

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION

### PERMIT

Permit Number: 071401

This is to certify that GOODRICH KIMBERLY A. Male Brag Builders, Inc

has permission to extensive interior and exterior remodel include new windows and dormers.

AT 436 BAXTER BLVD

139-1006001

DEC 10

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must  
give and written permission procur  
before this building or part thereof  
land or other enclosed-in.  
HOOR NOTICE IS REQUIRED.

A certificate of occupancy must be  
procured by owner before this build-  
ing or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

12/10/07 *Chety L.M.*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1401	Issue Date: 12/10/07	CBL: 139 J006001
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Location of Construction: 436 BAXTER BLVD	Owner Name: GOODRICH KIMBERLY A	Owner Address: 436 BAXTER BLVD	Phone: 450-2420
Business Name:	Contractor Name: Dale Bragg Builders, Inc	Contractor Address: PO Box 871 Portland	Phone: 2078296015
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family Home with attached 2 car garage.	Proposed Use: Single Family Home with attached 2 car garage - extensive interior and exterior remodel to include new windows and dormers.	Permit Fee: \$2,020.00	Cost of Work: \$200,000.00	CEO District: 4
Proposed Project Description: extensive interior and exterior remodel to include new windows and dormers.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003	
		Signature: _____		Signature: 12/10/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 11/07/2007	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland front part of lot with 250' Shoreland Zone. House is not located in Flood Zone Shoreland. <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	
	<i>ok with conditions</i>			
	Date: _____			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

         **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

✓ **Footing/Building Location Inspection:** Prior to pouring concrete

JK **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

✓ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

✓ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

✓ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

~~**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**~~

J. Paetz  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

[Signature]  
Signature of Inspections Official

12.10.07  
Date

CBL: 139-J-6- Building Permit #: 071401

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-1401	<b>Date Applied For:</b> 11/07/2007	<b>CBL:</b> 139 J006001
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<b>Location of Construction:</b> 436 BAXTER BLVD	<b>Owner Name:</b> GOODRICH KIMBERLY A	<b>Owner Address:</b> 436 BAXTER BLVD	<b>Phone:</b> ( ) 450-2420
<b>Business Name:</b>	<b>Contractor Name:</b> Dale Bragg Builders, Inc	<b>Contractor Address:</b> PO Box 871 Portland	<b>Phone:</b> (207) 829-6015
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family Home with attached 2 car garage - extensive interior and exterior remodel to include new windows and dormers.	<b>Proposed Project Description:</b> extensive interior and exterior remodel to include new windows and dormers.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 11/27/2007**Note:** New patio will be pavers on gravel so not a structure.**Ok to Issue:** 

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) The rear patio is being approved as a landscaping feature. It does not have a foundation and is only pavers and dirt. Any changes to the patio design will need a separate review PRIOR to any changes.
- 4) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 5) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 12/10/2007**Note:****Ok to Issue:** 

- 1) The attic scuttle opening must be 22" x 30".
- 2) Fastener schedule per the IRC 2003
- 3) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 6) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 7) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 8) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 9) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 10) Separate permits are required for any electrical, plumbing, or HVAC systems.  
Separate plans may need to be submitted for approval as a part of this process.

**Comments:**

<b>Location of Construction:</b> 436 BAXTER BLVD	<b>Owner Name:</b> GOODRICH KIMBERLY A	<b>Owner Address:</b> 436 BAXTER BLVD	<b>Phone:</b> ( ) 450-2420
<b>Business Name:</b>	<b>Contractor Name:</b> Dale Bragg Builders, Inc	<b>Contractor Address:</b> PO Box 871 Portland	<b>Phone:</b> (207) 829-6015
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

11/19/2007-amachado: Left message for Dale Bragg. Is the bay window bumpout to patio exiting or proposed? If existing than the rear setback is not being met. Need to know how much living space is being added with the new dormers. If the bay bumpout is proposed, it doesn't meet rear setback so it can't be done.

11/26/2007-mes: spoke to Mark Burns of Foreside Arch. The rear bay window is existing - it is on a full foundation. The new door from the rear bay steps down directly on the raised patio which is not on a full foundation (i.e. not a structure). The existing floor to ceiling height of the exterior wall where the new dormers will be placed is 4.5' according to Mark Burns. He will confirm by e-mail.

11/27/2007-mes: received info by e-mail - the existing floor to ceiling height in guest room over the garage is 4'5" so the two new dormers are not increasing the floor area. Is using 14-436 allowing 80% increase by use of dormers etc. But because the outside wall is 4'5", no increased percentage is being used under this permit.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>436 Baxter Blvd.</u>		
Total Square Footage of Proposed Structure/Area <u>N/A</u>		Square Footage of Lot <u>N/A</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>139      J      6</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Stephen Goodrich</u> Address <u>Princes Point</u> City, State & Zip <u>Yarmouth, ME 04096</u>	Telephone: <u>450-2420</u>
Lessee/DBA (If Applicable)  <u>7</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>200,000.</u> C of O Fee: \$ <u>1930.</u> Total Fee: \$ <u>1,930.</u>
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>2 story home w/ attached 2 car garage</u> <u>- remodel interior</u> <u>- new windows + dormers on the exterior</u>		
Contractor's name: <u>Dale Bragg Builders, Inc.</u> Address: <u>PO Box 871</u> City, State & Zip <u>Portland, ME 04104</u> Telephone: <u>829-6015</u> Who should we contact when the permit is ready: <u>Dale Bragg</u> Telephone: <u>653-8070</u> Mailing address: <u>same</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Dale Bragg Date: 11/6/07

**This is not a permit; you may not commence ANY work until the permit is issued**

**From:** "Mark Burnes" <mburnes@foresidearchitects.com>  
**To:** "Marge Schmuckal" <MES@portlandmaine.gov>  
**Date:** 11/27/2007 11:29:04 AM  
**Subject:** RE: Goodrich Residence - map 139, lot J6

Yes, I inadvertently referenced inches rather than feet. Thanks.

Mark

I have answers to the remaining questions regarding the building permit for the Goodrich Residence on Parson Street.

1. The height of the wall which is to have the new dormers added is 4'-5" from finished second floor.

2. The nearest part of the house to the curb at Baxter Boulevard is approximately 90" to pavement.

Thank you for your assistance.

Mark

Mark Burnes, NCARB, AIA

Foreside Architects, LLC

251 U.S. Route 1, P.O. Box 66736

Falmouth, ME 04105

P. (207) 781-3344

F. (207) 781-4774

e-mail [mburnes@foresidearchitects.com](mailto:mburnes@foresidearchitects.com)

# GOODRICH RESIDENCE

436 BAXTER BLVD.  
PORTLAND, MAINE

GENERAL CONTRACTOR

M.R. BREWER  
91 BELL ST.  
PORTLAND, MAINE 04103

TEL. 207-797-7534

ARCHITECT

FORESIDE ARCHITECTS, LLC  
PO BOX 66736  
FALMOUTH, ME 04105

TEL. 207-781-3344

LIST OF DRAWINGS

T-1 TITLE SHEET

ARCHITECTURAL DRAWINGS

A-0 BASEMENT PLAN  
A-1 FIRST FLOOR PLAN  
A-1.1 FIRST FLOOR INTERIOR ELEVATION  
A-1.2 FIRST FLOOR INTERIOR DIMENSIONS  
A-2 SECOND FLOOR PLAN  
A-2.1 SECOND FLOOR INTERIOR ELEVATION-EXTERIOR DETAIL  
A-2.2 SECOND FLOOR DIMENSION PLAN  
A-2.3 REFLECTED CEILING PLAN  
A-3 EXTERIOR ELEVATIONS  
A-4 WINDOW/DOOR/FINISH SCHEDULE

STRUCTURAL

SKS-1 SECOND FLOOR FRAMING  
SKS-2 ATTIC FLOOR FRAMING  
SKS-3 SECTION A-A  
SKS-4 SECTION B-B  
SKS-5 SECTION C-C  
SKS-6 SECTION D-D

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GENERAL NOTES

FORESIDE  
ARCHITECTS, LLC  
ARCHITECTURE PLANNING INTERIOR DESIGN

PO Box 66736  
Falmouth, Maine 04105

Phone 207-781-3344

Fax 207-781-3344

Website  
www.forsidearchitects.com



Project Status:  
CONSTRUCTION  
FOR UMLIN I

Project Number:  
04-0302

Project Title:

GOODRICH RESIDENCE  
PORTLAND, MAINE

Drawing Name:  
TITLE SHEET

Scale:  
NO SCALE

SHEET

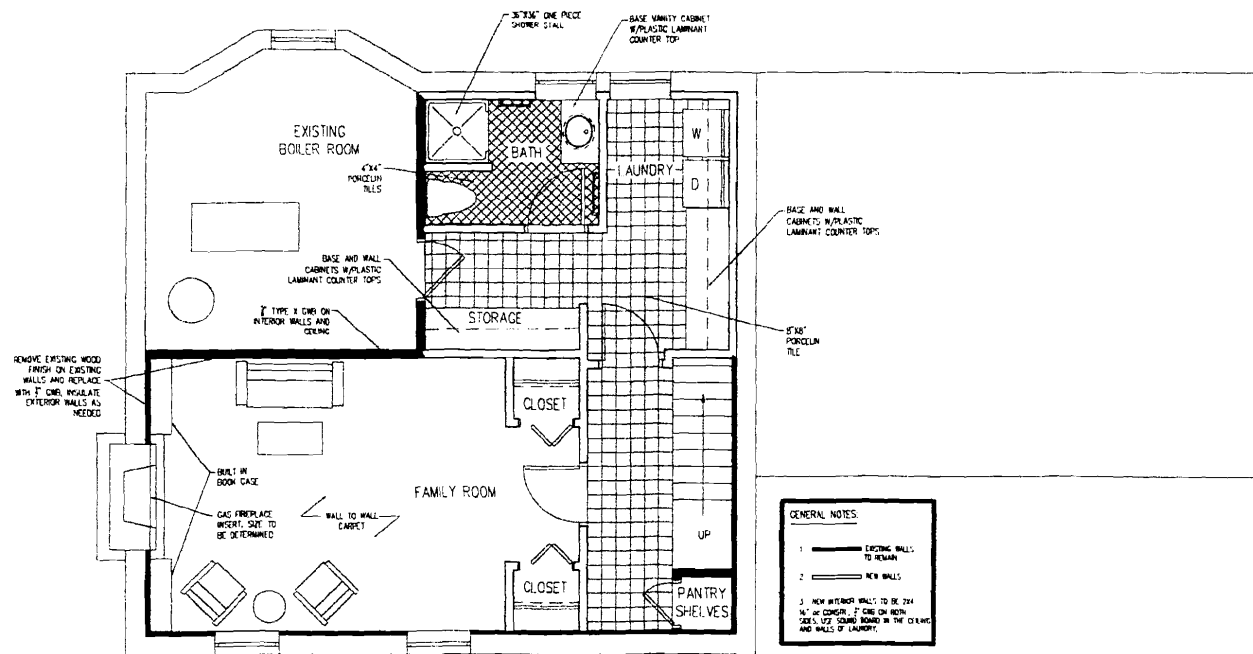
Date:  
05/21/07

T-1

NOV 7 2007

Nov





- GENERAL NOTES**
- EXISTING WALLS TO REMAIN
  - NEW WALLS
  - NEW INTERIOR WALLS TO BE 2x4 1/2" OR CONCRETE. IF ONE OR BOTH, SEAL OFF SOUND BARRIER IN THE CEILING AND WALLS OF LAUNDRY.

