a
bathroom

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dan Valle</u>	Date: <u>8/8/02</u>	
--	---------------------	---

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Proposal

DON FORTIN
PRESIDENT

Fortin Construction Inc.
35 MARKARLYN STREET • AUBURN • ME 04210
(207) 786-8737 • (800) 299-8737

FREE ESTIMATES

PROPOSAL SUBMITTED TO Attention: Mike Nugent	PHONE	DATE
STREET Portland Town Office.	JOB NAME	
CITY/STATE/ZIP Re: Carol Kessler permit	JOB LOCATION	JOB PHONE

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR:

Mike,

Here is a drawing of the 12X19 addition to be constructed at 112 Parsons Road, Portland. Below is a detailed material list for the wheel chair ramp that is going to be constructed.

Ramp to have:

2 landings, 1 at the top, and 1 at the middle. Slope to be 1" per foot, entire ramp to be approx. 24'-30' long, running along the addition. The entire width of the ramp to be 72"

Materials:

2X8 box sills

2X6 floor joists

4X4 posts on cement pads

Rails to be 2X2 ballusters with 2X6 on edge for top plate.

We Propose HEREBY TO FURNISH MATERIAL AND LABOR - COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS, FOR THE SUM OF:

DOLLARS (\$ _____).

PAYMENT TO BE MADE AS FOLLOWS

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED. ALL WORK TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES. ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON WRITTEN ORDERS, AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNAADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKMEN'S COMPENSATIONS INSURANCE.

AUTHORIZED SIGNATURE Carol Judd

NOTE: THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN _____ DAYS.

Acceptance of Proposal - THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND ARE HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED. PAYMENT WILL BE MADE AS OUTLINED ABOVE.

DATE OF ACCEPTANCE _____

SIGNATURE _____

SIGNATURE _____

Proposal

DON FORTIN
PRESIDENT

Fortin Construction Inc.
35 MARKARLYN STREET • AUBURN • ME 04210
(207) 786-8737 • (800) 299-8737

FREE
ESTIMATES

PROPOSAL SUBMITTED TO	PHONE	DATE
STREET	JOB NAME	
CITY/STATE/ZIP	JOB LOCATION	JOB PHONE

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR

Continued from page #1.....

Ballusters to be 5" on center leaving a 3 1/2 inch space between each. There will also be one set of stairs on back side of landing. Stairs to be 7.5" rise 11" tread, approx. 4-5 steps. All stairs & ramp to be covered with 1 1/4" decking. All materials to be pressure treated.

Ramp to be 36' from back property line

Full length

Approx. 8' from right line

Approx. 30' from left line

We Propose HEREBY TO FURNISH MATERIAL AND LABOR - COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS, FOR THE SUM OF:

DOLLARS (\$ _____)

PAYMENT TO BE MADE AS FOLLOWS

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED. ALL WORK TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES. ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE DISCUSSED ONLY UPON WRITTEN ORDERS, AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKMEN'S COMPENSATION INSURANCE.

AUTHORIZED SIGNATURE _____

NOTE: THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN _____ DAYS.

Acceptance of Proposal - THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND ARE HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED. PAYMENT WILL BE MADE AS OUTLINED ABOVE.

SIGNATURE _____

SIGNATURE _____

DATE OF ACCEPTANCE _____

