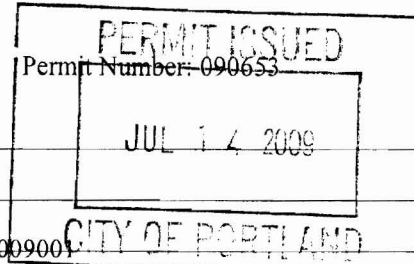


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ICTION



This is to certify that CLARK HOUSE MANAGEMENT LLC & ONE LLC do

has permission to Add to existing fire escape to be on the building up to side

AT 147 PLEASANT AVE

CE 131 E009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Loutreau

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Christy MA

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

CLOSED
 SMH 7/21/09

CLOSE / SCANNED SMH
 OUT

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0653	Issue Date: 7/14/09	CBL: 131 E009001
-----------------------	------------------------	---------------------

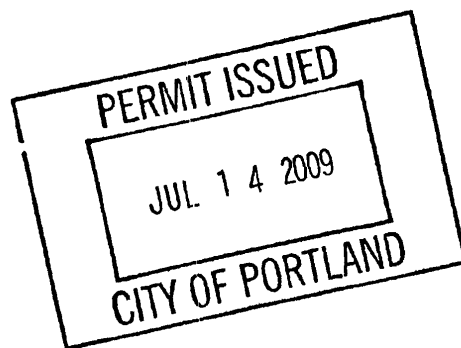
Location of Construction: 147 PLEASANT AVE	Owner Name: CLARK HOUSE MANAGEMENT	Owner Address: P.O. BOX 2332	Phone:
Business Name:	Contractor Name: Aaron Jones	Contractor Address: 77 Oak Street Portland	Phone: 2077744614
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R-5

Past Use: Multi-Family - 5 legal & one illegal dwelling unit- connected to permit #06-1697 to legalize the illegal unit	Proposed Use: Multi-Family - Add to existing fire escape to bring the building up to code	Permit Fee: \$190.00	Cost of Work: \$16,800.00	CEO District: 4
Proposed Project Description: Add to existing fire escape to bring the building up to code		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: R-2 Type: SB IBC-2003 NFPA-101	
		Signature: (KG)	Signature: CL	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 06/22/2009	Zoning Approval
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland <i>US 17 section 14-433</i>	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 6/30/09 <i>ASK</i>	Date: _____	Date: <i>AKM</i>


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Structural Integrity

Consulting Engineers, Inc.

July 17, 2009

Mr. Bryce Avalon
2609 Tumwater Lane
Boulder, CO 80304

C/o Ms. Erin Avalon
P.O. Box 2332
So Portland, ME 04116

Reference:

New Fire Escape Observation and Visual Weld Inspection
147 Pleasant Ave
Portland, ME 04103
SI Job #09-0031.1

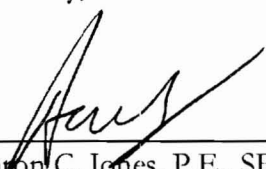
Dear Bryce,

This letter is to confirm that a representative of this office visited the above referenced site on 7/17/09 to observe the installation and perform a visual inspection of the completed welding on the fire escape extension at the above referenced address.

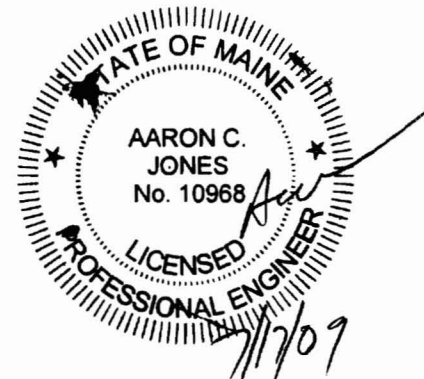
Based on our observations, and photos, we are of the opinion that the anchorage to the wall, steel bolting, and welding has been completed in substantial conformance to the construction documents.

Do not hesitate to call with any questions, comments, or if I can be of further assistance.

Sincerely,



Aaron C. Jones, P.E., SECB
President



JUL 21 2009

Structural Integrity

Consulting Engineers, Inc.

May 5, 2009

Mr. Bryce Avalon
2609 Tumwater Lane
Boulder, CO 80304

C/o Ms. Erin Avalon
P.O. Box 2332
So Portland, ME 04116

Reference:

Existing Fire Escape Evaluation and Certification Letter
147 Pleasant Ave
Portland, ME 04103
SI Job #09-0031


Dear Bryce,

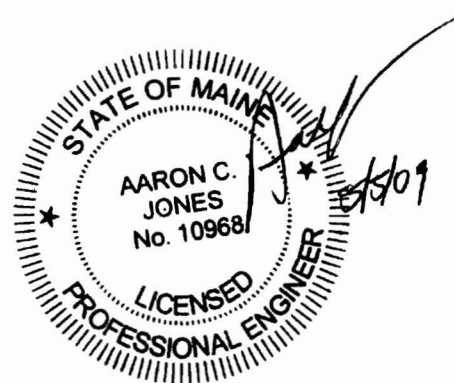
As requested I am writing this memo regarding the fire escape at the above referenced site. The opinions expressed are based on our visual observations during my visit to the site on May 4, 2009 and my knowledge of structures, their components, and the related building codes. No calculations or physical testing were performed to determine the adequacy of the complete structural systems. Architectural/life safety conditions are not included in this report. No warranty expressed or implied, as to the condition of the structure, is intended.

After visiting the above referenced site and observing the current condition of the repaired fire escape, I certify that the fire escape is in good condition and is structurally sound for use as an emergency exit.

Do not hesitate to call with any question, comments, or if I can be of further assistance.

Sincerely,


Aaron C. Jones, P.E., SECB
President



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0653	Date Applied For: 06/22/2009	CBL: 131 E009001
------------------------------	--	----------------------------

Location of Construction: 147 PLEASANT AVE	Owner Name: CLARK HOUSE MANAGEMENT	Owner Address: P.O.BOX 2332	Phone:
Business Name:	Contractor Name: Aaron Jones	Contractor Address: 77 Oak Street Portland	Phone (207) 774-4614
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: Multi-Family - Add to existing fire escape to bring the building up to code	Proposed Project Description: Add to existing fire escape to bring the building up to code
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/30/2009

Note: **Ok to Issue:**

- 1) At this time, this property is a five family dwelling. Permit #06-1697 is pending to legalize one unit to make a total of six legal units.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 07/14/2009

Note: **Ok to Issue:**

- 1) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 2) An inspection of the installation of the steel and structural bracing shall be conducted by a licensed engineer and his/her certification shall be submitted to this office stating compliance with the approved plans.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 06/30/2009

Note: **Ok to Issue:**

- 1) A compliance letter will be required at the end of the project certifying the newly installed fire escape.
- 2) Any cutting or welding operations require a separate permit from the Fire dept.

Comments:

6/23/2009-lmd: Property owner dropped off a copy of Report from the Fire Department. I put with the application.