BASEMENT PLAN

SCALE: 3/8" = 1'-0"

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 WRITTEN PERMISSION OF FORESIDE ARCHITECTS, LLC

**GENERAL NOTES**

- REPORT ANY DISCREPANCIES TO THE ARCHITECT. CORRECTIONS SHALL PROCEED FROM ROOM ONE IF ANY DISCREPANCIES HAVE BEEN NOTICED BY THE ARCHITECT.
- EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY THIS WORK AND DIMENSIONS OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPAIRED OR REPLACED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM BY ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE 2006 IRC, IBC AND MEPS.
- ALL FINISH COMPONENTS ARE TO BE FIELD MATCHED BY THE CONTRACTOR PRIOR TO FABRICATION. THE PROJECT DELIVERY PROCEDURES, CONDITIONS AND MATERIALS.
- DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS REGARDING CLARIFICATION.
- DEVIATION REQUESTS, SELECTION REQUESTS AND SUBSTITUTIONS OF ANY KIND OF THE FOLLOWING MATERIALS, FINISHES, METHODS AND TECHNIQUES, COORDINATION OR CONSTRUCTION OF ALL FINISH, MATERIALS AND FINISHES NOT LISTED IN THE WORK NOTES.
- THE PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY PRODUCT CATEGORY.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO THE COMMENCEMENT OF WORK.
- WHEN ONLY A SINGLE PRODUCT OR MANUFACTURER IS INDICATED, THE CONTRACTOR SHALL BE LIMITED TO ONLY THAT APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE UNLESS OTHERWISE SPECIFIED.
- AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, MAINTENANCE SCHEDULES, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND AS-BUILT DOCUMENTS.
- COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TRASH, DEBRIS, AND RESTORE DAMAGED AREAS TO ORIGINAL CONDITION.
- THE LOCATION OF ALL SUPPORTS NOT DIMENSIONED SHALL BE 1" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
- ALL PARTITIONS SHALL BE BUILT FROM FLOOR TO CEILING OF SUPPORTING STRUCTURE UNLESS OTHERWISE SPECIFIED.
- INSTALL BLOSSOM BOUND ALL SURFACE APPLIED MATERIALS, SEE GRAB BARS, WALLS, CHAIR RAILS, FLOOR, FIELDS AND BARS REQUIRED.

**FORESIDE ARCHITECTS, LLC**  
 ARCHITECTS REGISTERED IN THE STATE OF MAINE

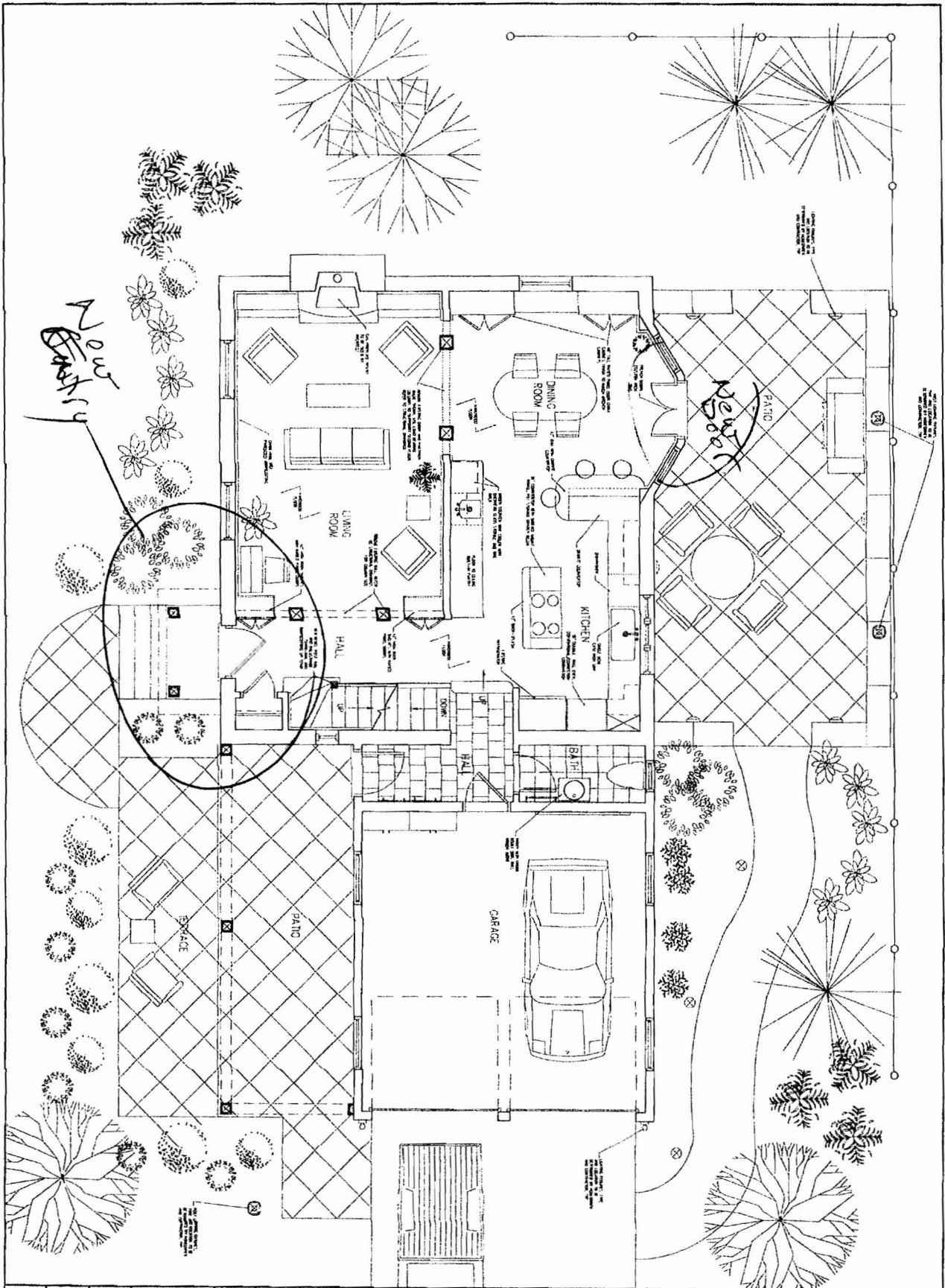
210 Broadway  
 Portland, Maine 04107

Phone: 603.433.1844  
 Fax: 603.743.4224

Web: www.foresidearch.com



Project Status: CONSTRUCTION (EX-14/ML-1)	
Project Number: GR-0207	
Project Title:  GOODRICH RESIDENCE PORTLAND, MAINE	
Drawing Name: BASEMENT PLAN	
Scale: 3/8" = 1'-0"	SHEET
Date: 05/21/07	A-0



CONTRACT NO. 2001-001  
 1100 W. BROAD ST., PORTLAND, ME 04102  
 TEL: 855-422-1111 FAX: 855-422-1112  
 WWW.FORSIDEARCHITECTS.COM

GENERAL NOTES

1. OWNER AND ARCHITECT TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
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14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

FORNSIDE  
 ARCHITECTS, LLC  
 1100 W. BROAD ST., PORTLAND, ME 04102



PROJECT NO. 2001-001  
 PROJECT NAME: COODRICK RESIDENCE  
 PROJECT LOCATION: PORTLAND, MAINE

DATE: 10/2001

SCALE: 1/8" = 1'-0"

SHEET: A-1

DATE: 10/2001

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

**GENERAL NOTES**

1. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
2. EXISTING BUILDING COMPONENTS WHICH ARE SPECIFIED BY THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPAIRED OR REPLACED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE IBC, IRC, IFBC AND IFPC.
4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES, BUT IS NOT LIMITED TO, STRUCTURAL CONDITIONS AND MATERIALS.
5. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION.
6. SCHEDULES REQUIRED: SELECTIVE DEMOLITION AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING: REMOVAL OF ALL MATERIALS SPECIFIED NOT PERMITTED FOR RE-USE AND REPAIRS AND RECONSTRUCTION. CAPPING, DEMOLITION OR DISCONTINUATION OF ALL WORK, HEATING AND PLUMBING NOT USED IN THE NEW WORK.
7. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY KIND, INCLUDING ASBESTOS.
8. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPLICABLE AGENCIES PRIOR TO COMMENCING THE WORK.
9. THERE SHALL BE NO SINGLE PRODUCT OR MANUFACTURER'S TRADE NAME SPECIFIED IN THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
10. AT PROJECT CLOSEOUT, SUBMIT SPECIFIC INVENTORIES, DEMOLITION RECORDS, MAINTENANCE AGREEMENTS, FINAL CORRECTION LIST AND OTHER DOCUMENTS.
11. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RESTORE DAMAGED EXISTING FINISHES.
12. THE LOCATION OF ALL DISCREPANCIES NOT DISCOVERED SHALL BE 4" FROM ANCHORS UNLESS OTHERWISE NOTED.
13. ALL FINISHES SHALL EXIST FROM FLOOR TO UNLESS OTHERWISE SPECIFIED OTHERWISE. THIS INCLUDES WALLS, CEILING, AND FLOOR.
14. INSTALL BUILDING RESISTANT SURFACE WORKED FINISHES. THIS INCLUDES WALLS, CEILING, AND FLOOR. PICTURE RAILS AND BASE MOLDING.

**FORESIDE ARCHITECTS, LLC**  
 100 HILL STREET, PORTLAND, MAINE 04101

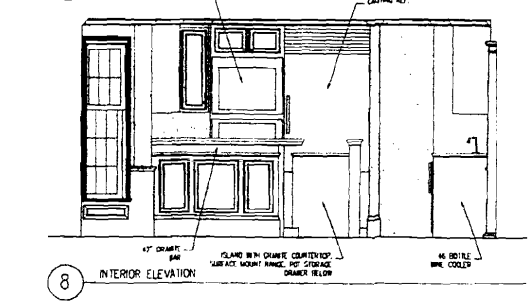
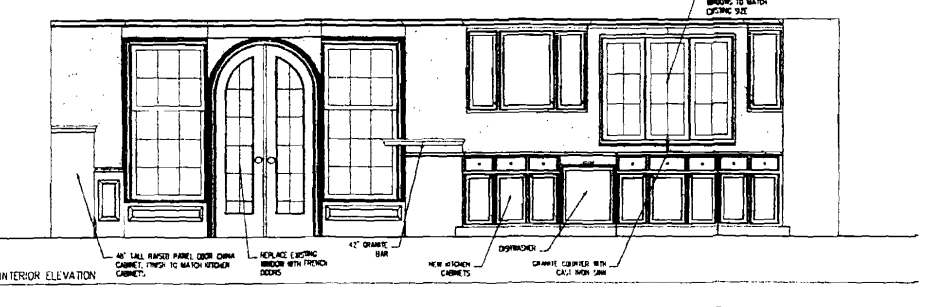
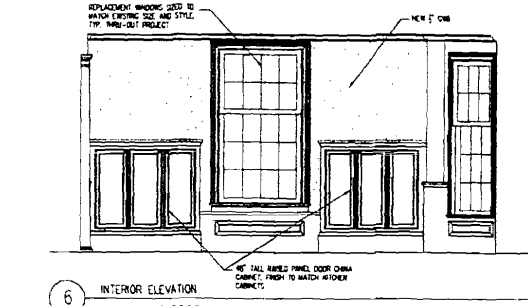
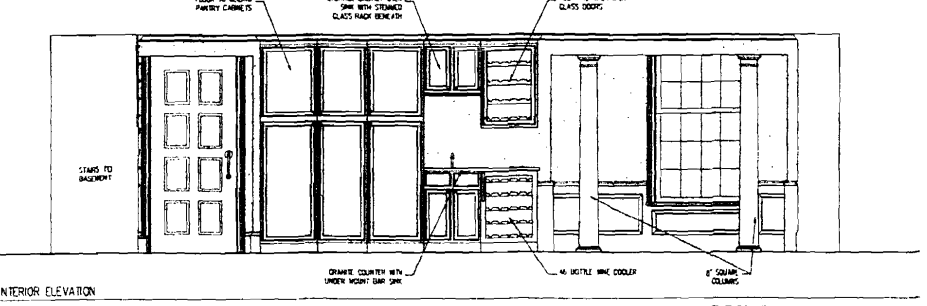
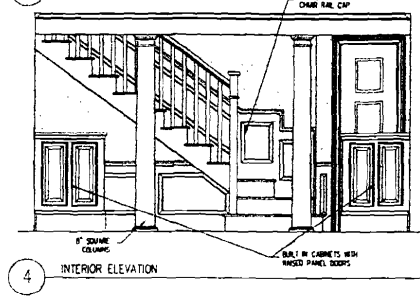
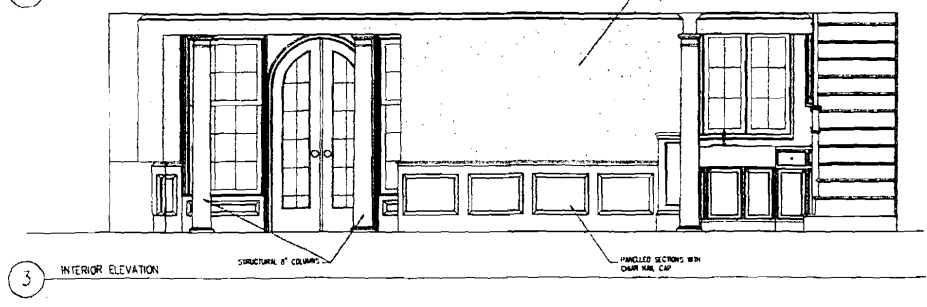
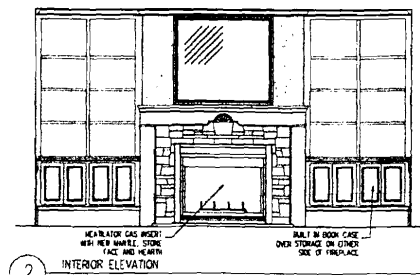
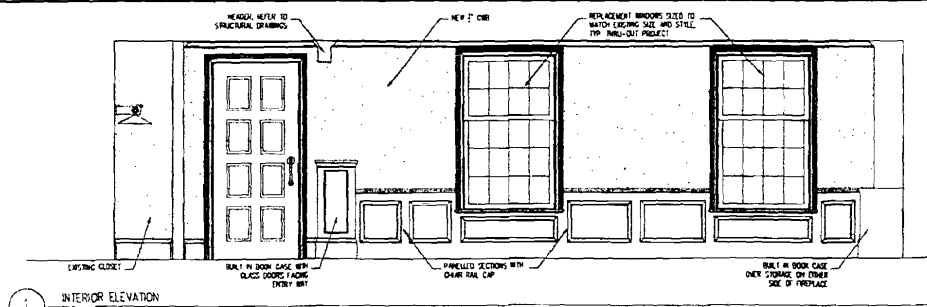
PH: 603.233.1111  
 FAX: 603.233.1112  
 WWW.FORESIDEARCHITECTS.COM

