

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0931	Issue Date:	CBL: 139 C009001
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Location of Construction: 67 Austin St	Owner Name: Wirth Theodore G &	Owner Address: 67 Austin St	Phone: 207-774-9064
Business Name: n/a	Contractor Name: Maine State Builders	Contractor Address: 245 Warren Ave Portland	Phone: 2077735504
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Remove existing one-car garage and construct new 24' x 24' two-car garage.	Permit Fee: \$352.00	Cost of Work: \$47,000.00	CEO District: 2
Proposed Project Description: Remove existing garage and construct new 24' x 24' two-car garage.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOCA 99</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 08/19/2002	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>N/A</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>8/21/02 smb</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>9/16/02</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Prmt	Text193	20442	Constr Type	New	Num1	20931	
Permit Nbr	02-0931	Location of Construction	67	Austin St	Appl. Date	08/19/2002	
Status	Pending	Permit Type	Additions - Dwellings		Issue Date		
CBL	139 C009001	Territory Nbr	2	Estimated Cost	\$47,000.00	Date Closed	

Comment Date	Comment	Name	Follow Up Date	Completed
08/30/2002	Left messages w/owner. No answer w/builder - need more framing info - need truss specs, header info, gypsum separation, dormer framing, and need to discuss "option" shown on plans.	imm		<input type="checkbox"/>
09/05/2002	Spoke w/Bill @ Maine State Builders - discussed what we needed for info - they will submit.	imm		<input type="checkbox"/>
09/10/2002	rec'd requested info - ok to issue.	imm		<input type="checkbox"/>

CreatedBy	gg	CreateDate	08/20/2002	ModBy	imm	ModDate	09/10/2002
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MAINE STATE BUILDERS, INC.
245 Warren Avenue
PORTLAND, MAINE 04103
Phone 773-5504

JOB _____
SHEET NO. _____ OF _____
CALCULATED BY _____ DATE _____
CHECKED BY _____ DATE _____
SCALE _____

9-9-2002

Wirth Project
67 Austin Street
Portland, ME

Chart 139 - Block C - Lot 9

Framing Details for Attached Garage

Garage Over Header: 9'-6" clear span

50 psf roof snow load; 30 psf attic live load
Provide (2) 1 1/2" x 11 1/4" LVL Beams with solid
blocking below roof truss bearing.

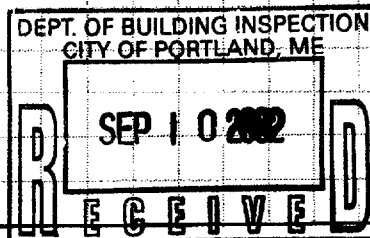
Pedestrian Door Header: 6'-8" clear span

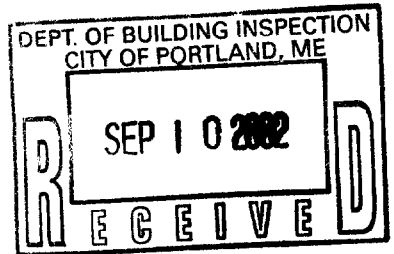
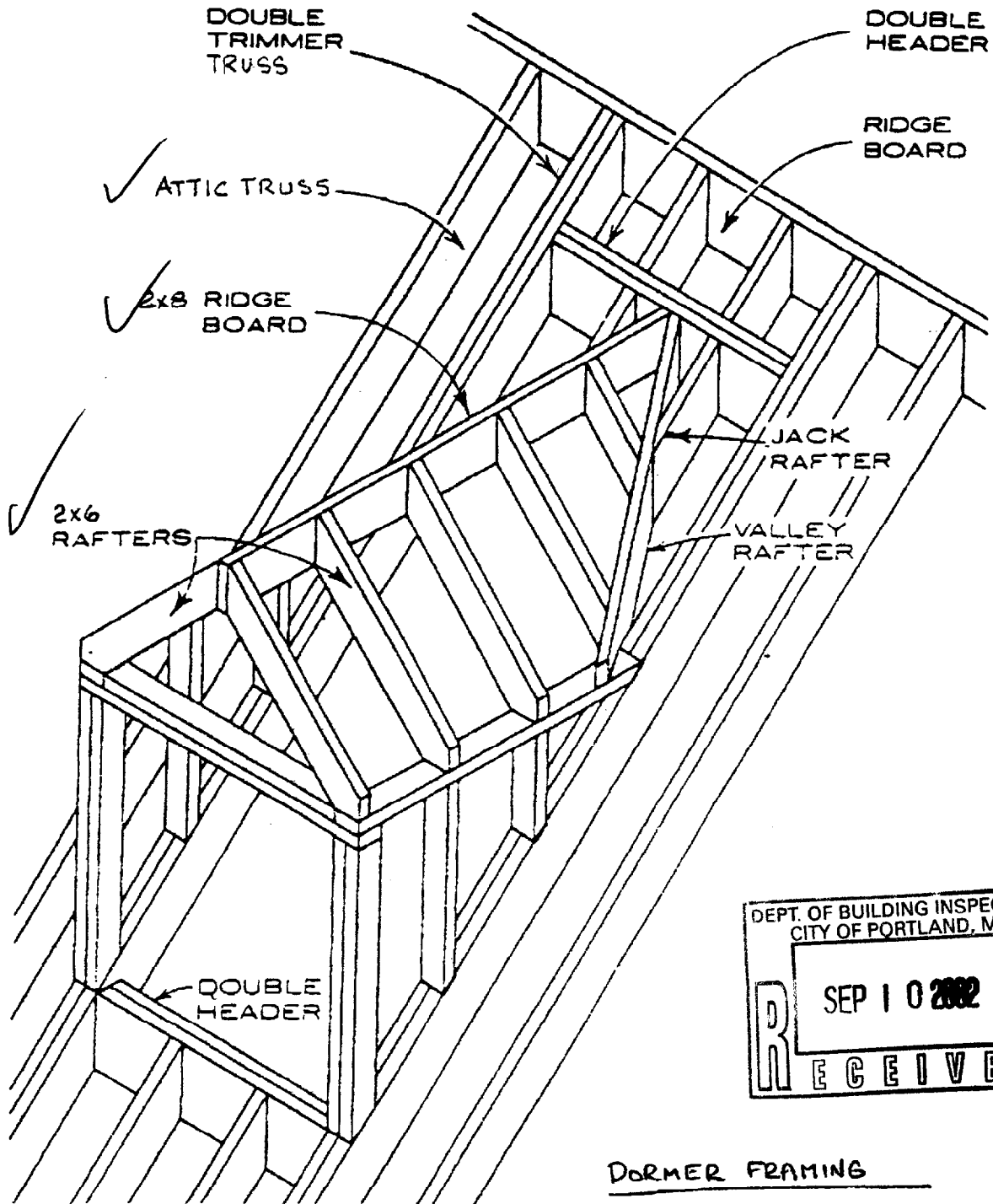
Non-load bearing wall. Use (2) 2x8 SPF
dimensional lumber members.