6/30/2009-amachado: Left message for Aaron Jones. Need either PDF of architectural plans or 11" x 17" copies.

7/6/2009-gg: recieved granted site exemption as of 7/2/09. /gg

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

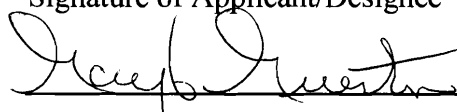
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

7/14/09
Date



Signature of Inspections Official

7/14/09
Date

Structural Integrity

Consulting Engineers, Inc.

July 17, 2009

Mr. Bryce Avalon
2609 Tumwater Lane
Boulder, CO 80304

C/o Ms. Erin Avalon
P.O. Box 2332
So Portland, ME 04116

Reference:

New Fire Escape Evaluation and Certification Letter
147 Pleasant Ave
Portland, ME 04103
SI Job #09-0031.1


Dear Bryce,

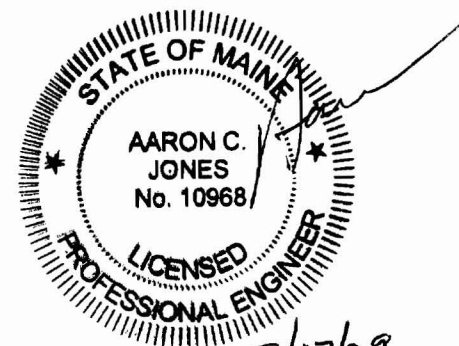
As requested I am writing this memo regarding the fire escape at the above referenced site. The opinions expressed are based on our visual observations during my visit to the site on July 17, 2009 and my knowledge of structures, their components, and the related building codes. No physical testing was performed to determine the adequacy of the complete structural systems. Architectural/life safety conditions are not included in this report. No warranty expressed or implied, as to the condition of the structure, is intended.

After visiting the above referenced site and observing the current condition of the new fire escape extension and existing 3 story fire escape, I certify that the fire escape is in good condition and is structurally sound for use as an emergency exit.

Do not hesitate to call with any question, comments, or if I can be of further assistance.

Sincerely,


Aaron C. Jones, P.E., SECB
President



JUL 21 2009



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>147 Pleasant Ave, Portland, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>74 SF.</u>	Square Footage of Lot <u>14,322 SF +/-</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>B1</u> Block# <u>E</u> Lot# <u>9</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Aaron C. Jones,</u> Address <u>77 OAK ST.</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207-774-4614</u> <u>(c) 207-272-4910</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Mr. Bryce Avalon</u> Address <u>2609 Tomwater Ln</u> City, State & Zip <u>Boulder, CO 80304</u>	Cost Of Work: \$ <u>16,800 -</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Apartment Building</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>N/A</u> If yes, please name _____ Project description: <u>Existing Apartment Building @ 147 Pleasant Ave.</u>		
Contractor's name: <u>Aaron C. Jones</u> Address: <u>77 OAK ST.</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>207-774-4614</u> Who should we contact when the permit is ready: <u>Aaron Jones</u> Telephone: <u>207-272-4910</u> Mailing address: <u>77 OAK ST - Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

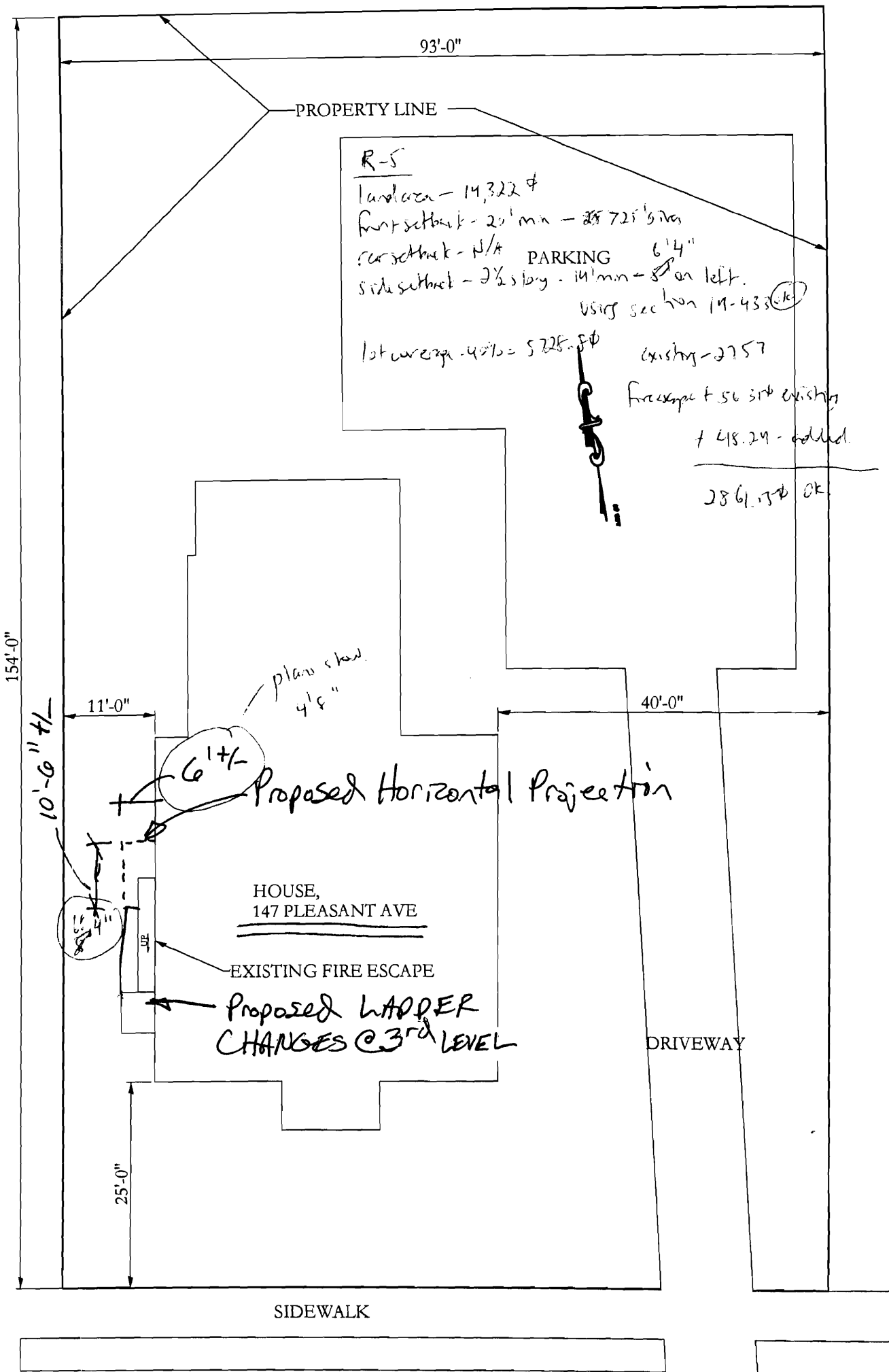
Signature: Aaron C. Jones Date: 6/22/09

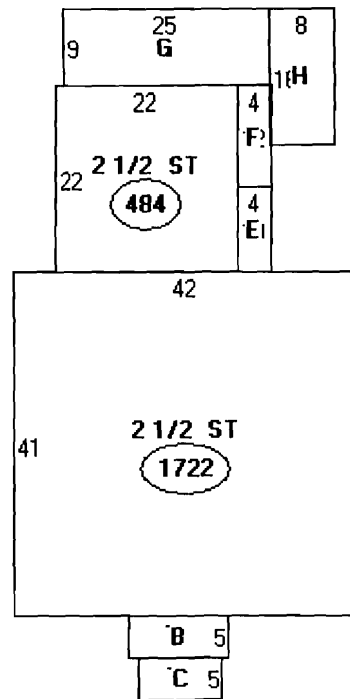
This is not a permit; you may not commence ANY work until the permit is issue