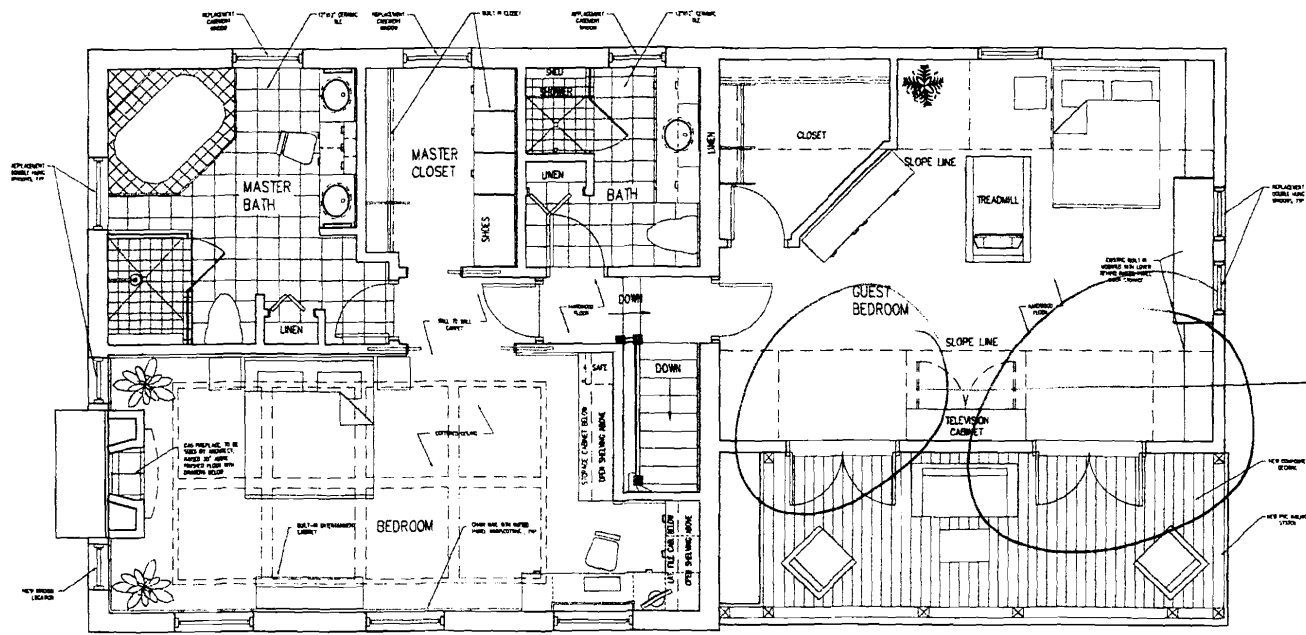


Project Status: CONSTRUCTION DOCUMENTS  
 Project Number: GR-007  
 Project Title: GOODRICH RESIDENCE, PORTLAND, MAINE

Drawing Name: INTERIOR ELEVATIONS FIRST FLOOR  
 Scale: 1/2" = 1'-0"  
 Date: 05/21/07

SHEET  
 A-1.1





SECOND FLOOR PLAN

SCALE: 3/8" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE TO THE ARCHITECT FOR THE PROTECTION OF THE EXISTING STRUCTURE AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE ARCHITECT FOR THE PROTECTION OF THE EXISTING STRUCTURE AND FINISHES.

**GENERAL NOTES**

1. REPORT ON DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
2. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM BY ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE 2006 IBC, IBCS AND IRC.
4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING. THIS INCLUDES, BUT IS NOT LIMITED TO, DIMENSIONS AND MATERIALS.
5. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS REGARDING DIMENSIONS.
6. DEMOLITION REQUIRES SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING: REMOVAL OF ALL MATERIALS DEMOLISHED NOT INTENDED FOR RE-USE AND REPAIRS AND RECONSTRUCTION. DEMOLITION OR DISSECTION OF ALL HEAVY, HEATING AND PLUMBING NOT USED IN THE NEW WORK.
7. THE PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY TYPE. CONTRACTOR SHALL VERIFY THIS PRIOR TO THE START OF THE WORK.
8. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO COMMENCING THE WORK.
9. WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING.
10. AT PROJECT COMPLETION, SUBMIT SPECIFIC INSTRUCTIONS, WORKMANSHIP RECORDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATE AND OTHER AS REQUIRED.
11. COMPLETE FINAL CLEANUP AT PROJECT COMPLETION. REMOVE ALL DEBRIS AND RESTORE DAMAGED EXISTING FINISHES.
12. THE LOCATION OF ALL CONDITIONS NOT INDICATED SHALL BE 1" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
13. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNLESS OTHERWISE SPECIFIED. PROVIDE FINISH UNLESS OTHERWISE NOTED.
14. INSTALL BUILDING FINISHES AS SURFACE APPLIED. FINISHES: FLOOR, CEILING, BASE, WALLS, CROWN MOULD, PICTURE RAILS AND BASE MOLDINGS.

*New Finishes*

**FORESIDE ARCHITECTS, LLC**  
ARCHITECTURAL PLANNING & DESIGN

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Portland, Maine 04107  
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Email: info@foresidearchitects.com



Project Status	CONSTRUCTION DRAWING SET
Project Number	GR-4007

Project Title  
**GOODRICH RESIDENCE  
PORTLAND, MAINE**

Drawing Name  
SECOND FLOOR PLAN

Scale	3/8" = 1'-0"	SHEET <b>A-2</b>
Date	06/21/07	

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**GENERAL NOTES:**

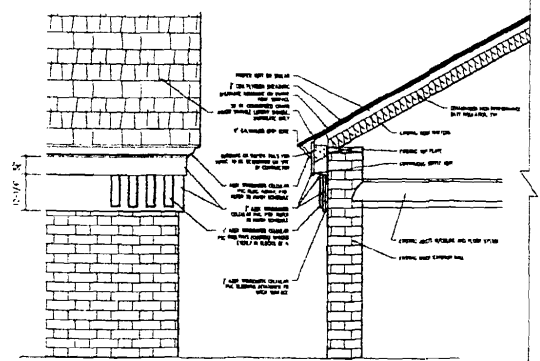
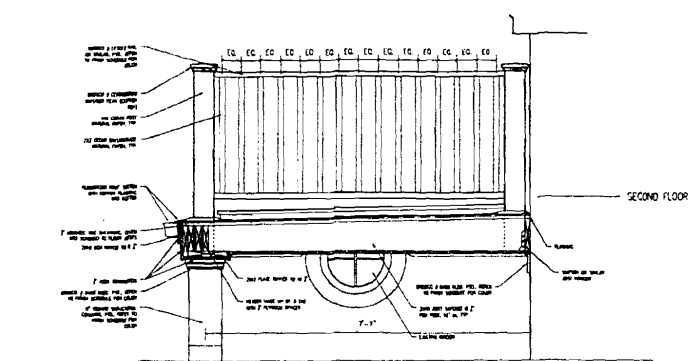
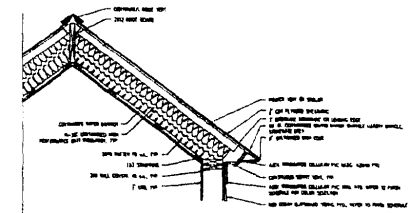
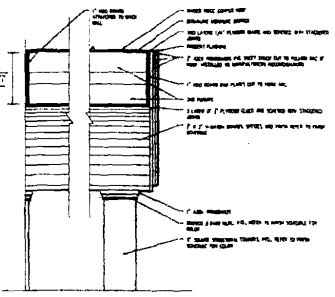
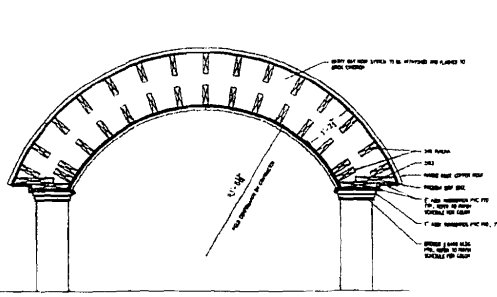
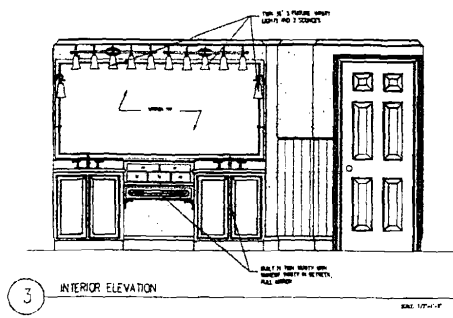
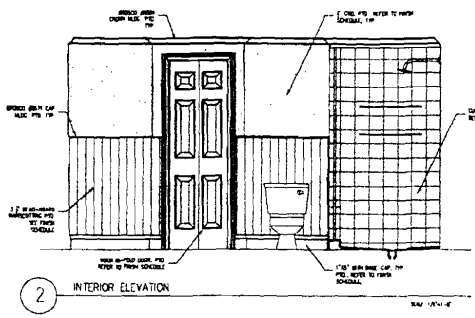
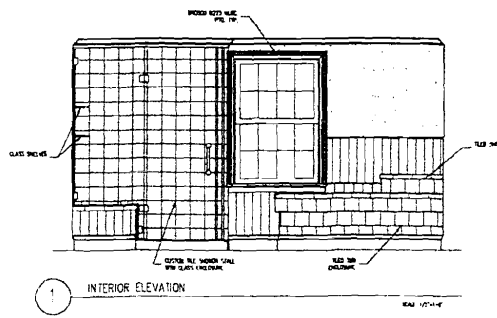
1. VERIFY ALL DIMENSIONS TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DIMENSIONS HAVE BEEN REVIEWED BY THE ARCHITECT.
2. EXISTING BUILDING COMPONENTS WHICH ARE DETACHED BY THE ARCHITECT AND DEMOLISHED, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM BY ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE 2000 IBC, IRC, UFGC AND AISC.
4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
5. DRAWINGS ARE NOT TO BE SCALE. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS REGARDING CLARIFICATION.
6. DEMOLITION REQUIRES SELECTIVE REMOVAL AND SUBSEQUENT REPAIR OR RECONSTRUCTION. THE REMOVAL OF ALL MATERIALS IDENTIFIED AS NOT PERMITTED FOR RE-USE AND REDEMPTION AND RECONSTRUCTION, CARPENTRY, REMOVAL OR DISPOSITION OF ALL WIRING, HEATING AND PLUMBING NOT USED IN THE NEW WORK.
7. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY OF PRODUCTS, E. E. SUBJECTS.
8. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPLICABLE OFFICIALS PRIOR TO COMMENCING THE WORK.
9. EXISTING ONLY A SINGLE PRODUCT OR MANUFACTURER IS SHOWN. PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE ARCHITECT. APPROVED SUBSTITUTIONS THROUGH WRITTEN DIRECTION.
10. AT PROJECT CLOSEOUT, SUBMIT OPTIONS: IMPROVEMENTS, REPAIRS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND CLOSEOUT DOCUMENTS.
11. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RETOUCH WORKED EXPLODED PHOTOS.
12. THE LOCATION OF ALL DOORFRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALL UNLESS OTHERWISE INDICATED.
13. ALL FLOORING SHALL EXTEND FROM FLOOR TO UNDERLAYER OF SUPPORTING STRUCTURE UNLESS OTHERWISE INDICATED.
14. METALS INCLUDING BEAMS, ALL SURFACE APPLIED FINISHES, SILL, CASE, BARS, SHELVES, CHAIR RAILS, FUTURE HOLES AND BACKSPLASHES.