Dormer Framing Details: 3'-0" wide dormer

Provide (2) A1024 Attic trusses under each
side of the dormer opening. Frame walls of
dormers with 2x4 16" o.c. Frame roof of
dormer with 2x6 16" o.c. with 2x8 ridge
board.

See attached sketch





DORMER FRAMING

Maine State Builders, Inc.
245 Warren Avenue
Portland, Maine 04103

PHONE: 207-773-5504
FAX: 207-797-3886

FAX TRANSMITTAL

Portland Code Enforcement
Attn: Tammy Munson

SENT BY: William Skoolicas
DATE SENT: September 9, 2002
FAX NUMBER: 874-8716
PHONE NUMBER: On file

Subject:

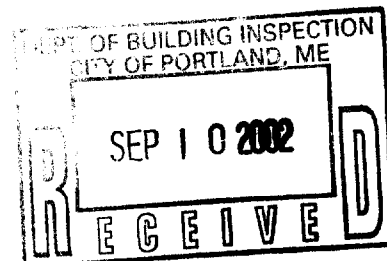
Pending Building Permit Application
Chart 139 Block C Lot 9
Wirth Addition

Attached Items:

- 1. Framing Details - 9/9/02 - 1 Page
- 2. Dormer Framing Sketch - 1 Page

Comments:

Please give me a call if you have any further questions.

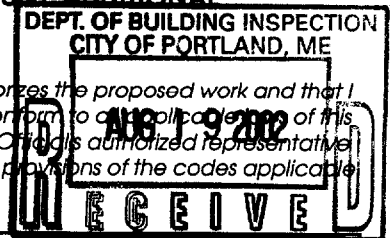


All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>67 Austin Street</u>		
Total Square Footage of Proposed Structure <u>576 sq. ft.</u>	Square Footage of Lot <u>97,000 ±</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>139</u> Block# <u>C</u> Lot# <u>009</u>	Owner: <u>Ted & Nannette Wirth</u>	Telephone: <u>774-9064</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Maine State Builders, Inc</u> <u>245 Warren Ave Portland</u> <u>04103 773-5504</u>	Cost Of Work: \$ <u>47,000</u> Fee: \$ <u>350-</u>
Current use: <u>Single Family Residential</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Single Family Residential</u>		
Project description: <u>Remove existing one-car garage and construct new two-car garage.</u>		
Contractor's name, address & telephone: <u>Maine State Builders, Inc.</u>		
Who should we contact when the permit is ready: <u>Bill Skonlides, Pres</u>		
Mailing address: <u>245 Warren Ave 773-5504</u> <u>Portland, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>773-5504</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to comply with all provisions of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8-19-02</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

August 7, 2002

Ted and Nannette Wirth
67 Austin Street
Portland, Maine 04103

Dear Ted and Nettie:

Subject: PROPOSED GARAGE ADDITION

At your request, I am pleased to provide to you our proposal for the construction of a garage addition to your home on Austin Street in Portland. The scope of work included in our proposal is as follows:

1. Provide all necessary engineering, design, and drawings necessary for the construction of a garage addition measuring 24 feet by 24 feet.
2. Provide City of Portland building and electrical permits.
3. Provide all necessary supervision and administration to control and direct the day-to-day progress of the work in an efficient and timely manner.
4. Provide a temporary toilet for use by construction personnel for the duration of the project.
5. Disassemble a portion of the existing wood fence and gate to make way for construction operations. Salvage all materials for partial reinstallation upon completion of the addition.
6. Erect a temporary fence approximately 80 feet long to protect the ground around the Norway and silver maple trees from damage by construction equipment and operations. Remove upon completion.
7. Provide deep-root fertilizer injections for the Norway maple at the start of construction operations.

8. Remove and salvage the existing patio brick in an area measuring approximately 5 feet by 15 feet in order to make room for the foundation excavation.
9. Remove and salvage the range hood duct work and wall louver for later reinstallation.
10. Carefully separate the garage from the remaining house and demolish the existing garage. Salvage siding if possible and haul away all debris.
11. Provide labor and equipment to locate and cut all major tree roots during excavation in order to minimize the impact of excavation operations on the nearby trees.
12. Excavate and haul away the existing concrete floor and concrete foundation of the demolished garage. Saw-cut the foundation where it meets the house foundation as necessary.
13. Excavate and haul away the existing asphalt driveway surface.
14. Excavate and re-grade the existing ground to allow for the new driveway, which will measure approximately 24 feet by 40 feet.

Note – There will be a small embankment along the right edge of the driveway, the actual size of which will depend upon how we grade the driveway and on how far back into the lawn we decide to re-grade. Surface roots will probably deter us from re-grading very far, and I anticipate that the embankment will consist of about 12 inches in grade change over about 12 inches of horizontal distance.

At the other side of the driveway, we can lower the grade of the driveway, and therefore the garage floor, by an inch or two in order to be able to preserve the basement window opening.

15. Provide a minimum 12 inch base of compacted crushed gravel in the area of the new driveway.
16. Excavate for the new footings and foundation to a minimum depth of 48 inches below finished grade.

17. Form and place 16 inch wide by 10 inch thick concrete footings under the new addition. Footings shall have two continuous #4 steel rebar for reinforcement that shall be drilled and grouted into the existing foundation to prevent differential movement,
18. Form and place approximately 84 lineal feet of 8 inch thick concrete foundation wall with a top-of-wall elevation of approximately 6 – 12 inches above the finished grade. Foundation wall shall have four continuous #4 steel rebar for reinforcement that shall be drilled into the existing foundation to prevent differential movement.
19. Provide a concrete pump truck to pump the concrete for the foundation wall pour. This is necessary to prevent the concrete truck from driving over the roots of the Norway maple tree. The footings can be poured without a pump truck (I hope) because they are lower.
20. Box-out openings in the foundation to allow for the concrete floor to extend into the openings for two garage doors on the front of the garage and one 6 foot wide pedestrian door at the rear patio side. Provide anchor bolts to anchor the wall sill.
21. Provide for a change in foundation top-of-wall elevation at the front right corner of the garage and at the rear left corner. This will allow us to keep the bottom of the new siding above the finished grade on all four sides, without it being too high above the ground on the front of the garage or on the side facing the patio.
22. Backfill the interior of the foundation with clean compacted sand or granular fill, and backfill and compact the exterior of the foundation with existing excavated materials.
23. Fine grade the interior of the garage by hand to prepare for the new floor.
24. OPTION – It would be possible to install a steel safe into the floor of the garage such that the safe is encased in concrete and the door of the safe is covered by a steel plate flush with the surface of the floor. Access to the safe door would be achieved by lifting and removing the steel plate. A rubber gasket under the plate would prevent water from reaching the safe door. The additional cost of this option would be around \$1,000.00.