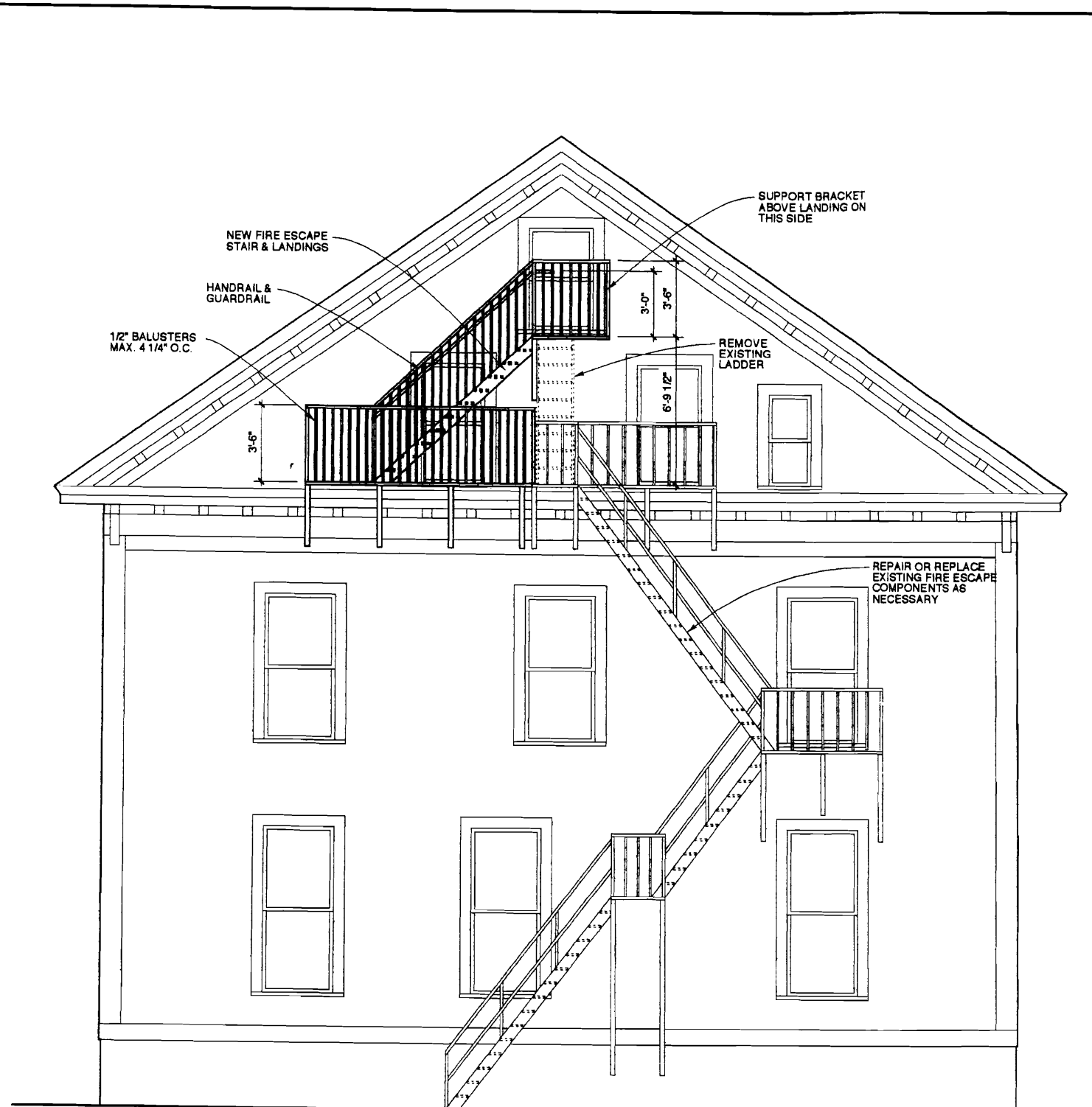
LADDER REPLACEMENT @ 147 PLEASANT AVE

6/22/09

N.T.S.

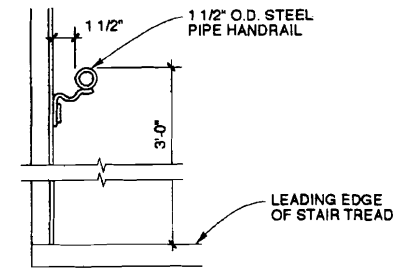


DescrA: 2 1/2
1722B: 2 ST
60 sqC: OFF
50 sqD: 2 1/2
484 sE: CANC
40 sqF: OFF
48 sqG: 1 ST
225 sH: WD L
128 s

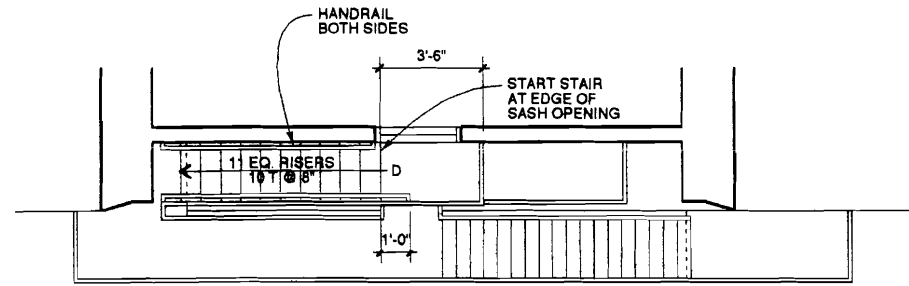


1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'

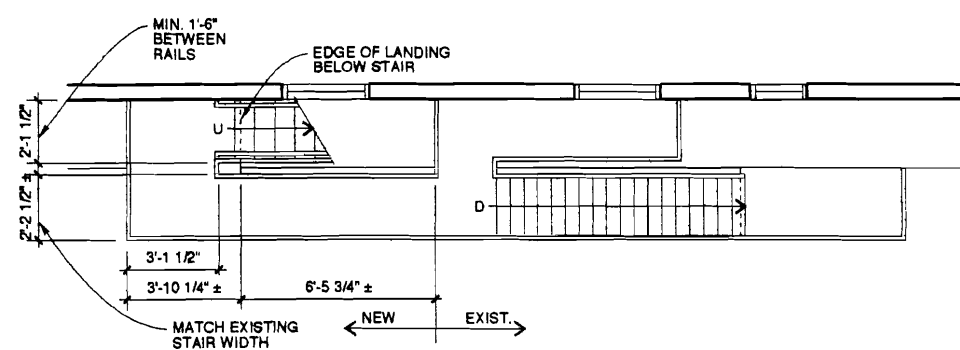
- NOTES:**
1. SEE STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
 2. PAINT ALL NEW AND EXISTING STEEL MEMBERS.