**FORESIDE ARCHITECTS, LLC**  
 AND AFFILIATED FIRM ARCHITECTS - DEVELOPERS IN U.S.A.

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 Portland, Maine 04107  
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 Fax: 603.751.4774  
 Email: info@foresidearch.com



Project Status	CONSTRUCTION DOCUMENT
Project Number	GR-007
Project Title	GOODRICH RESIDENCE PORTLAND, MAINE
Drawing Name	INTERIOR ELEVATIONS SECOND FLOOR EXTERIOR DETAILS
Scale	AS NOTED
Sheet	SH007
Base	A-2.1
Date	10/21/07



1

2

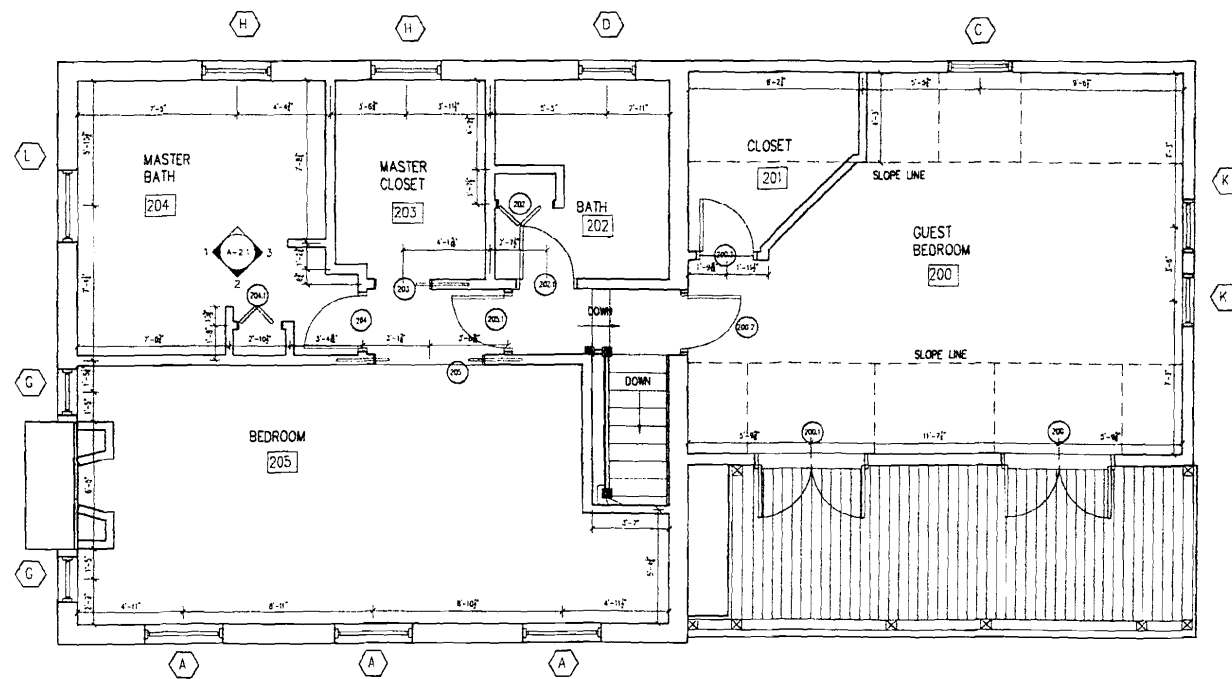
3

4

5

6

7



SECOND FLOOR PLAN

SCALE: 3/8" = 1'-0"

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GENERAL NOTES:

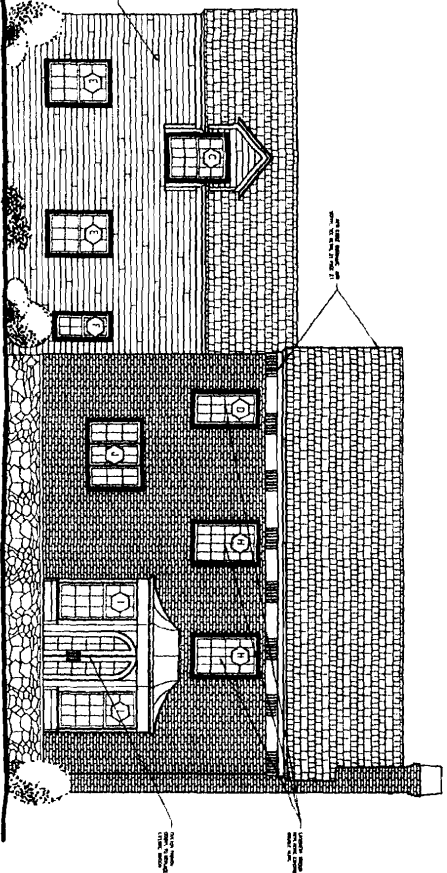
1. REPORT ALL DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
2. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLISHED OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO conform to ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE 2006 IRC, RPS AND MFC.
4. ALL LOGGING COMPONENTS ARE TO BE FIELD APPROVED BY THE CONTRACTOR PRIOR TO FURNISHING. THE INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS QUALIFICATION.
5. DRAWINGS ARE NOT TO BE SCALE. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS INCLUDING:
6. DEMOLITION REQUIRES SELECTION, REMOVAL AND CONVEYANCE OFF-SITE DISPOSAL OF THE FOLLOWING: REMOVAL OF ALL MATERIALS DIMENSIONED NOT APPROVED FOR RE-USE, AND REMOVAL AND RECONSTRUCTION, CARPENTRY, EXISTING OR DISPOSITION OF ALL WIRING, HEATING AND PLUMBING NOT USED IN THE NEW WORK.
7. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY TYPE OR AMOUNT.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO COMMENCING THE WORK.
9. THERE IS ONLY A SINGLE PRODUCT OR MANUFACTURER OF EACH PRODUCT. THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN ORDER.
10. AT PROJECT CLOSEOUT, SLIGHT DEFECTS, UNFINISHED WORK, UNREPAIRABLE DAMAGE, UNREPAIRABLE WORK, FINAL CLEANUP AND FINAL INSPECTION.
11. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. REMOVE ALL DEBRIS AND RESTORE DAMAGED EXPOSED SURFACES.
12. THE LOCATION OF ALL DOWNSPOUTS NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE NOTED.
13. ALL MEMBERS SHALL BE SET FROM FLOOR TO UNLESS OTHERWISE NOTED.
14. VERIFY DIMENSIONS BEFORE ALL SURFACE FINISHES, PARTIAL, FULL, GARD BARS, SPOKES, CHAIR RAILS, PICTURE RAILS AND BASE BOLDING.

FORESIDE  
 ARCHITECTS, LLC  
 ARCHITECTS, INTERIORS, RESTORATION

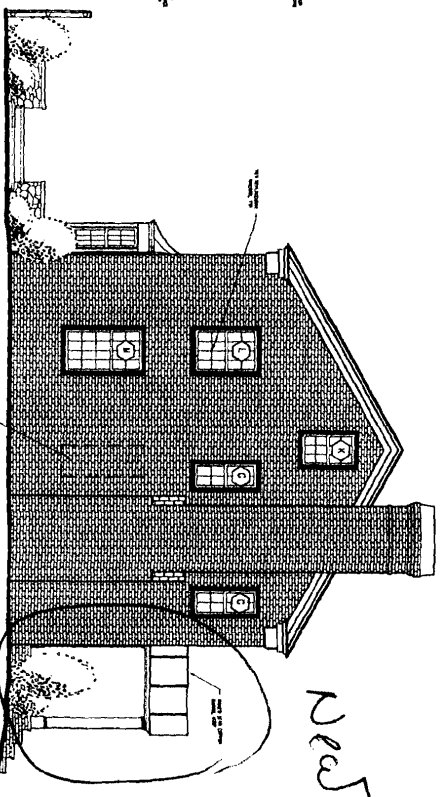
1111 North Street  
 Portland, Maine 04107  
 Phone: 603.744.4000  
 Fax: 603.744.4024  
 E-mail: info@foresidearch.com



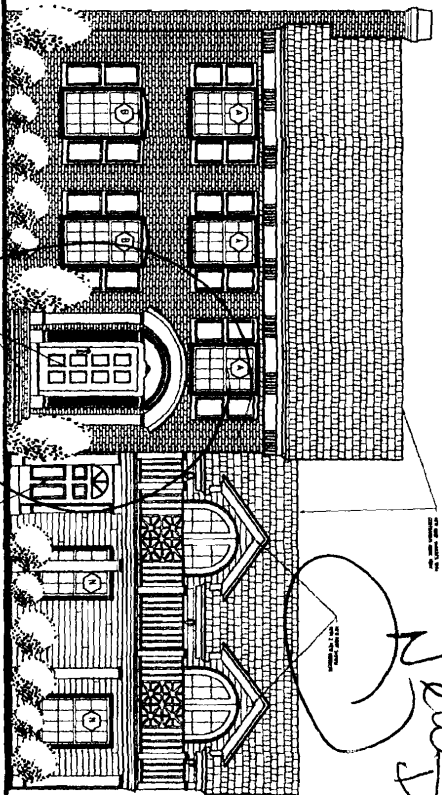
Project Status:	CONSTRUCTION DOCUMENT
Project Number:	GR-0007
Project Title:	GOODRICH RESIDENCE PORTLAND, MAINE
Drawing Name:	SECOND FLOOR DIMENSION PLAN
Scale:	3/8" = 1'-0"
Date:	05/21/07
SHEET	A-2.2



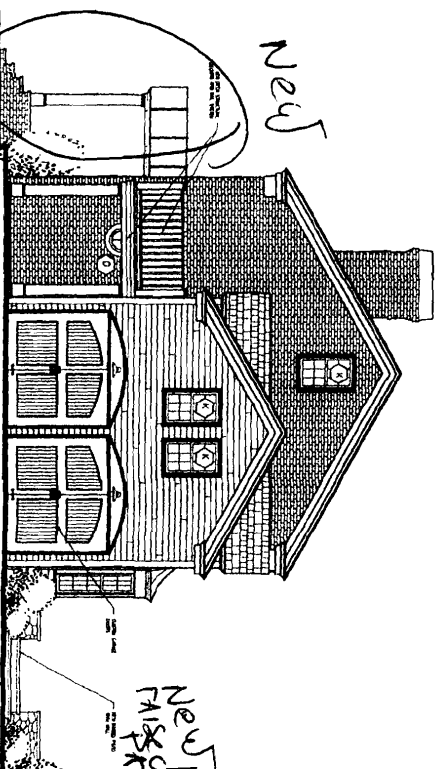
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

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 1000 WASHINGTON STREET, PORTLAND, ME 04101  
 207.753.1111

GENERAL NOTES

1. OWNER IS RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT.
2. EXISTING BUILDING CONDITIONS SHALL BE VERIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION. SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
4. ALL EXISTING CONDITIONS ARE TO BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE UNLESS OTHERWISE NOTED.
5. VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
6. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
7. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
8. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
9. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
10. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
11. COMPLETE FINAL DRAWING AT PROJECT COMPLETION.
12. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
13. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
14. THE ARCHITECT SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

FORESIDE  
 ARCHITECTS, LLC  
 1000 WASHINGTON STREET, PORTLAND, ME 04101  
 207.753.1111

FA

Project Name:  
 CONSTRUCTION  
 PROJECT NUMBER:  
 PROJECT NUMBER:  
 PROJECT NUMBER:

Project Name:  
 EXTERIOR ELEVATIONS

Scale:  
 1/4" = 1'-0"  
 Date:  
 10/21/2017

SHEET  
 A-3

WINDOW SCHEDULE					
WINDOW #	ROUGH OPEN	WINDOW TYPE	UNIT TYPE	UNIT #	REMARKS
A	4'-11 1/2" x 5'-8" +/-	DOUBLE HUNG	SINGLE	-	-
B	5'-11" x 3'-5" +/-	DOUBLE HUNG	SINGLE	-	-
C	4' x 1'-2" x 3'-6"	DOUBLE HUNG	SINGLE	-	-
D	4'-11" x 2'-8" +/-	CASEMENT	SINGLE	-	-
E	4'-9" x 3'-4" +/-	DOUBLE HUNG	SINGLE	-	-
F	4'-3" x 2'-10" +/-	DOUBLE HUNG	SINGLE	-	-
G	4'-11" x 2'-2" +/-	DOUBLE HUNG	SINGLE	-	-
H	4'-11" x 3'-5" +/-	CASEMENT	SINGLE	-	-
I	5'-3 1/4" x 3'-3" +/-	DOUBLE HUNG	SINGLE	-	-
J	4'-1 1/2" x 5'-1" +/-	CASEMENT	TRIPLE	-	-
K	4'-3" x 2'-8" +/-	DOUBLE HUNG	SINGLE	-	-
L	4'-11" x 3'-5" +/-	DOUBLE HUNG	SINGLE	-	-
M	5'-11" x 3'-5" +/-	DOUBLE HUNG	SINGLE	-	-
N	5'-5 1/2" x 3'-10" +/-	DOUBLE HUNG	SINGLE	-	-
O	2'-4"	-	-	-	ROUND
P	-	-	-	-	MATCH EXISTING BASEMENT WINDOW
Q	-	-	-	-	MATCH EXISTING FIRST FLOOR WINDOW

NOTE: ALL REPLACEMENT WINDOW SIZES TO BE CONFIRMED BY SUPPLIER AND CONTRACTOR IN THE FIELD.