25. Place and finish a 4 inch thick concrete floor using 3,500 PSI concrete with 6x6, 10/10, welded wire mesh as reinforcement. Slope the floor 1/8 inch per foot from the rear of the garage toward the garage doors.
26. Install a pressure-treated 2x6 sill bolted to the top of the foundation around the perimeter of the garage, with continuous sill-seal insulation installed between the concrete and the sill.
27. Construct the garage walls using 2x6 framing 16 inches on center, with a single 2x6 shoe nailed to the sill, and a double top plate, continuous around the perimeter and interlaced at all corners, and sheathed with 1/2 inch thick CDX fir plywood.
28. Install, anchor, and brace pre-engineered attic roof trusses at 24 inches on center to form the framing for the roof. Sheath roof with 5/8 inch thick CDX fir plywood. The ceiling height in the garage will be approximately 8 feet 6 inches above the concrete floor at the garage doors, and slightly less as the floor rises toward the rear of the garage.
29. Frame and sheath two dormers on the front of the garage, slightly smaller than the existing house dormers.

Note – The dormers shall be open to the attic area such that the sheathing of the underlying roof will be cut out, but any truss framing or bracing that crosses the dormer area shall be painted matt black and shall remain in place.
30. Install 3/4 inch thick, tongue & groove, Advantech engineered underlayment in attic storage area to create a floor area approximately 12 feet wide by 23 feet long.
31. Install 3/4 inch thick smooth plywood on the two side of the attic area up to a height of 48 inches. This will prevent items from rolling off the floor and down onto your vehicles and will allow you to attach shelving or other things to the walls.
32. Furnish and install one premium grade pull-down ladder/stair for access to the attic storage area. The width of the ladder/stair opening between trusses shall be approximately 22-1/2 inches.

33. Patch the existing firewall between the garage and the house as required using similar materials.

Note – There is a small change that the building inspector will require us to install a fire damper in the range hood exhaust duct between the kitchen and the garage. If this is required it will cost about an additional \$100.00.

34. Install exterior solid wood trim to create profiles and details similar to the main house, and cover exterior trim with custom fabricated metal coil stock.

Note – The trim around the windows, especially, may not exactly match the existing house detail, but it will be close.

35. Replace the side wall flashings and install Grace ice-and-water shield along the intersection of the existing house and new roof.
36. Fabricate and install a custom copper or lead flashing “saddle” where the oppositely sloped roofs intersect. Install over a layer of ice-and-water shield for added protection.
37. Completely replace the roof shingles and flashings on the small section of roofing between the rear dormer on the main house and the new addition, adding ice-and-water shield as necessary.
38. Install 36 inches of ice-and-water shield along the eaves of the new addition, even though this is generally not necessary in an unheated structure.
39. Install 15 pound felt paper and new, three-tab, asphalt roof shingles on the addition to match the existing house.
40. Provide an allowance of \$750 for the purchase and delivery of a prefabricated rooftop cupola. Install cupola and install weathervane provided by owner. Painting the cupola, if necessary, is not figured.
41. Install a seamless aluminum rain gutter and two downspouts at the front of the new garage addition.

42. Furnish and install three premium solid vinyl windows with between-the-glass grids in the side wall of the garage, and two matching windows in the new dormers.

Note – We have not yet decided on the exact size for the windows, but the cost does not change much for minor size variations. Our price to you will not change if we select windows that are similar to the those on the main house and dormers.

43. Furnish and install vinyl shutters on the three side wall windows.
44. Furnish and install one six-foot wide, insulated, metal-clad Therma-Tru double pedestrian door with surface bolts on the inactive leaf and a lockset set and deadbolt on the active leaf.
45. Furnish and install two complete 2 inch thick, raised panel, vinyl garage doors 9 feet wide by 7 feet 6 inches high, with electric operators, wireless remote controls, and exterior keypad (for one door only). One section shall have glass windows with square grid inserts.
46. Wrap the exterior wall sheathing with Tyvek or Typar wind barrier and building wrap.
47. Install white vinyl siding, vinyl corner details, and other vinyl siding accessories and trim as required for a complete siding job that will match the siding work on the main house.
48. Reinstall the range hood ductwork and ductwork extension including any necessary transitions and connections.
49. Provide one GFCI protected duplex electrical outlet on each of four first floor walls, including one between the two garage doors where it will always be accessible.
50. Provide one GFCI protected duplex electrical outlet on each of the two long walls in the attic.
51. Provide one GFCI protected duplex electrical outlet on the rear exterior of the garage.

52. Provide nine keyless light fixture bases on the first floor of the garage. There will be three lights along the left side of the left bay, three lights along the center between the two bays, and three lights along the right side of the right bay.
53. For the three center lights in the three rows of lights described above, provide a three-way switch at both the garage door with the exterior keypad and at the rear pedestrian door, so that you can walk in one end of the garage and out the other and be able to control these lights from both doors.
54. For the remaining six lights on the first floor of the garage, provide a single switch near the rear door.
55. Provide two keyless light fixture bases in the attic storage space above the garage,
56. Near wherever we decide to locate the pull-down ladder/stair, provide a switch to control the attic lights.
57. Provide two additional circuits off the main panel for the above electrical work.
58. Provide an allowance of \$200 each, a total of \$400, for the purchase of two exterior light fixtures.
59. Connect the existing light switch feed from the kitchen to control the two new exterior light fixtures.
60. Fine grade the new driveway area and place a new bituminous asphalt surface in two separate layers, individually compacted, consisting of 1-1/2 inches of binder mix followed by 1 inch of wearing surface mix.
61. Provide, grade, and compact a processed sand base under the area of removed patio brick and reinstall brick with positive drainage away from the house and garage.

62. Provide 4 inches of screened loam in the disturbed areas extending approximately 8 feet out from the new addition. Hand grade, fertilize, seed, and mulch newly loamed areas.