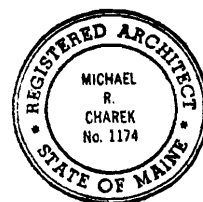
4 HANDRAIL DETAIL
 SCALE: 1 1/2" = 1'-0"
 2' 4' 8' 1'-4"



3 PLAN - LEVEL 4
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'



2 PLAN - LEVEL 3
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'



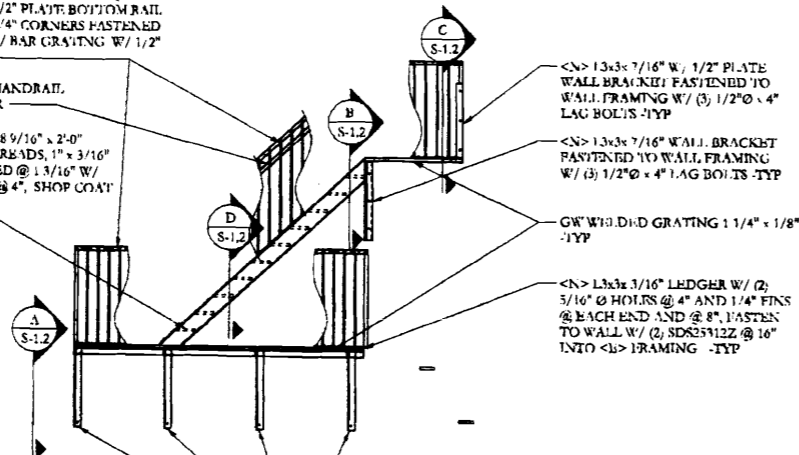
MICHAEL CHAREK ARCHITECTS PORTLAND, MAINE			
FIRE ESCAPE RENOVATION 147 PLEASANT AVENUE PORTLAND, ME 04103			
PLANS AND WEST ELEVATION			
BY MRC	CKD	SCALE 1/4"=1'-0"	DATE 6/22/09
JOB NO. 2008.29	DWG. A-1		

N.T.S.

L1 1/2 x 1 1/2 x 1/4" TOP RAIL W/ 1/2" SQ STOCK PICKETS W/ 1 1/2" x 1/2" PLATE BOTTOM RAIL AND L1 1/2 x 1 1/2 x 1/4" CORNERS FASTENED TO STAIR STRINGERS/ BAR GRATING W/ 1/2" Ø THRU BOLTS -TYP

1 1/2" O.D. STD PIPE HANDRAIL BOTH SIDES OF STAIR

C7.9.8 STRINGERS W/ 6 9/16" x 2'-0" GW100 STEEL STAIR TREADS, 1" x 3/16" BEARING BARS SPACED @ 1 3/16" W/ CROSS BARS SPACED @ 4", SHOP COAT BLACK -TYP



<N> 1.3x3x 7/16" WALL BRACKET FASTENED TO <E> WALL FRAMING W/ 1/2"Ø x 4" LAG BOLTS -TYP. SEE SECTIONS FOR MORE INFORMATION -TYP (4) LOCATIONS

<N> 1.3x3x 7/16" W/ 1/2" PLATE WALL BRACKET FASTENED TO WALL FRAMING W/ (3) 1/2"Ø x 4" LAG BOLTS -TYP

<N> 1.3x3x 7/16" WALL BRACKET FASTENED TO WALL FRAMING W/ (3) 1/2"Ø x 4" LAG BOLTS -TYP

GW W/ 1/4" x 1/8" GRATING 1 1/4" x 1/8" -TYP

<N> 1.3x3x 3/16" LEDGER W/ (2) 5/16" Ø HOLES @ 4" AND 1/4" FINES @ EACH END AND @ 8", FASTEN TO WALL W/ (2) SDS3112Z @ 16" INTO <R> FRAMING -TYP

INSTALL <N> 1/2" Ø LAG BOLTS AS NEEDED WHERE <R> MEMBERS ARE MISSING BOLTS -TYP

INDICATES <R> TREADS TO BE REMOVED AND REPLACED WITH W/ 6 9/16" x 2'-0" GW100 STEEL STAIR TREADS, 1" x 3/16" BEARING BARS SPACED @ 1 3/16" W/ CROSS BARS SPACED @ 4", SHOP COAT BLACK -TYP

REMOVE DAMAGED TREAD BEARING ANGLES TO THRU BOLT NEW TREADS -TYP

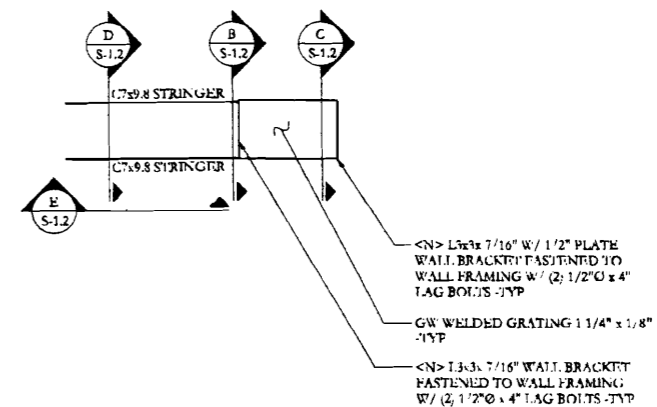
1/2" Ø GALV WEDGE ANCHOR @ EXISTING STAIR TO NEW LANDING PAD

24" SQ x 6" DEEP TRINCHFORMED LANDING PAD W/ (2) #4 EACH WAY AT MID DEPTH -TYP

WEST ELEVATION

NOTES: SCALE: 1/4"=1'-0"