DOOR AND FRAME SCHEDULE									
MARK	DOOR SIZE			MTRL	FIRE RATING LABEL	HARDWARE		NOTES	
	WD	HGT	THK			SET NO	KEYSIDE RM NO		
100	121	7'-0"	1'-0"	WOOD	-	-	SET NO TO BE DETERMINED	CARAGE DOOR / CUSTOM INFO	
100.1	7'-0"	6'-8"	1'-0"	WOOD	0 MINUTE	-	-		
101	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
101.1	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
102	"NO DOOR"	-	-	-	-	-	-		
103	"NO DOOR"	-	-	-	-	-	-		
104	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	CUSTOM DOOR	
105	"NO DOOR"	-	-	-	-	-	-		
106	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	CUSTOM DOOR	
106.1	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
200	3'-4"	7'-0"	1'-0"	WOOD	-	-	-	CUSTOM DOOR	
200.1	3'-4"	7'-0"	1'-0"	WOOD	-	-	-	CUSTOM DOOR	
202	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
202.2	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
203	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
203.1	"NO DOOR"	-	-	-	-	-	-		
203.2	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	B-FIELD DOOR	
203.3	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
203.4	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	PROJECT DOOR	
204	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
204.1	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	B-FIELD DOOR	
205	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	DOUBLE POCKET DOOR	
205.1	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
201	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
202	"NO DOOR"	-	-	-	-	-	-		
203	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
204	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		
204.1	2'-4"	6'-8"	1'-0"	WOOD	-	-	-	B-FIELD DOOR	
204.2	2'-4"	6'-8"	1'-0"	WOOD	-	-	-		

ROOM FINISH SCHEDULE							
ROOM NO	ROOM NAME	FLOOR	WALLS			CEILING	NOTES
			NT	ST	HW		
100	CARAGE	CONC	P1/P2/P3	P1/P2/P3	CHG/PS	SINGLE LAYER ONE TYPE & ALL FOUR WALLS AND CEILING	
101	HALL	SLATE	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
102	BATH	SLATE	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
103	KITCHEN	WOOD	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
104	DINING ROOM	WOOD	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
105	LIVING ROOM	WOOD	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
106	HALL	WOOD	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
200	GUEST BEDROOM	WOOD	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
201	CLOSET	WOOD	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
202	BATH	POPC TILE 12"X12"	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
203	MASTER BEDROOM	CARPET	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
204	MASTER BATH	POPC TILE 12"X12"	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
205	MASTER BEDROOM	CARPET	P1/P2/P3	P1/P2/P3	CHG/PS	7'-8" +/-	
300	HALL	POPC TILE 12"X12"	P1/P2/P3	P1/P2/P3	CHG/PS	EXISTING	
301	LAUNDRY	POPC TILE 12"X12"	P1/P2/P3	P1/P2/P3	CHG/PS	EXISTING	
302	BATH	POPC TILE 12"X12"	P1/P2/P3	P1/P2/P3	CHG/PS	EXISTING	
303	EXISTING BOILER ROOM	CONC	-	-	-	ONE TYPE IS REQUIRED BY CODE	
304	FAMILY ROOM	CARPET	P1/P2/P3	P1/P2/P3	CHG/PS	EXISTING	

#### FINISH LEGEND

CONC - SEALED CONCRETE

SLATE - COLOR/TYPE TO BE CHOSEN

WOOD - COLOR/TYPE TO BE CHOSEN

POPC TILE - COLOR/TYPE TO BE CHOSEN

CARPET - COLOR/TYPE TO BE CHOSEN

P 1 - PAINT REFER TO SPEC, COLOR TO BE CHOSEN / WALL PAINT

P 2 - PAINT REFER TO SPEC, COLOR TO BE CHOSEN / TRIM PAINT

P 3 - PAINT REFER TO SPEC, COLOR TO BE CHOSEN / CEILING PAINT

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#### GENERAL NOTES:

FORESIDE  
ARCHITECTS, LLC  
ARCHITECTURE / INTERIOR DESIGN

100 B-06-02a  
Portland, Maine 04102

Phone: 207-751-1344  
Fax: 207-751-4774

Office:  
100 B-06-02a



Project Status:  
CONSTRUCTION  
DOCUMENT

Project Number:  
GR-4807

Project Title:

GOODRICH RESIDENCE  
PORTLAND, MAINE

Drawing Name:  
DOOR/WINDOW SCHEDULE

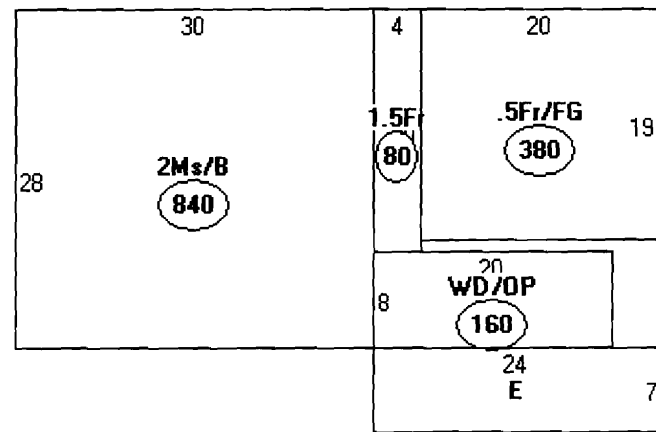
Scale:  
AS NOTED

SHEET

Date:  
05/21/07

A-4



Descriptor/Area

A: 2Ms/B  
840 sqft

B: 1.5Fr  
80 sqft

C: .5Fr/FG  
380 sqft

D: WD/OP  
160 sqft

E: WD  
168 sqft

= 1624



# **Goodrich Residence Renovations Portland, Maine**

NOV 7 2007

May 2007

## **Summary of Work**

This Project involves modifications to an existing structure located in Portland, Maine. The structure consists of a two story brick masonry and wood frame structure with living areas on the first floor and primary sleeping areas on the second floor. The project scope is intended to renovate and refinish the entire structure with exceptions made to the re-use of structural framing, masonry finishes and existing concrete. The interior spaces and exterior building elevations are to be reconfigured as reflected in the architectural plans.

The project drawings reflect an existing masonry and wood framed structure which is intended to be completely renovated and refinished. The first floor consists of the following areas; Kitchen, Dining Area, Living Room, Hall, Mudroom/Entry, Bathroom and Garage. The second floor consists of the following areas; Master Bedroom, Master Bath, Master Closet, Hall and Stair, Guest Bedroom, Closet and Guest Bathroom. The entire house shall be provided with electrical, central air conditioning and heating system and plumbing complying with local and state standards. It is expected that the systems shall be controlled and balanced to perform as a single optimal system as designed and constructed by the Contractor's Mechanical and Electrical Sub-contractors.

The project scope shall include, yet not limited to, concrete work, masonry and stone setting, carpentry, gypsum wallboard, tile work, painting, plumbing, ventilation and air conditioning, and electrical requirements of this project as described in the outline specifications below. It shall be the General Contractors responsibility to coordinate the work of all Sub-contractors to ensure all work is complete and that the work is provided a warranty for a period of no less than one calendar year.

### **Division One – General Requirements**

Bid information: The Contractor will be responsible for all Division One requirements; insurance certificates directed to the Owners, all construction permits, temporary heat and toilets, material storage and site clean up.

1. All work will comply with state and local codes and ordinances, and shall be done to the highest standards of craftsmanship by journeymen of the respective trades.
2. Samples shall be supplied to the Owner of all materials proposed for substitution of specified materials.
3. Contractor shall present the building to the Owner for acceptance, clean and ready for occupancy. All glass shall be cleaned, floors swept broom clean, carpets vacuumed, fixtures washed, with all labels removed, and site hand raked free of trash and debris.
4. Winter protection, heat and snow removal, if required, shall be the Contractor's responsibility. All space heating shall be done in a safe, sensible manner, with periodic checks on the system.
5. Contractor may, at his option, erect a sign no larger than 2'X4' lettered by a professional sign painter.
6. Contractor shall furnish the Owner with certificates of insurance for Workers Compensation, Builder's Risk and General Liability Insurance to cover the cost of the work.
7. Contractor shall maintain the job clear of trash and debris. All waste materials shall be removed from site prior to substantial completion and prior to final acceptance.
8. The Contractor shall assist the Owner in obtaining all necessary plumbing and building permits, the cost of same to be paid by Contractor.

### **Sitework and Landscaping:**

The Contractors shall provide for all excavation required for foundation work, the backfill and repair of all disturbed areas affected by the work contained herein and associated storage and access areas used to accomplish the work.

**Bid Allowance One: Landscape Planting Materials and installation**  
**\$6,000.00**

## **Division Two – Site Work**

### 1. Base bid

- a. Foundation: Clearing, grubbing and excavation. (As necessary to prepare for new addition and concrete pad for new central air conditioning unit)

Bituminous paving is not part of the work unless required to repair damaged existing paved areas.

- b. Electrical: Above ground services and cable.

1. 200 AMP service upgrade

2. Base bid will include Central Maine Power's pole/line fees.

- c. Cable: Above ground service and cable

- d. Telephone: Above ground service and cable

- e. Water: (No existing service interruption or upgrade)

- f. Septic: Capacity ample, total load unchanged.

- g. Earthwork:

- Clearing and grubbing at front and rear porches.
- Excavation work for building foundation at front and rear porches. (Clean granular backfill at all excavated areas). All soils removal shall remain on site and be utilized at areas suitable.
- Rough and finish grading
- Loam to a 4" depth and seed damaged area of existing lawn
- Erosion control measures.

## **Division Three- Concrete (structural dwgs. take precedence)**

The following work shall be part of the project scope; footings for the stone patio walls, footing and steps at the front entry formed to accept a stone veneer, vault passage at existing basement window for new power service entry and pad mounted condenser power and piping, and resurfacing of the garage floor slab to allow for drainage from the rear wall to the garage door openings at a consistent slope of 1/4"/ft. with a minimum thickness of 1/2" (The Contractor's chosen product shall be reviewed and approved by Architect).

1. Concrete Wall: 3000 psi, 8" thick, 4 - #4 rebar continuous.
2. Concrete Pilings: 3000 psi, 8" diameter, 1 - 4 #4 rebars vert.
3. Foundation Footings: 8" X 16", 2 - #4 bars.
4. Waterproofing Drain tile with fabric and asphalt emulsion.
5. Floor Slab: 4" 3000 psi with fiber mesh slab.
6. Crawl Space: 2" 3000 psi fiber mesh slab.