Note – Daily watering of the newly seeded areas, which is essential in the first few weeks to the germination and growth of the new grass, shall be the responsibility of the owner.

63. Reinstall the salvaged wood fence, pedestrian gate, and removable fence section, making modifications as necessary.

The total price for above scope of work would be Forty Seven Thousand Dollars (\$47,000.00).

ALTERNATE A – Extend the Rear Roof Line of Garage

64. Extend the rear roof line of the garage addition as required to create a horizontal projection of 4 feet.
65. The roof extension shall consist of a continuation of the main roof framing, sheathing, trim, ice-and-water shield, and roofing.
66. The underside of the roof extension shall be exposed framing and sheathing.
67. Provide four, 4 x 4, pressure-treated columns approximately 8 feet apart with supporting beams between them to support the rear edge of the roof overhang.
68. Provide four, 12 x 12 concrete support piers placed onto continuous footings attached to the main foundation.
69. Provide additional excavation and fill for the pier extensions.

The total price for Alternate A would be Eighteen Hundred Dollars (\$1,800.00).

As always, I appreciate this opportunity to present our proposal to you and look forward to discussing the work with you in person.

Sincerely,

William S. Skoolicas
President

Proposal

Maine State Builders, Inc.

245 Warren Avenue • Portland, Maine 04103 • 207-773-5504

OWNER

Ted and Nannette Wirth
67 Austin Street
Portland, Maine 04103

PHONE

774-9064

DATE OF PROPOSAL

August 16, 2002

PROJECT NAME

Two-Car Garage Addition

PROJECT LOCATION

67 Austin Street, Portland, Maine

APPROXIMATE START DATE

September 1, 2002

APPROXIMATE DATE OF SUBSTANTIAL COMPLETION

November 15, 2002

DESCRIPTION OF THE WORK PROPOSED

Provide all labor, material, and equipment necessary for the removal of your existing one-car garage and for the construction of a new, two-car garage, as described in the attached specifications.

Proposal price:

Forty Seven Thousand Dollars-----(\$47,000.00)

Terms of payment:

Requisitions due upon receipt shall be submitted approximately every two weeks as the work progresses. A final requisition due upon receipt shall be submitted upon final completion of the work.

Proposed By: Maine State Builders, Inc.
by William S. Skoolicas
Its President

Signed: 

Acceptance of proposal

The terms and conditions on the back of this page together with the terms and conditions set forth above are accepted and are hereby incorporated into and become a part of this Agreement and are seen and agreed to by:

Signature _____

Title _____

Date _____

DRUMMOND & DRUMMOND, LLP

COUNSELORS AT LAW
ONE MONUMENT WAY
PORTLAND, MAINE 04101

Wadleigh B. Drummond (1885-1979)
Josiah H. Drummond (1914-1991)

Telephone: 207-774-0317
Facsimile: 207-761-4690
E-Mail: asparks@ddl.com

David N. Fisher, Jr. +
Horace W. Horton
Arthur A. Cerullo^o
Robert C. Santomena^o
Michael P. Boyd
Andrew W. Sparks^o
Alexandra E. Caulfield^o
Paul E. Peck[^]
Philip P. Mancini
Jennifer I. Richard*
Paul M. Koziell^{o*}
Douglas F. Britton
J. Daniel Hoffman^o
Scott E. Herrick
Stephanie N. Strouse*
Margaret B. Clement

July 25, 2002

^o Also admitted in MA
[^] Also admitted in CT
^{*} Also admitted in NH
⁺ Also admitted in OH

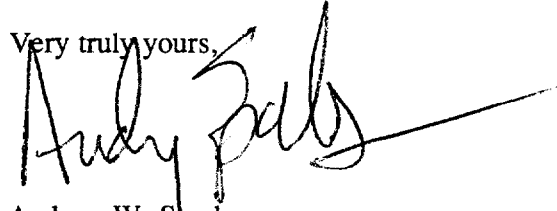
Theodore Wirth
67 Austin Street
Portland, Maine 04103

Re: Greene Street

Dear Ted:

Pursuant to our phone call enclosed are copies of the original affidavit recorded in the Registry of Deeds, as well as the Confirmed Copy of Notice recorded in the Registry of Deeds. I believe these two documents should be enough to show the City your ownership interest in the old Greene Street, and the fact that it has been vacated. If you have any questions or need anything further, please call.

Very truly yours,



Andrew W. Sparks

AWS/tmm
Enclosures
cc: Paul E. Peck, Esq.

AFFIDAVIT

We, Theodore G. Wirth and Nannette B. Wirth, hereby being duly sworn, do depose and state the following:

1. We own property at 67 Austin Street, in the City of Portland, County of Cumberland and State of Maine, as described in a deed from Sidney W. Farr, dated August 31, 1988 and recorded in the Cumberland County Registry of Deeds in Book 8454, Page 278.

2. On September 3, 1997, the Portland City Council passed Order #84, entitled Order Excepting Streets from Deemed Vacation, pursuant to 23 M.R.S.A. §3032, as recorded in the Cumberland County Registry of Deeds in Book 13326, Page 19. In said Order, Greene Street, shown on a plan dated November 16, 1868, made from a survey of Chas. H. Howe, C. E., and recorded in said Registry of Deeds in Plan Book 3, Page 10, and which abuts our above referenced property to the west was deemed vacated by the City.

3. By Confirmed Copy of Notice pursuant to 23 M.R.S.A. §3032 dated February 24, 2000, the undersigned claims title to the centerline of the way that abuts the above referenced property. Said Notice was recorded in said Registry of Deeds in Book 15337, Page 119.

4. Since there will be no conveyances, per se, of the property claimed, the purpose of this affidavit is to provide record evidence of the additional parcel of land, as described in the attached Exhibit A, that we now own, and to provide a legal description of same.

7. All of the above statements are true to the best of our knowledge and we believe them to be true and correct.

Dated at Portland, Maine, this 23rd day of October, 2001

Theodore G. Wirth

Theodore G. Wirth
Nannette B. Wirth

Nannette B. Wirth

STATE OF MAINE
CUMBERLAND, ss

,2001

Personally appeared the above named Theodore G. Wirth and Nannette B. Wirth and made oath that the facts contained in the foregoing Affidavit by them made are based on their own personal knowledge, information and belief; that they are true, and to the extent made upon information and belief, they believe them to be true.