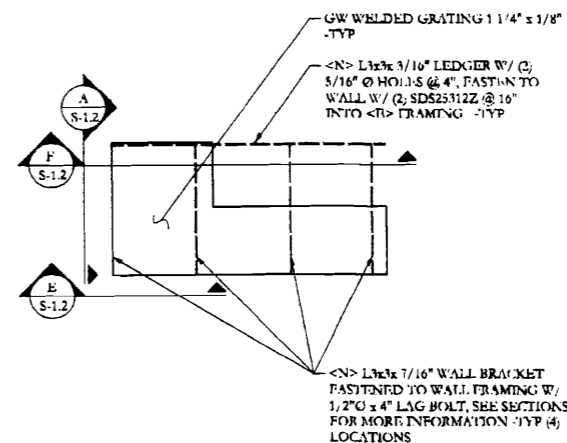
1. ALL NEW STEEL SHALL HAVE (1) COAT OF PRIMER AND (2) COATS BLACK ENAMEL -TYP UNO
2. CONTRACTOR RESPONSIBLE FOR ALL PATCHING AND REWORKING REQUIRED FOR THE INSTALLATION OF BACK-UP FRAMING/ BLOCKING.
3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS NECESSARY FOR STEEL FABRICATION TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.
4. ALL BAR GRATE TO BE WELDED TO SUPPORTS -TYP



FOURTH FLOOR LANDING

NOTES: SCALE: 1/4"=1'-0"

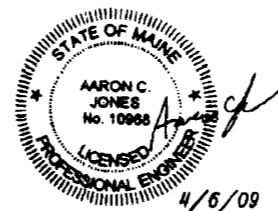
1. ALL NEW STEEL SHALL HAVE (1) COAT OF PRIMER AND (2) COATS BLACK ENAMEL -TYP UNO
2. CONTRACTOR RESPONSIBLE FOR ALL PATCHING AND REWORKING REQUIRED FOR THE INSTALLATION OF BACK-UP FRAMING/ BLOCKING.
3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS NECESSARY FOR STEEL FABRICATION TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.
4. ALL BAR GRATE TO BE WELDED TO SUPPORTS -TYP



THIRD FLOOR LANDING

NOTES: SCALE: 1/4"=1'-0"

1. ALL NEW STEEL SHALL HAVE (1) COAT OF PRIMER AND (2) COATS BLACK ENAMEL -TYP UNO
2. CONTRACTOR RESPONSIBLE FOR ALL PATCHING AND REWORKING REQUIRED FOR THE INSTALLATION OF BACK-UP FRAMING/ BLOCKING.
3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS NECESSARY FOR STEEL FABRICATION TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.
4. ALL BAR GRATE TO BE WELDED TO SUPPORTS -TYP



Structural Integrity
Consulting Engineers, Inc.

77 Oak Street
Portland, ME, 04101
p. 207-774-4614
f. 866-793-7835
www.structintegrity.com

BUILD WITH CONFIDENCE
© 2008 Structural Integrity Consulting Engineers, Inc.
S#08-0059

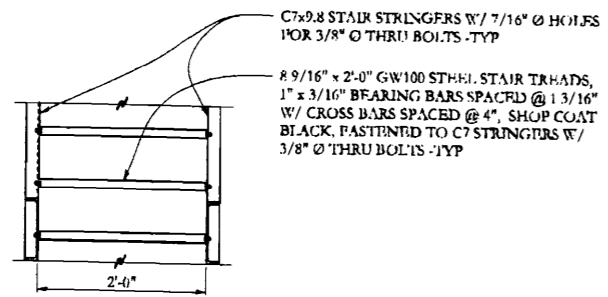
MICHAEL CHAREK ARCHITECTS
PORTLAND, MAINE

FIRE ESCAPE REPAIR AND RENOVATION
147 PLEASANT AVENUE
PORTLAND, ME 04103

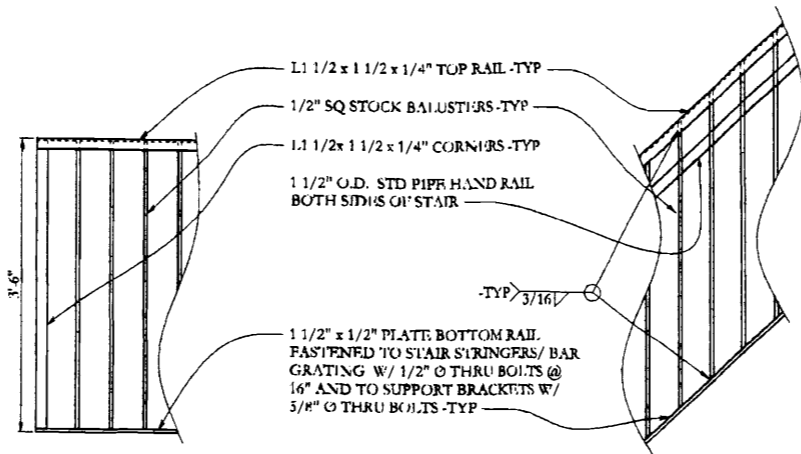
ELEVATION/PLANS

BY	CKD	SCALE	1/4"=1'-0"	DATE	4/6/09
JOB NO.	2008.29	DWG.	S-1.1		

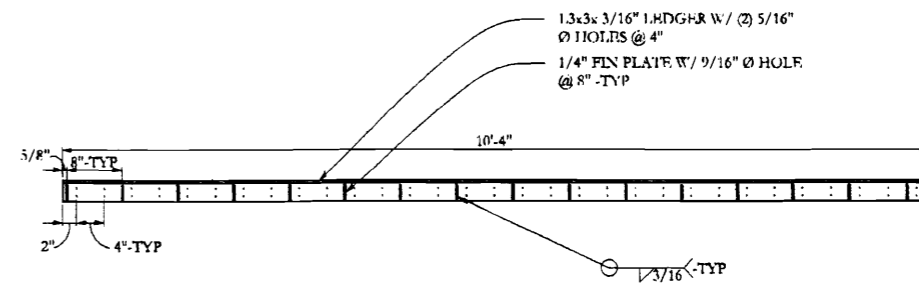
N.T.S.