#### **Division Four – Masonry**

1. Brick in existing window living room with salvage brick to match adjacent masonry surface and grout.
2. Saw cut and tooth-match brick at new master bedroom opening, brick removal to be re-used as salvage to brick-in window below.
3. Provide brick veneer and bluestone treads and landing area associated with new front entry stair, coordinate with concrete structure and footings.
4. Provide new brick and bluestone steps, patio and stone seating walls as shown on plans. Steps are to be comprised of 7" maximum risers and 16" treads. Seating walls are to be 16" wide and 18" high.

#### **Division Five – Metals (refer to structural dwgs.)**

1. Decorative wrought iron railings and balustrade at the front stair with scrolled rail ends and balusters, openings not to exceed 4", per code.
2. Structural Steel
  - a. ASTM A36  $F_y=36$ KSI
  - b. Fasteners:  $\frac{3}{4}$ " diameter bolts (ASTMA-325)

#### **Division Six – Wood and Plastics (structural dwgs. take precedence)**

##### Framing and Rough Carpentry

Exterior walls shall be 2x6 studs at 16" on center with  $\frac{1}{2}$ " cdx plywood sheathing. All wood framing components, sill plates and blocking in contact with concrete shall be pressure treated. All framed openings less than 3'-0" wide shall be constructed with a (3) @ 2x8 lintel, all openings between 3'-0" and 6'-0" wide shall be constructed with a (3) @ 2x10 lintel, openings 6'-0"

and 9'-0" shall be constructed with a (3) @ 2x12 lintel, all other openings shall be as specified otherwise.

1. Wall Frame: #2 grade or better. Maximum Moisture Content at 19% or less. Dressed lumber (S4S).
2. Wall Sheathing: 5/8" CDX plywood (roof); 1/2" CDX plywood (walls)
3. Floor Framing: Dimensional Lumber: Kiln dried #2 or better in Fb=1000 psi
4. Parallel Strand Lumber (PSL): Minimum Fb=2900 psi.
5. New second floor porch railing and decking to be constructed 5/4 #1 cedar lumber material and 2x2 balusters as depicted on the drawings. Decking structure shall be an anchored (removable system laid on "Weatherbest" synthetic furring strips laid at 16" o.c. in the direction of drainage.
6. Roof Framing: Conventional framing with dimensional Kiln dried, #2 or better Min Fb=1000 psi.
7. Exterior Siding Materials:
  - a. Siding: Provide new factory stained both side clear red cedar shingles, premium grade r&r, (#1) woven corners 5# T.W., to accept two coats of finish field applied stain to match. Color as chosen by Architect and approved by Owner.
8. Sheathing:
  - a. 3/4 T&G 'CDX' plywood sub-floor (hardwood and carpet)
  - b. 3/4" T&G 'CDX' plywood sub-floor (&tile)
9. Exterior standing and running trim:
  - a. #1 select grade pine (N.E.L.M.A.), pre-primed (re-primed when cut), without finger joints, to accept two coats of finish field applied stain to match. Color as chosen by Architect and approved by Owner.
  - b. V-match pine boards at all porch ceilings (#1 select), to accept two coats of finish field applied stain to match. Color as chosen by Architect and approved by Owner.

10. Interior Standing and Running Trim:

- a. Clear Poplar – all interior poplar trim to be painted.

11. Wood Stair:

- a. New stair components including Brosco / Coffman "Marion", Post-to-Post configuration newels, oak handrails color and finish to match designer selected adjacent floor finish, balusters and fittings to be painted to match adjacent trim. Treads to be red oak – color and finish to match designer selected adjacent floor finish, risers to be painted wood to match adjacent trim.

**Division Seven – Thermal and Moisture Protection**

1. Insulation: ( to be applied to all new work )

Second Floor: R-19 at walls, Provide continuous exterior infiltration barrier at exterior sheathing.

Attic: remove existing attic insulation within the rafters and replace with R-38 continuous at entire attic floor with continuous 6-mil poly vapor barrier on warm side of insulation and taped.

2. Roof Shingles: Architectural grade (laminated); 50 year warranty, color and finish are to be as selected by Architect and approved by Owner. Shingles are to be applied on two alternating layers of 15# building felt with joints staggered and layered to prevent water entrance at seams.

3. Membrane Roofing: The second floor deck structure shall be covered with a .060 fully adhered EPDM membrane roof and wall flashings to 36" above deck (final location shall be beneath bituthane flashing and exterior cedar siding). Provide continuous copper metal drip edge at perimeter to integrate with copper gutters and downspouts.



4. Copper Roofing: Apply flat seamed barrel copper roof applied on two alternating layers of 15# building felt with joints staggered and layered to prevent water entrance at seams. Provide 2" vertical turn down at all sides with hemmed edges with exception of masonry surfaces. Provide copper step flashed juncture at roof and wall surfaces with full wye depth reglet. All copper and sheet metal work shall comply with acceptable means and methods as defined in the SMACNA manual of practice.
5. Flashing: To include bituthane membrane flashing / ice shield at all roof eaves and valleys and windows flanges; step flashings, lead flashing; aluminum head flashing at doors and windows, running trim and mounting blocks. Provide copper step flashing at all brick masonry / chimney and wood framing finish materials. All copper and sheet metal work shall comply with acceptable means and methods as defined in the SMACNA manual of practice.
6. Drip Edge: heavy gauge galvanized continuous drip edge to integrate with trim, miter and lock at corners.
7. Sealants:
  - a. Provide a continuous airtight and waterproof seal at exterior joints in vertical surfaces and non-traffic horizontal surfaces. Provide backer rod to assure proper joint depth/width ratio.
  - b. Provide a continuous and uniform paint surface.

### **Division Eight – Doors and Windows**

1. Replace all existing windows as shown with Pella Precision-Fit "Architect-Series" insulated, tilt and wash, muntins to be located over glazing panels w/ spacers between:
  - a. Double hung and awning high performance, low-E type as scheduled in the drawings.
2. Exterior Doors:
  - a. Replace exterior doors with configurations as shown in the drawings; Custom carriage-type garage doors as shown, custom front entry doors as shown with glass panels and two (2) sets of custom arch topped french doors at the dining and guest rooms.

- b. Hardware: All exterior hardware and accessories are to be “oil-rubbed bronze” finish. Mid-quality heavy-duty Sargent or Baldwin manufactured products.
3. Interior Doors:
- a. Six-panel solid pine as shown in the drawings as “Door Types”.
  - b. Hardware: All interior hardware and accessories are to be “oil-rubbed bronze” finish. Mid-quality heavy-duty Sargent or Baldwin manufactured products.

### **Division Nine – Finishes**

1. Gypsum Drywall: ½” typical gypsum wallboard, moisture resistant gypsum wallboard and fiberglass reinforced tile backer board.
- a. Walls:
    - a. Three coats mud and fiberglass tape, sanded ready for paint.
  - b. Ceiling:
    - a. Three coats mud and fiberglass tape, sanded ready for paint.
2. Paint:
- (\*All drywall not receiving tile will receive primer and two coats of paint. Preparation will include finish sanding, filler and sealant to insure a superior product.)
- a. Interior: One ½ tint primer coat, two finish paint coats
    - a. Products: Sherwin-Williams, Benjamin Moore and California brand paints, color as selected by Architect and approved by Owner.
  - b. Exterior Finish: (all exposed wall and ceilings)

- a. Exterior siding color and finish, shingles (factory coat plus two field coats), Cabot stains, color as selected by Architect and approved by Owner.
- b. Exterior Trim , columns, doors, and deck balustrade color and finish, standing and running trim (two coats, back prime one coat), Products: Sherwin-Williams, Benjamin Moore and California brand paints, color as selected by Architect and approved by Owner.
- c. Shutters, Products: Sherwin-Williams, Benjamin Moore and California brand paints, color as selected by Architect and approved by Owner.

3. Floor Finishes to be:

Hardwood

- a. ¾" X 3" select red oak, match existing adjacent flooring conditioner plus two coats of oil-based polyurethane. Color to be as chosen by Interior designer and approved by Owner.

Tile – Floor and Wall

- a. Tile (Bathrooms) – refer to plans for location, color and type to be as chosen by Interior designer and approved by Owner. (Provide Allowance)

Carpet

- a. Carpet (Master Bedroom Closet), color and type to be as chosen by Interior designer and approved by Owner. (Provide Allowance)

**Division Ten – Furnishings:**

(to be supplied and furnished by Owner)

## **Division Eleven and Twelve**

### **a. Heating:**

- a. Forced hydronic system, cast iron baseboards to match existing house heat elements.
- b. Heat Source: recondition existing furnace and boiler or upon evaluation propose replacement high efficiency system for Owner consideration. New work to add multiple zone controls, one at each bedroom, bathrooms, living room, kitchen and basement. New Master Bathroom tile floor is to be provided with thermostatically controlled / timer activated heat element, NuHeat Floor Heating Systems, or equal.

### **b. Cooling and Fresh Air Component:**

- a. Provide central air conditioning system and air-air heat exchanger for constant fresh air / exhaust component (hold price separate bathroom ventilation fans to be deleted if chosen), systems to be zoned and controlled similar to heating zones. Both systems are to be balanced to perform optimally throughout the entire house.

### **c. Plumbing:**

- a. All plumbing and trim-out (base bid). Piping to match existing materials except where not applicable by code.
- b. Plumbing Fixtures
  - Bath Tub: Kohler Archer - K-1124 or K-1124-G, Owner to choose one of two, price both for comparison
  - Toilet: Kohler Archer – K3517
  - Toilet Seat: To be provided with toilet
  - Lavatories: Kohler Archer – K-2355 (2)
  - Faucets and Trim: Kohler Memoirs Deck Mount
    - Lavatory Faucet – K-454-4V-G
    - Deck Mount Tub Faucet – K-T469-4V-G
  - Shower: (Kohler)
    - Pressure-balancing valve K-306-KS

3-Way Transfer Valve K-672-K  
Master Shower Integrating Components K-8510 G  
Valve Trim K-T463-4V G  
Thermostatic Faucet Trim K-T10424-4V G  
Custom Shower Door - Pivot Shower Doors Purist by  
Kohler K-702010, Final size and Specifications to be  
confirmed in field. Contractor and Glazing Sub-  
Contractor respond to Architect prior to final installation.

\*All metal items Oil Rubbed Bronze unless stated otherwise.

d. Electrical:

- a. Base Bid: All wiring and trim-out work for power, lighting and smoke detection.
- b. Provide 200amp Square "D" Main Panel for new work, replace with 200-amp panel and service, coordinate installation with heating and air conditioning requirements.

Kitchen and Dining

(5) Wall wash down lights (Lightolier #C4P20GA-C4120-C4A120-C4A1C), with dimmer controls.

(5) Recessed Lights (Lightolier #C3MRPD-WHC3LV-C3A1CLV) with dimmer controls

(2) Pendant light fixtures, color and type to be as chosen by Interior designer and approved by Owner. (Provide Allowance).

Provide continuous under wall cabinet counter lighting with discrete wiring, halogen-type, as approved by Architect. (Provide Allowance)

Living Room and Front Hall

(6) Wall wash down lights (Lightolier #C4P20GA-C4120-C4A120-C4A1C), with dimmer controls.

(6) Recessed Lights (Lightolier #C3MRPD-WHC3LV-C3A1CLV) with dimmer controls.

(3) wall sconces, color and type to be as chosen by Interior designer and approved by Owner. (Provide Allowance)

Master Bedroom:

(6) Recessed Lights (Lightolier #C3MRPD-WHC3LV-C3A1CLV) with dimmer controls

(1) Ceiling Fan – Ellington “Molino” Product #ELSS70AN5, Item# 17506, fan finish - antique bronze, blade finish - cherry(mount in place of flush-mounted general lighting on reflected ceiling plan)

Bathrooms:

(3) overhead vanity lights, color and type to be as chosen by Interior designer and approved by Owner. (Provide Allowance).

Recessed lights (Lightolier #C4P20GD-C4120-C4A120-C4A1C), with dimmer controls.

(2) Fan Panasonic “whisper ceiling 290 cfm ceiling mounted” ventilation fan #FE-30VQ3, minimum performance of 290 CFM at 2.0 sones max. sound rating. (one at shower and one above tub in place of single fan shown on reflected plan)

-Master Bedroom Closet: (delete flush mounted dome shown on reflected ceiling plan)  
Recessed Lights (3MRPD-WHC3LV-C3A1CLV), with dimmer controls.