RECEIVED
RECORDED REGISTRY OF DEEDS
2001 NOV -6 AM 9: 06
CUMBERLAND COUNTY
John B O'Brien

Before me, *[Signature]*

Notary Public

Printed Name: F. Chase Howker, Jr. Notary Public
My Commission Expires State of Maine
My Commission Expires 11/5/2006

Beginning at the corner formed by the southerly side of Austin Street (formerly known as Oak Street, as located November 29, 1937) with the easterly line of a proposed street called Greene Street, as shown on a plan dated November 16, 1868, made from a survey in September, 1867 by Chas. H. Howe, C. E., recorded in the Cumberland County Registry of Deeds in Plan Book 3, Page 10;

Thence North 50° 27' 02" West by said southerly side of Austin Street twenty-five (25) feet to a point and a steel pin to be set;

Thence South 38° 29' 52" West by the centerline of said Greene Street one hundred eleven and sixty one hundredths (111.61) feet to a steel pin to be set;

Thence Southeasterly twenty-five (25) feet to the said easterly line of said Greene Street, and the northwesterly corner of land conveyed by Charles A. Maxfield et al to Marion P. Peterson by deed dated June 12, 1936 and recorded in the Cumberland County Registry of Deeds in Book 1500, Page 212, and the southwest corner of land conveyed by Sidney W. Farr to Theodore G. Wirth and Nannette B. Wirth by deed dated August 31, 1988 and recorded in said Registry of Deeds in Book 8454, Page 278;

Thence northeasterly by line of said proposed Greene Street one hundred eleven (111) feet, more or less, to the point of beginning.

Reference is made to a plan entitled "Plan of Standard Boundary Survey of Green Street (paper) made for Clifford Green & Kathleen Norris, 64 Mackworth St., Portland, ME" by Royal River Survey Co., dated June 21, 2000.

Meaning and intending to describe the easterly half of said Greene Street as it abuts the premises currently owned by the said Theodore G. Wirth and Nannette B. Wirth.

CONFIRMED COPY OF NOTICE

By virtue of the Maine Revised Statutes, Title 23, Section 3032, the following proposed, unaccepted way was deemed by law to have been vacated by the municipal officers of the City of Portland by Order recorded in the Cumberland County Registry of Deeds in Book 13326, Page 22. The way so vacated is shown on a plan dated November 16, 1868 made from a survey of Chas. H. Howe, C.E. recorded in the Cumberland County Registry of Deeds, Book of Plans, Volume 3, Page 10 and is described as Greene Street on said Plan.

The undersigned claims to own to the centerline of the way that abuts their property described above. Any person claiming an interest in the way or a portion of the way adverse to the claim of the undersigned, within one year from the date of recording of a copy of this Notice in the registry of deeds, must file a written claim, under oath, in the same Registry and, within 180 days thereafter, must commence an action in Superior Court in Cumberland County in accordance with the Maine Revised Statutes, Title 23, section 3033.

Please see attached Exhibit A for a listing of the current record owners of the lots on the subdivision plan to which the Notice pertains and their mortgagees of record.

Dated: 02/24/00

Theodore Wirth
Theodore Wirth

Dated: 2/24/00

Nannette Wirth
Nannette Wirth

Dated: 2/24/00

Paul E. Peck, Esq.
Paul E. Peck, Esq.
Attorney for the Wirths

STATE OF MAINE
CUMBERLAND, ss.

2/24, 2000

Personally appeared the above named Theodore Wirth and acknowledged the foregoing instrument to be their free act and deed.

Before me,


Notary Public

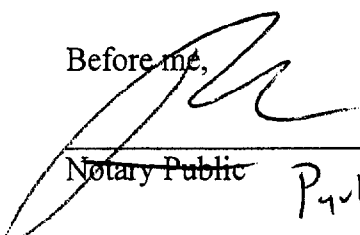
Paul E. Peck

STATE OF MAINE
CUMBERLAND, ss.

2/24, 2000

Personally appeared the above named Nannette Wirth and acknowledged the foregoing instrument to be her free act and deed.

Before me,


Notary Public

Paul E. Peck

STATE OF MAINE
CUMBERLAND, ss.

2/24, 2000

Personally appeared the above named Paul E. Peck and acknowledged the foregoing instrument to be his free act and deed in his capacity as attorney for the Wirths.

Before me,


Notary Public

JANICE F. BRODEUR
Notary Public, Maine
My Commission Expires December 5, 2002

\\COMSERV\DATA\USERS\JANICE\REAL\EST\Wirth\NOTICE confirmed copy.doc

SEAL

EXHIBIT A TO NOTICE UNDER 23 M.R.S.A. § 3033

- 1. Mary Green Barthelman Tax Map 11
- 2. Mark J. Nakell and Eugenie W. Nakell Tax Map 4
 First NH Mortgage Corporation
 Dovenmuehle Mortgage Company, LP
 University Credit Union
- 3. Kathleen A. Norris and Clifford S. Greene Tax Map 12
 Nations Bank Mortgage Corporation
- 4. Camilla I. Polisner Tax Map 15
 KeyBank of Maine
- 5. Robin L. Schulte and James B. Fairbanks Tax Map 13
 SIB Mortgage Corporation d/b/a Ivy Mortgage

\\COMSERV\DATA\USERS\JANICE\REAL\EST\With\EXHIBIT A TO NOTICE UNDER 23 M.doc

RECEIVED
RECORDED REGISTRY OF DEEDS

2000 FEB 25 PM 2: 09

CUMBERLAND COUNTY

John B O'Brien

Maine State Builders, Inc.
245 Warren Avenue
Portland, Maine 04103

PHONE: 207-773-5504
FAX: 207-797-3886

FAX TRANSMITTAL

Portland Code Enforcement
Building Permit Applications

SENT BY: William Skoolicas
DATE SENT: August 26, 2002
FAX NUMBER: 874-8716
PHONE NUMBER: On file

Subject:

Pending Building Permit Application
Chart 139 Block C Lot 9
Wirth Addition

Attached Items:

- 1. Roof Truss Design Certification, 1 Page, November 6, 2001

Comments:

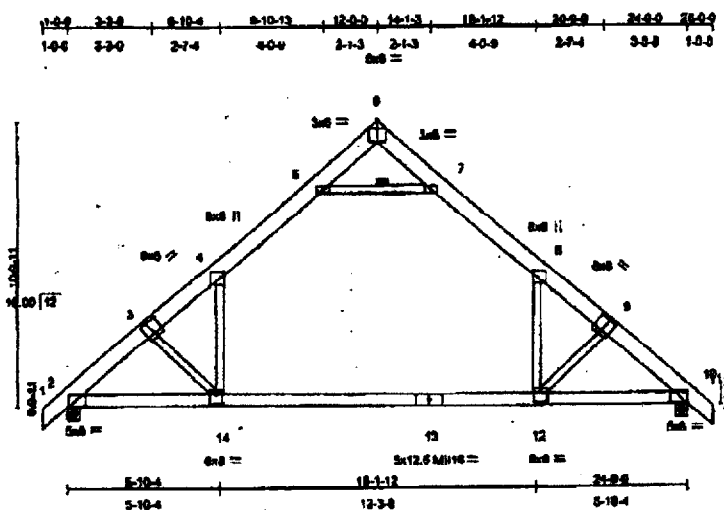
The enclosed specification sheet certifies that the trusses we are using are designed for use in Maine according to ANSI/TPI 1-1995 standards using the following design values:

Roof Pitch	10:12
Top Chord Live Load	42 psf
Attic Ceiling Dead Load	5 psf
Attic Floor Additional Dead Load	5 psf
Attic Floor Live Load	30 psf

Please give me a call if you have any further questions.

Job	Truss	Truss Type	City	Qty	Ply	11814884
OTTAWASK	A1024	ATTIC	SO	1	(optional)	

WOOD STRUCTURES, BRIDGEMOND, ME. 04005 4.201 SRT's Aug 22 2001 MITEK Industries, Inc. Fri Nov 02 09:25:02 2001 Page 1



MEMBERS (X,Y): [20-0-2.0-0-0], [20-4-0.0-0-0], [4-0-1-12.0-0-0], [60-4-0.0-0-0], [60-1-12.0-0-0], [0-0-0-0-0-0-0], [10-0-0-2.0-0-0], [12-0-0-0-4-4], [15-0-0-0-4-4]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 22.0	2-0-0	TC 0.66	in (in)	MI20	169/123
TCBL 7.0	Plates Increase 1.15	9C 0.83	Vert(L) -0.61 12-14 >480	MI15	127/82
BCLL 0.0	Lumber Increase 1.15	WB 0.67	Vert(R) -0.69 12-14 >317		
BCBL 10.0	Req Stress Incr YES	(Metric)	Horz(L) 0.04 10 n/a	Weight: 145 lb	
	Code BOCA/ANSI 95		1st Lt LL Min (k) = 300		

LUMBER
 TOP CHORD 2 X 8 SPF 1950F 1.5E
 BOT CHORD 2 X 6 SPF 1650F 1.5E
 WEBS 2 X 4 SPF-S Std

BRACING
 TOP CHORD Sheathed or 5-0-2 oc purlin.
 BOT CHORD Rigid ceiling directly applied or 8-5-0 oc bracing.
 WEBS 1 Row at midpt 6-7

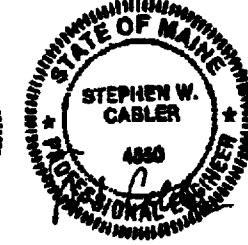
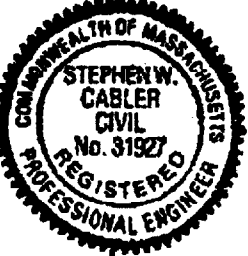
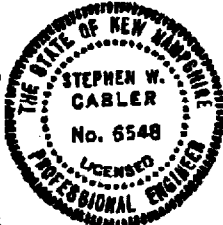
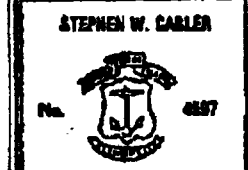
REACTIONS (kips) 10=2002/0-5-8, 2=2002/0-5-8
 Max Hz 2=340 (load case 3)
 Max Up/In 10=-78 (load case 4), 2=-79 (load case 4)

NOTE: DUE TO THE OVERALL LENGTH TO DEPTH RATIO OF THIS TRUSS, THE FLOOR MAY EXHIBIT OBJECTIONABLE VIBRATION AND/OR DEFLECTION. BUILDING DESIGNER TO CONSIDER PROVIDING MEANS TO DAMPEN POSSIBLE FLOOR VIBRATION.

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=56, 2-3=2752, 3-4=2515, 4-5=1619, 5-6=570, 6-7=670, 7-8=1619, 8-9=2515, 9-10=2752, 10-11=58
 BOT CHORD 2-14=1879, 13-14=1551, 12-13=1651, 10-12=1879
 WEBS 5-7=2203, 4-14=1150, 8-12=1150, 3-14=466, 9-12=466

- NOTES**
- This truss has been checked for unbalanced loading conditions.
 - This truss has been designed for the wind loads generated by 90 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 6.0 psf bottom chord dead load, 5 mi from hurricane coastline, on an occupancy category I, condition 1 enclosed building, of dimensions 43 ft by 24 ft with exposure B ASCE 7-03 per BOCA/ANSI 95. If end verticals exist, they are not exposed to wind. If cantilever exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DCL increase is 1.33, and the plate grip increase is 1.33.
 - All plates are MI20 plates unless otherwise indicated.
 - Ceiling dead load (5.0 psf) on member(s) 4-5, 7-8, 5-7
 - Bottom chord live load (60.0 psf) and additional bottom chord dead load (5.0 psf) applied only to room, 12-14
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 78 lb up/ft at joint 10 and 79 lb up/ft at joint 2.
 - This truss has been designed with ANSITFP 1-1995 criteria.