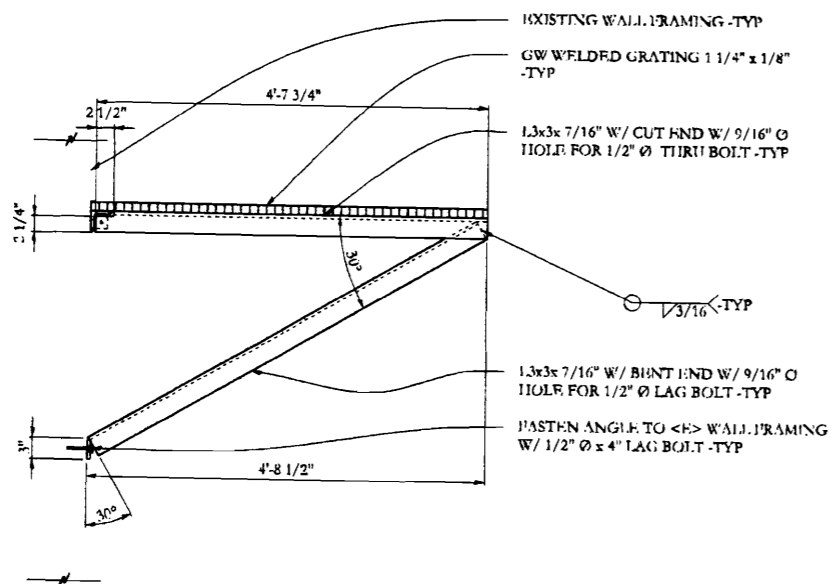
SECTION **D** (S-1.2) 3/4"=1'-0



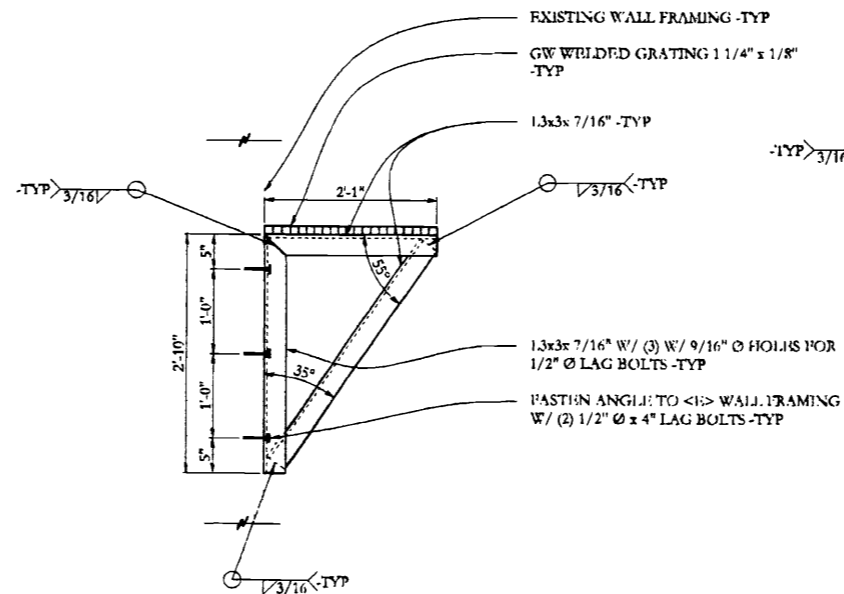
SECTION **E** (S-1.2) 3/4"=1'-0



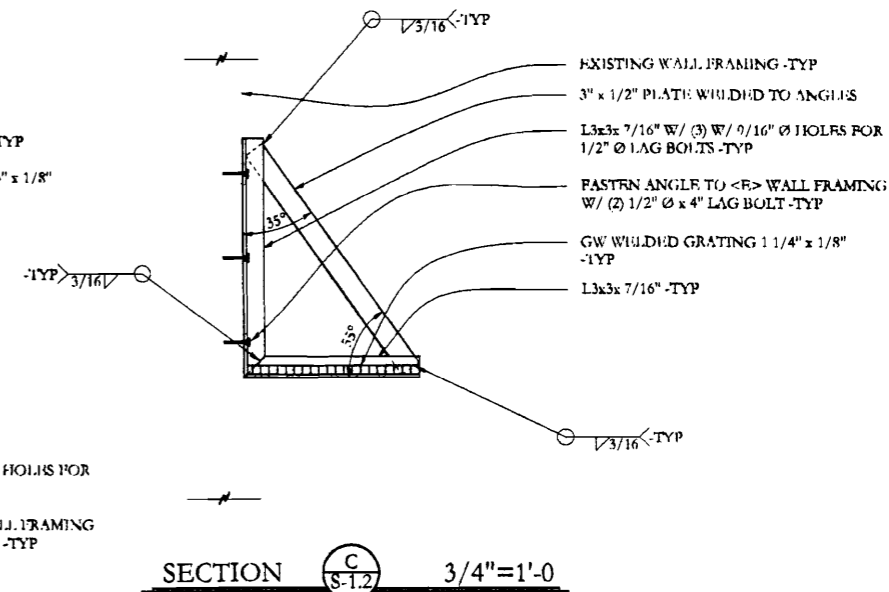
SECTION **F** (S-1.2) 3/4"=1'-0



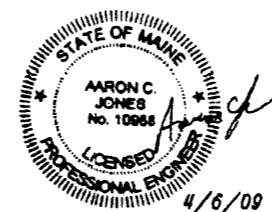
SECTION **A** (S-1.2) 3/4"=1'-0



SECTION **B** (S-1.2) 3/4"=1'-0



SECTION **C** (S-1.2) 3/4"=1'-0



Structural Integrity
Consulting Engineers, Inc.

77 Oak Street
Portland, ME, 04101
p. 207-774-4614
f. 866-793-7835
www.structuralintegrity.com
BUILD WITH CONFIDENCE
© 2007 Structural Integrity Consulting Engineers, Inc.
SI#08-0059

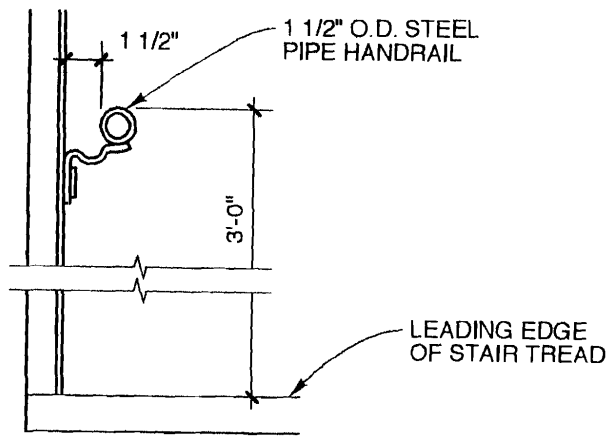
MICHAEL CHAREK ARCHITECTS
PORTLAND, MAINE

FIRE ESCAPE REPAIR AND RENOVATION
147 PLEASANT AVENUE
PORTLAND, ME 04103

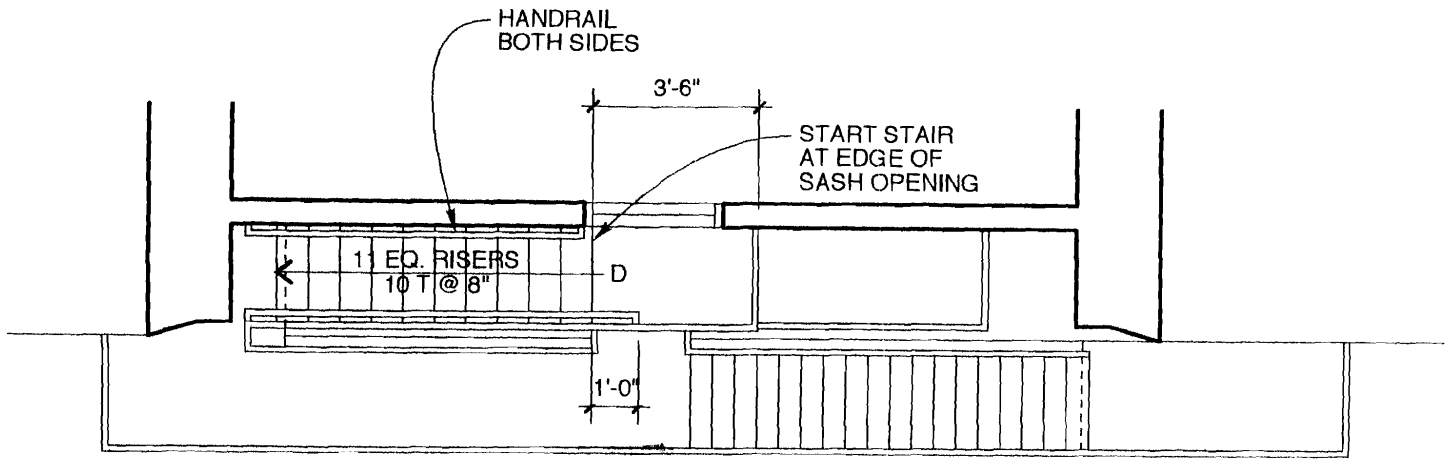
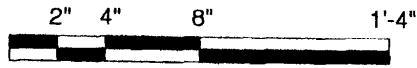
SECTIONS