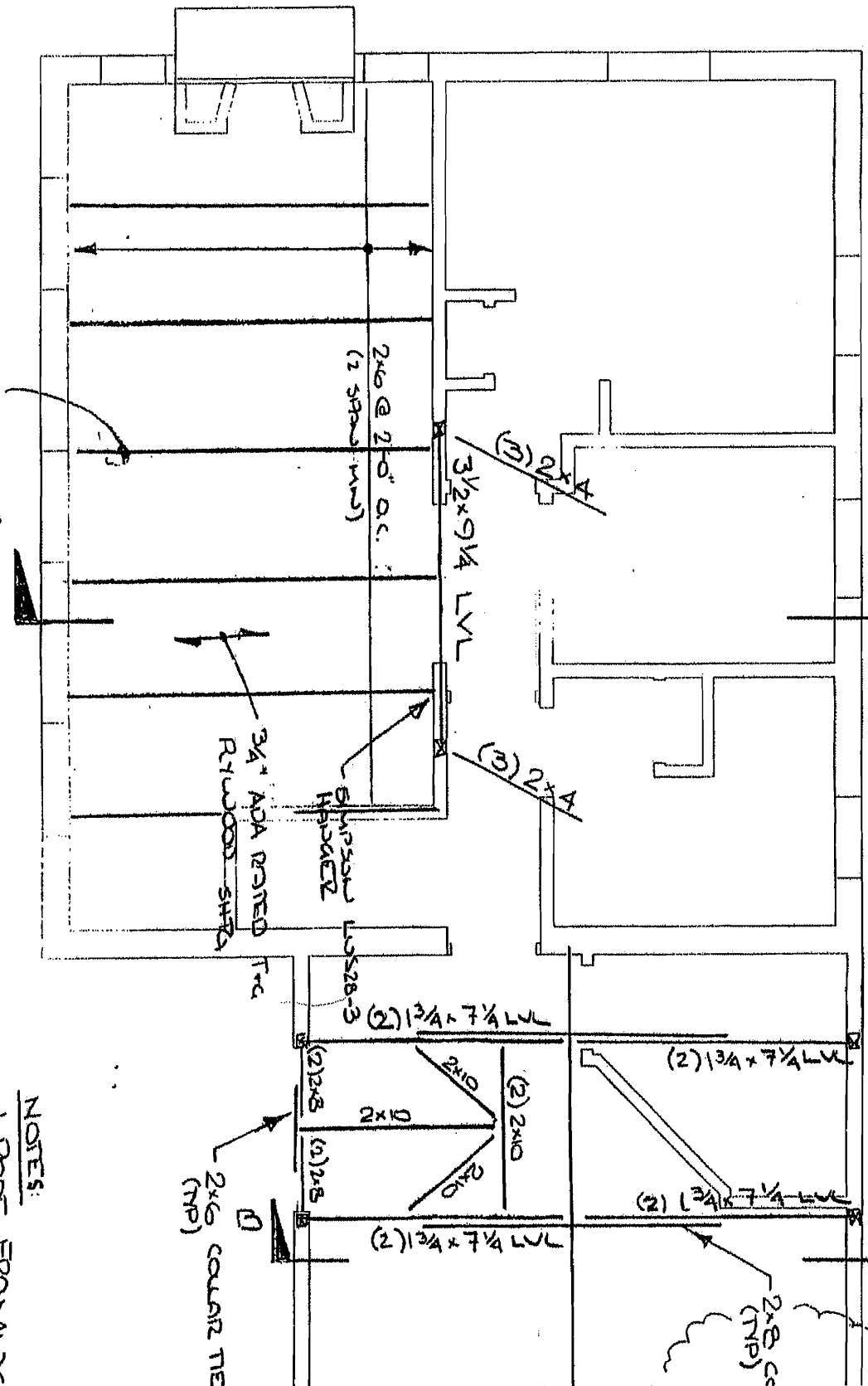
End of Specification

**Note: Bids should be addressed to the Owner. Please provide a Schedule of Values with your submission.**



ATTIC FLOOR FRAMING  
N.T.S.

EXIST 2x6 + (2) 2x10 (NEW)  
@ 4'-0" O.C. (NEW)  
(SEE ARCH DATA A1.2 FOR LAYOUT)



A (SXS-3)

B (SXS-4)

- NOTES:
1. ROOF FRAMING DORMER IS TO
  2. G.C. TO VERIFY AND ENSURE SUIT EXISTING

2x6 COLLAR TIE (TMP)

2x8 CC (TMP)

BRASSON LUS28-3  
HEADER

3/4" ADA RATED RYWOOD SHES

2x6 @ 2'-0" O.C.  
(1 SPAN-WAY)

3 1/2 x 9 1/4 LVL

(3) 2x4

(3) 2x4

(2) 1 3/4 x 7 1/4 LVL

(2) 1 3/4 x 7 1/4 LVL

(2) 1 3/4 x 7 1/4 LVL

2x10

(2) 2x10

2x10

LVL 1 1/2 x 7 1/4 (2)

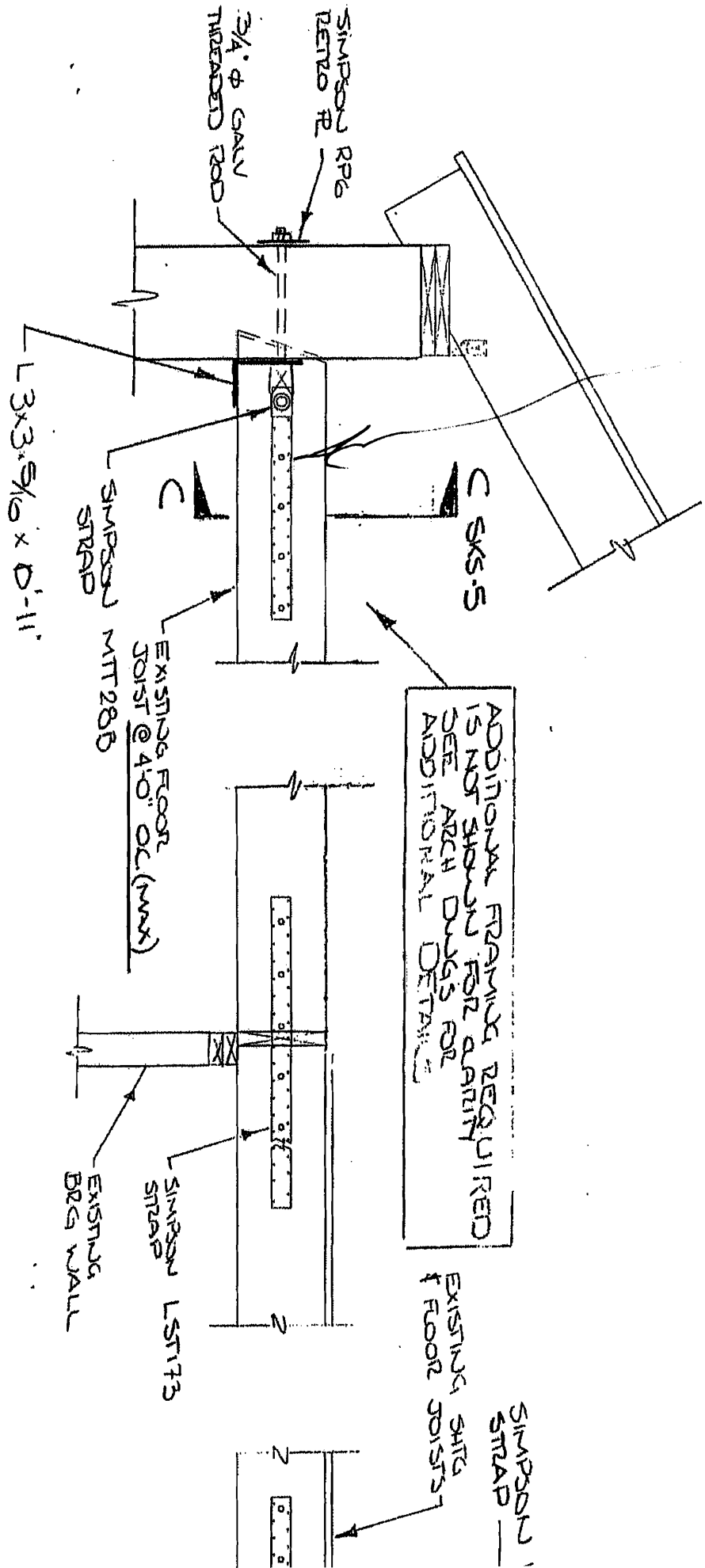
(2) 2x8

(2) 2x8

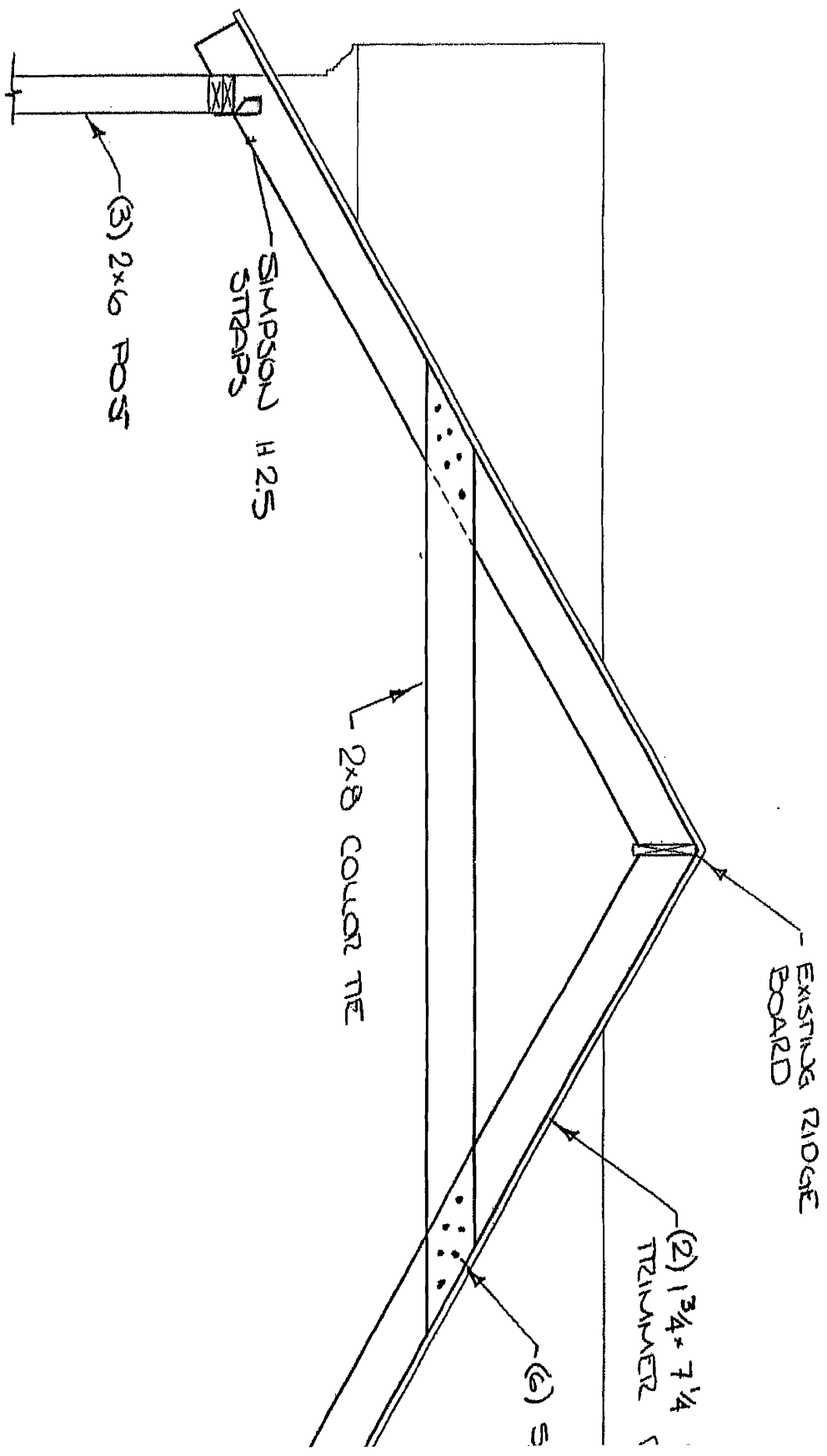
T+C



NOTE (Needed)