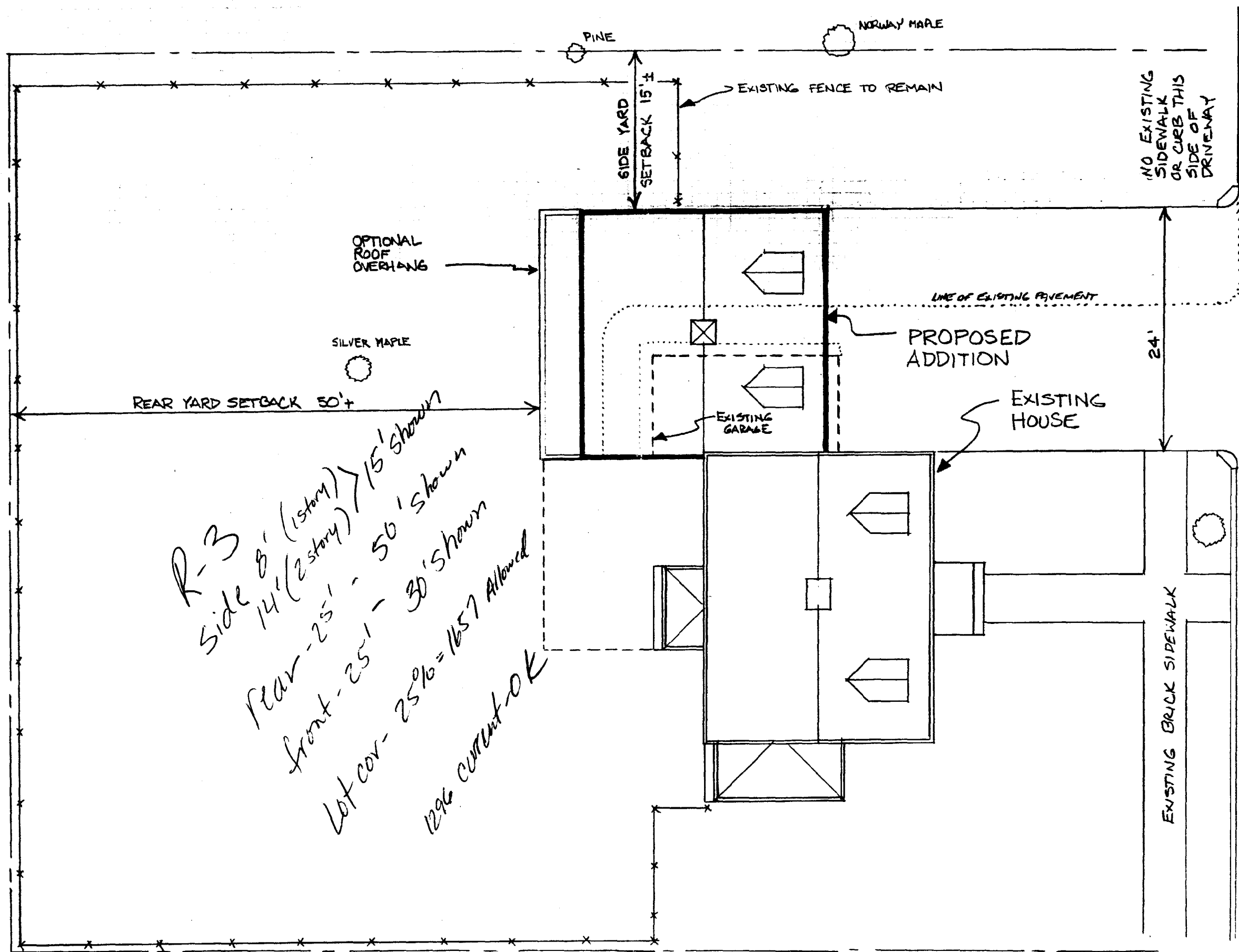
LOAD CASE(S) Standard
 THIS TRUSS IS DESIGNED FOR RESIDENTIAL USE ONLY!
 30-LOAD IS ADEQUATE FOR ATTIC LIGHT STORAGE AREA AND/OR SLEEPING ROOMS ONLY
 (30 PSF IS NOT ADEQUATE FOR A WATERBED LOAD, CORRIDORS, OR BASIC FLOOR AREA)



November 6, 2001

ADDITIONAL NOTES: This truss is designed for residential use only. It is not to be used for any other purpose. The designer is not responsible for the adequacy of design parameters and proper interpretation of component responsibility of building designer - not full design. Loading shown is to lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding bracing, erector manuals, delivery, erection and bracing, consult MIT-02 Quality Standard, 022-09 Bracing Specifications, and MIT-01 Bracing Installation and Bracing Construction available from Truss Plate Institute, 689 D'Onofrio Drive, Madison, WI 53718.





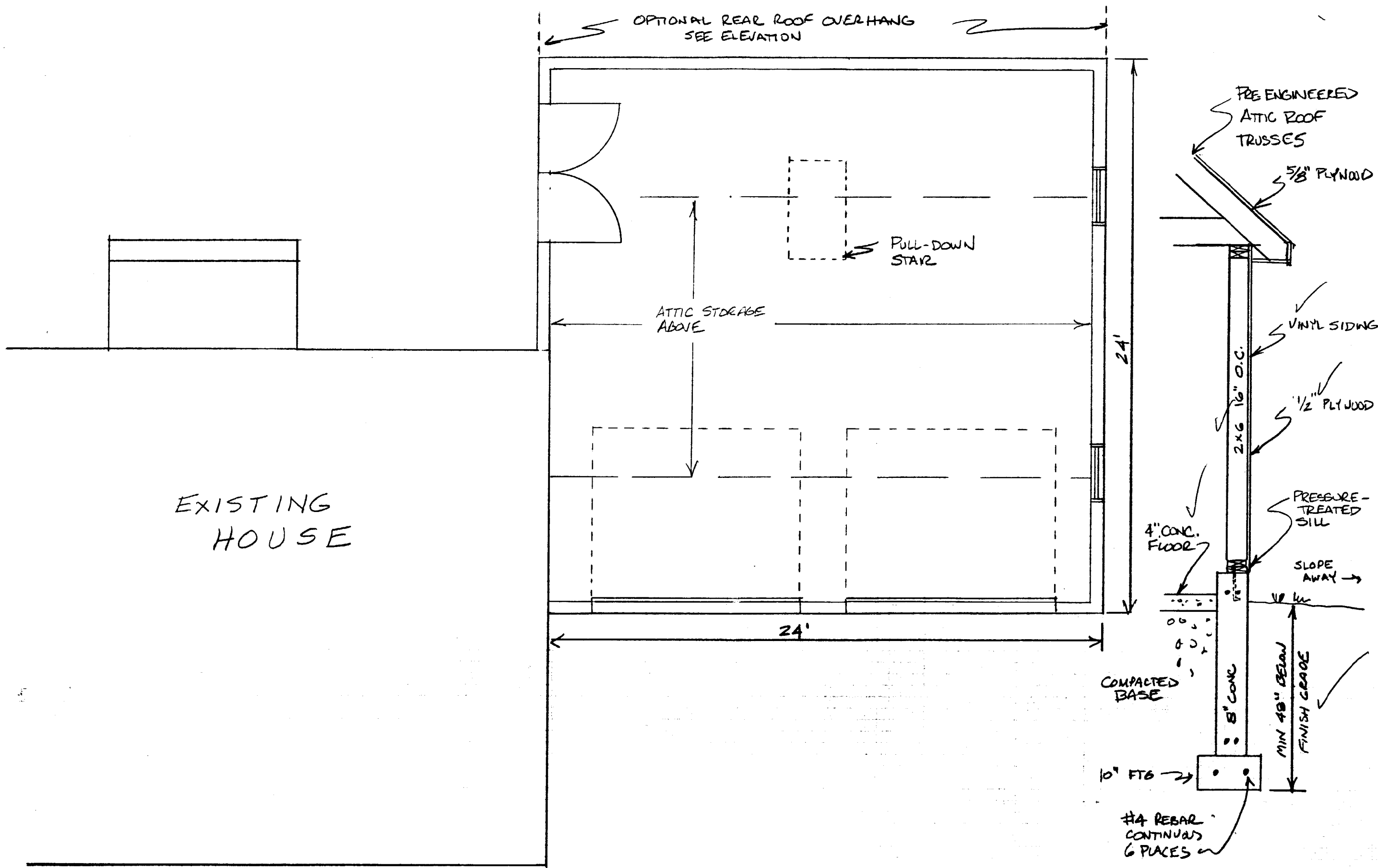
R-3
 Side 8' (1 story) / 15' shown
 14' (2 story)
 Rear - 25' - 50' shown
 front - 25' - 30' shown
 Lot cov. - 25% = 1657 Allowed
 1296 current OK