BY	CKD	SCALE	DATE
JOB NO.	2008.29	3/4"=1'-0"	4/6/09
DWG.	S-1.2		

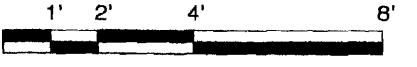
N.T.S.



4 HANDRAIL DETAIL
 SCALE: 1 1/2" = 1'-0"

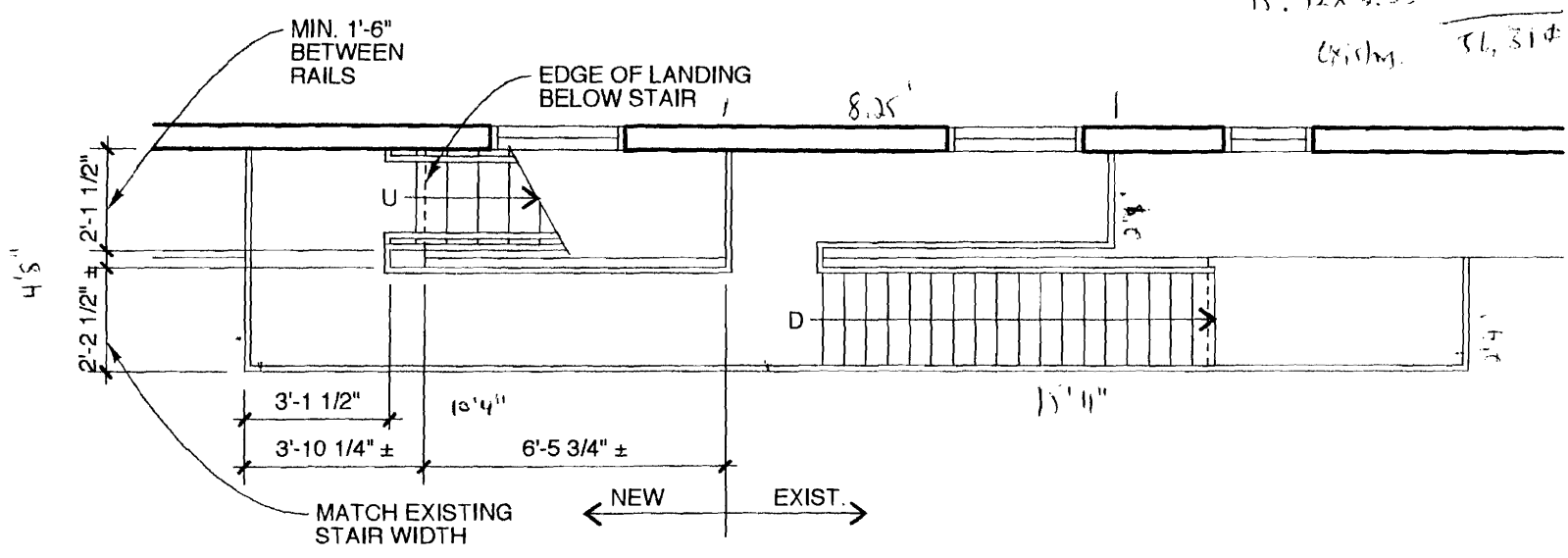


3 PLAN - LEVEL 4
 SCALE: 1/4" = 1'-0"

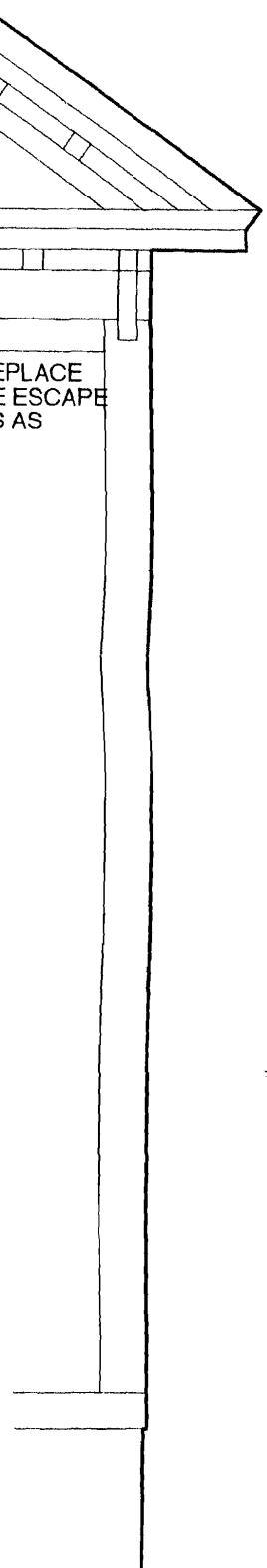
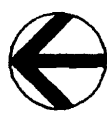
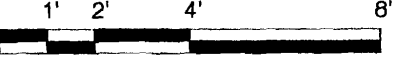


$10.33 \times 4.67 = 48.24 \phi_{new}$

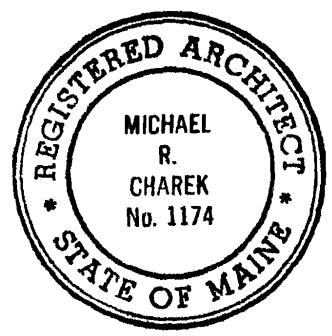
$8.25 \times 2.33 = 19.21 \phi$
 $15.92 \times 2.33 = 37.09$
 (existing) 56.31ϕ