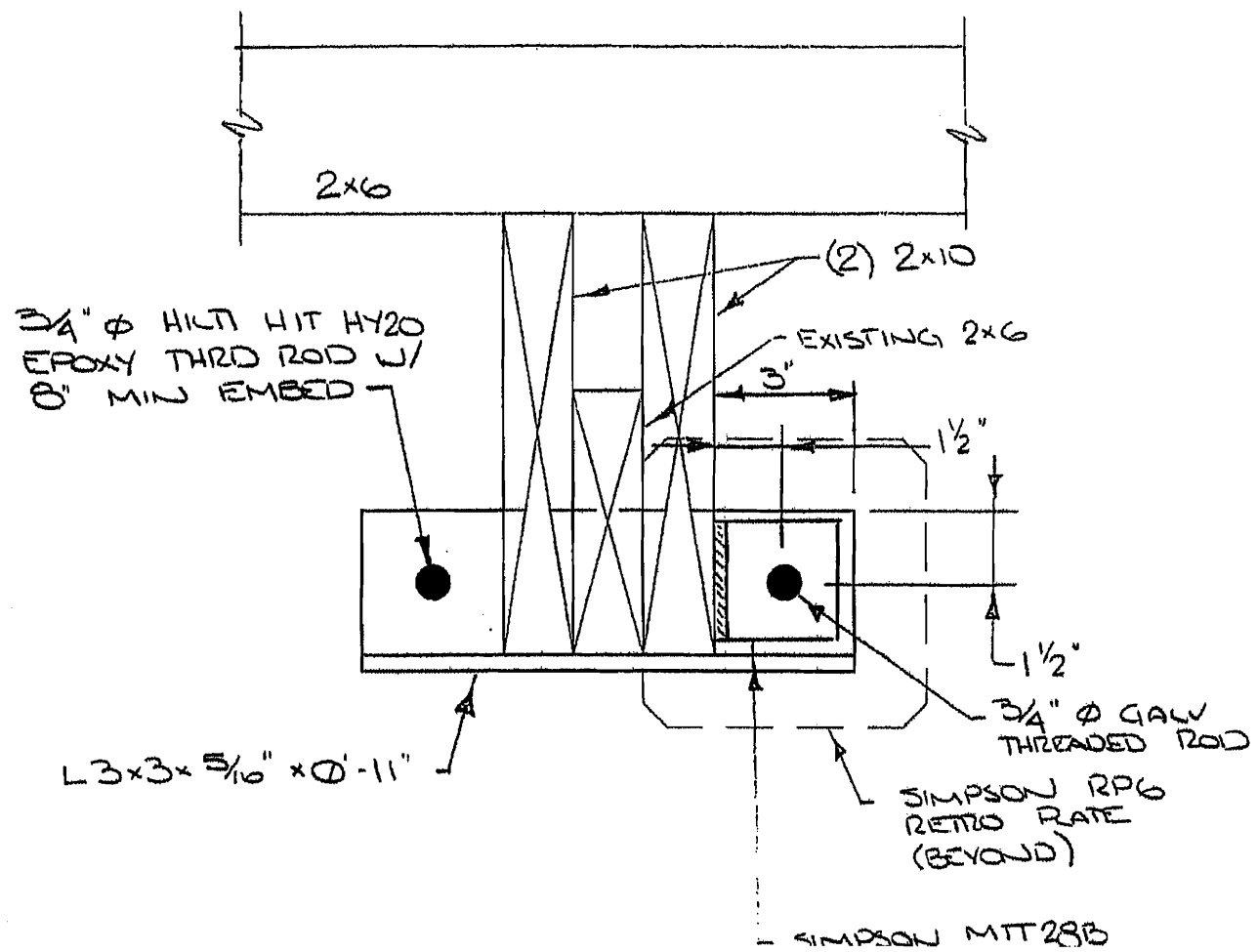
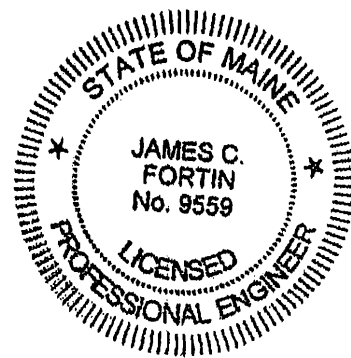


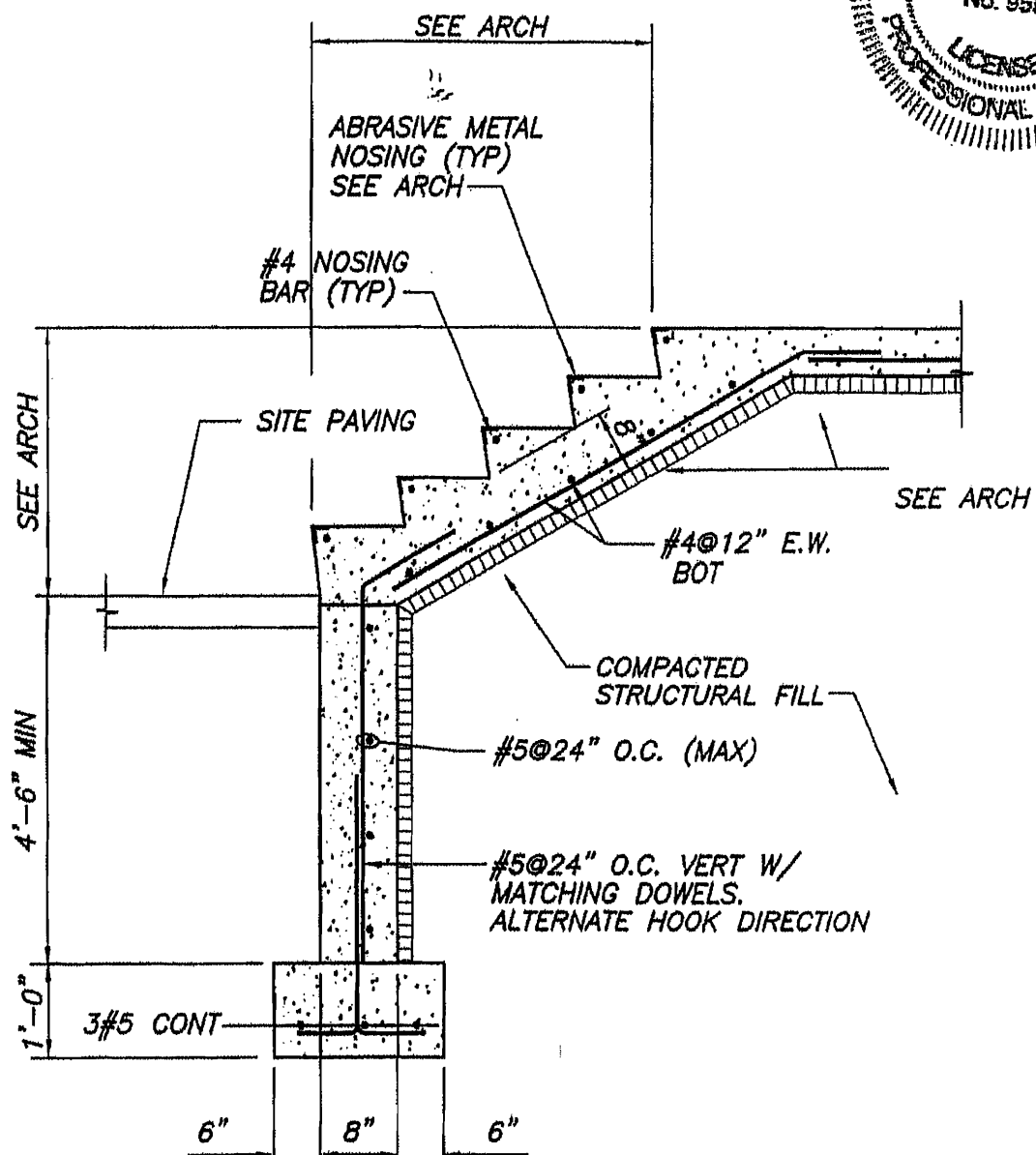
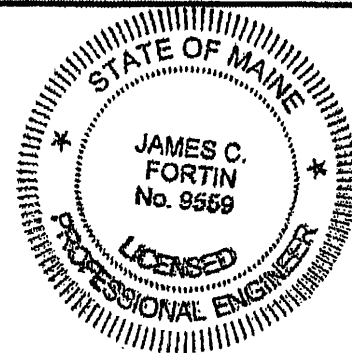
SECTION A-A  
N.T.S.

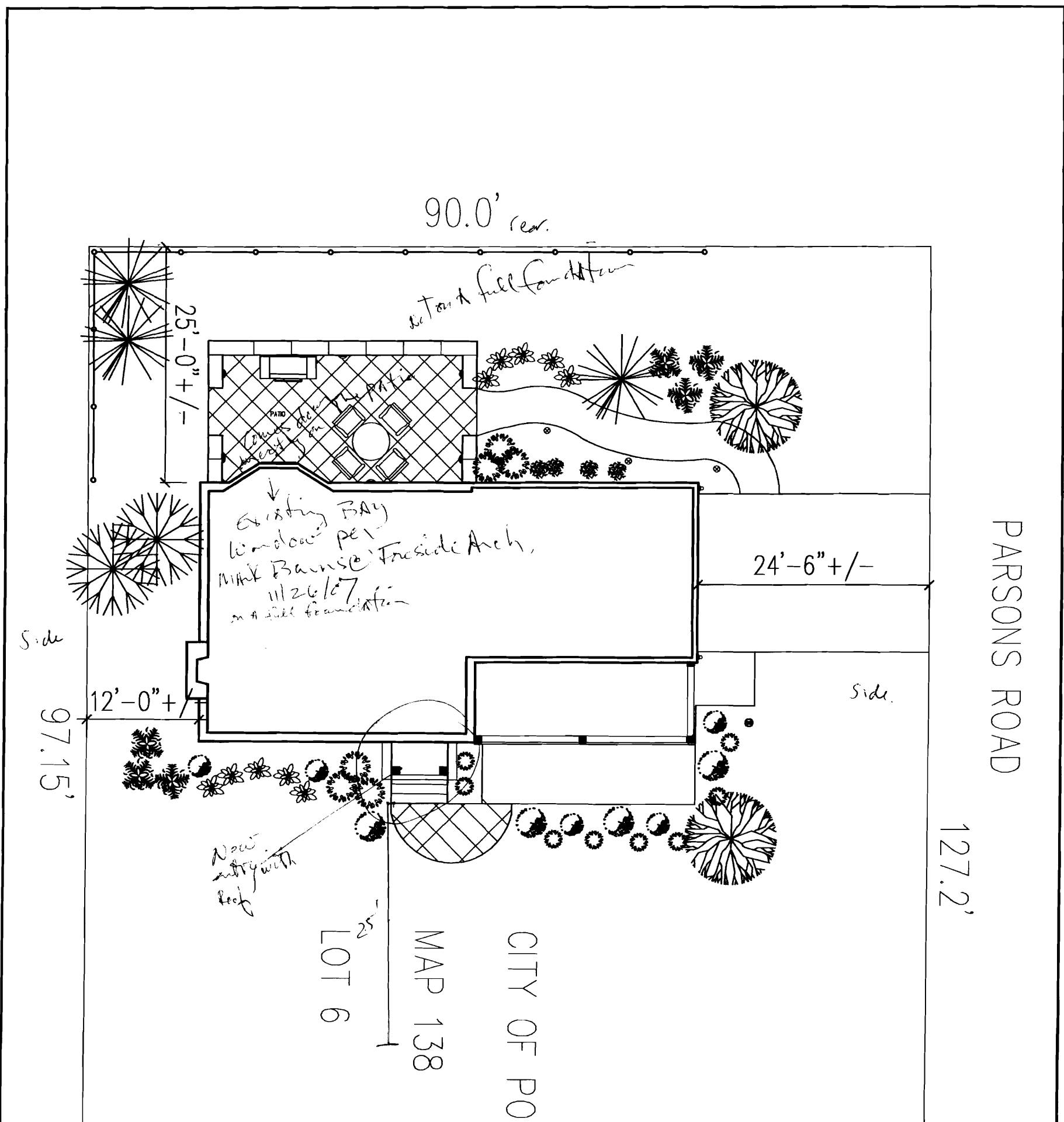


SECTION B-B

1/2" = 1'-0"







90.0' rear.

detached full foundation

25'-0" +/-

24'-6" +/-

Side

97.15'

12'-0" +/-

Side

Existing BAY window PER Mark Baunse Preside Arch, 11/26/07 on a full foundation

New entry with roof

LOT 6

MAP 138

CITY OF POF

PARSONS ROAD

127.2'