AUSTIN STREET

PROPOSED ADDITION FOR TED & NANNETTE WIRTH
 67 AUSTIN STREET - PORTLAND, MAINE

SITE PLAN

16-AUG-02
 SCALE 1" = 10'



EXISTING HOUSE

OPTIONAL REAR ROOF OVERHANG
SEE ELEVATION

PULL-DOWN STAIR

ATTIC STORAGE ABOVE

PRE ENGINEERED
ATTIC ROOF
TRUSSES

5/8" PLYWOOD

VINYL SIDING

1/2" PLYWOOD

PRESSURE-TREATED SILL

SLOPE AWAY

4" CONC. FLOOR

COMPACTED BASE

8" CONC.

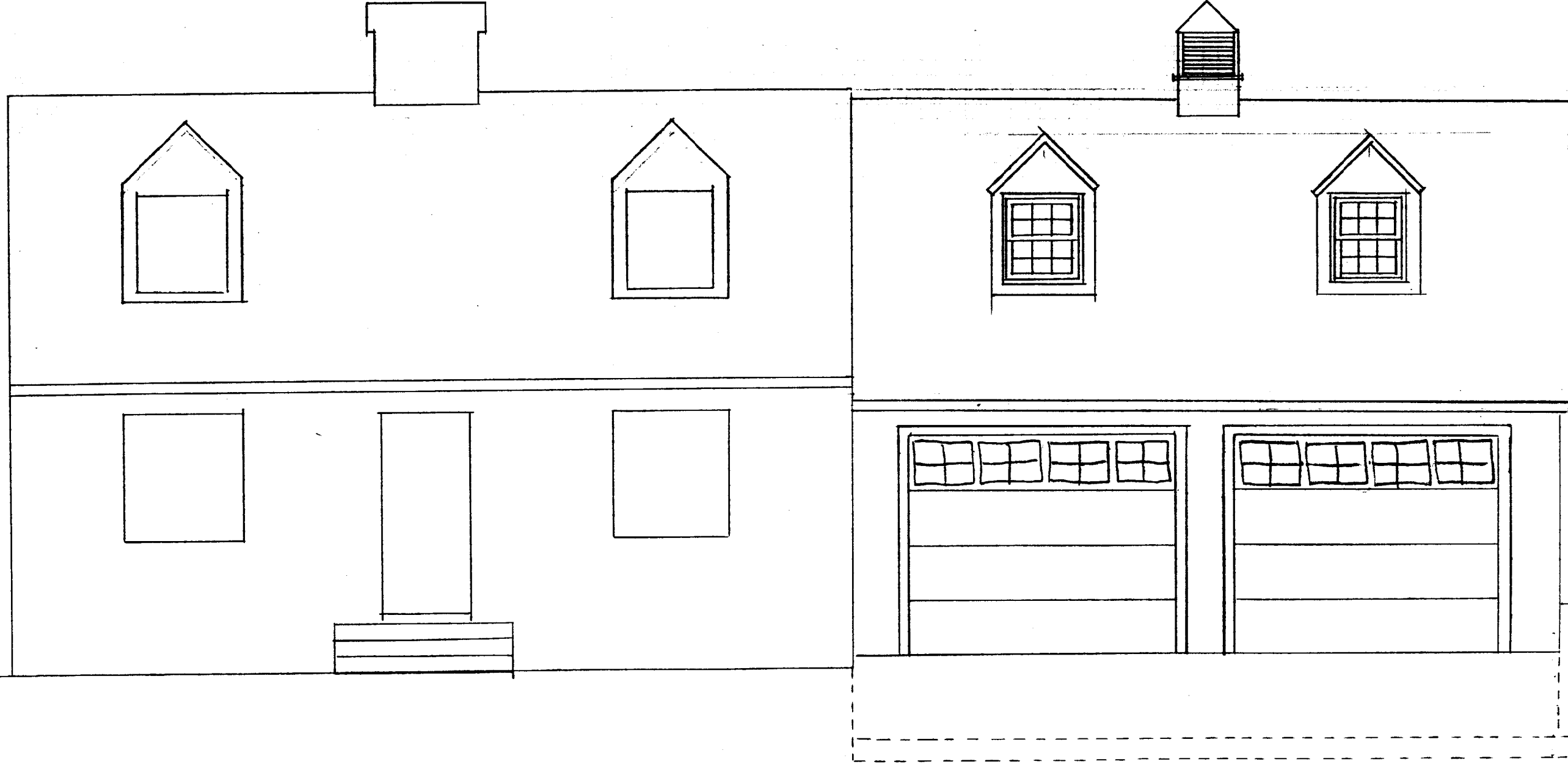
MIN 48" BELOW FINISH GRADE

10" FT6

#4 REBAR CONTINUOUS 6 PLACES

16-AUG-02
SCALE 1/4" = 1 FOOT

PROPOSED ADDITION FOR TED & NANNETTE WIRTH
67 AUSTIN STREET - PORTLAND, MAINE
FLOOR PLAN



PROPOSED ADDITION FOR TED & NANNETTE WIRTH
67 AUSTIN STREET - PORTLAND, MAINE
FRONT ELEVATION

15-JUL-02
SCALE: 1/4" = 1 FOOT



PROPOSED ADDITION FOR TED & NANETTE WIRTH
 67 AUSTIN STREET - PORTLAND MAINE
 END ELEVATION

15-JUL-02
 SCALE 1/4" = 1'-0"