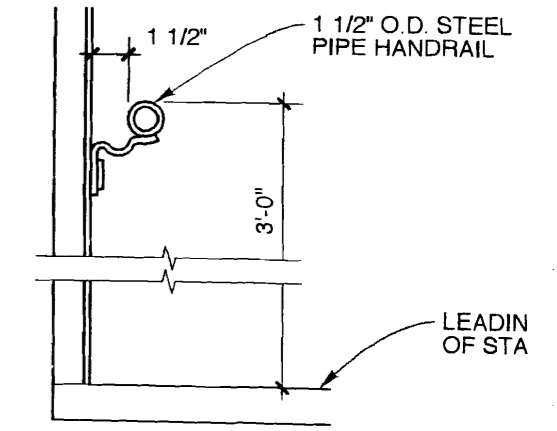
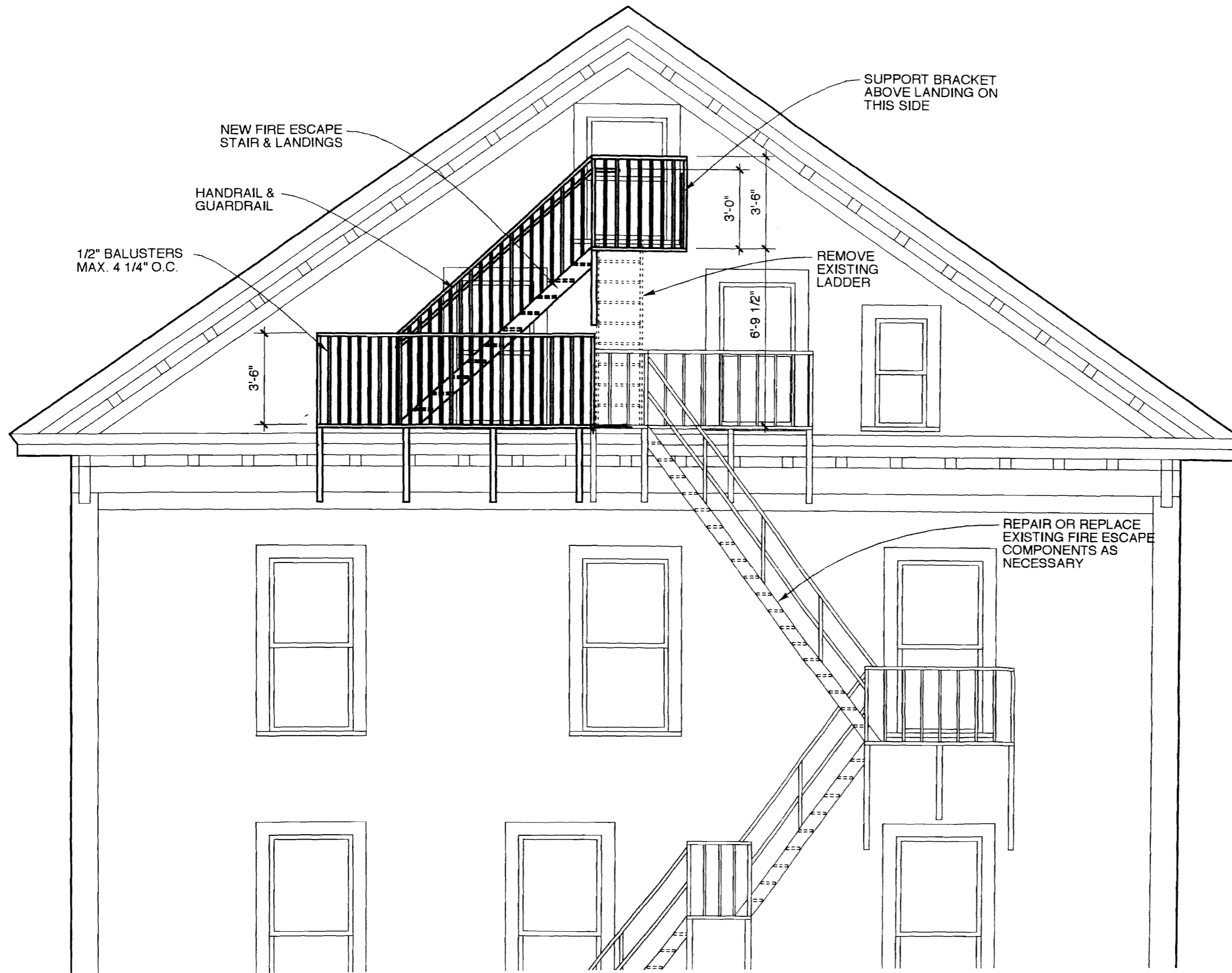
2 PLAN - LEVEL 3
 SCALE: 1/4" = 1'-0"



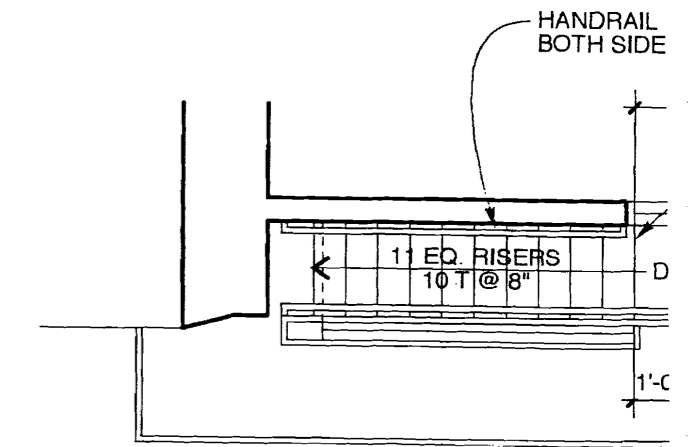
PLACES FOR
 ESCAPE
 STAIRS



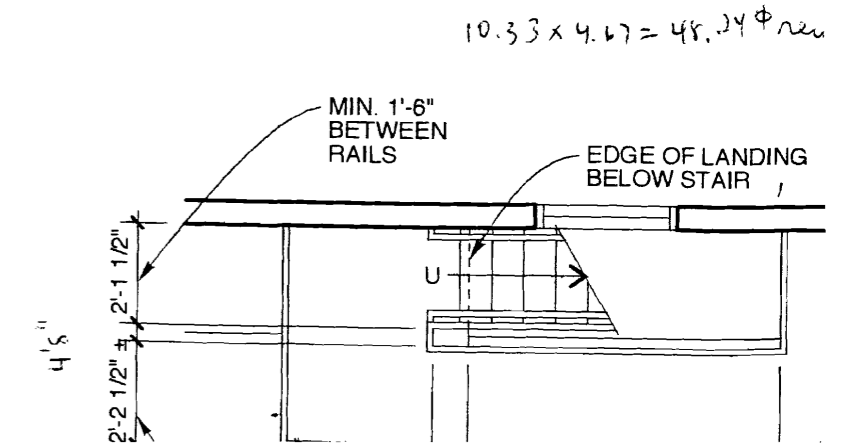
MICHAEL CHAREK ARCHITECTS PORTLAND, MAINE			
FIRE ESCAPE RENOVATION 147 PLEASANT AVENUE PORTLAND, ME 04103			
PLANS AND WEST ELEVATION			
BY MRC	CKD	SCALE 1/4"=1'-0"	DATE 6/22/09
JOB NO. 2008.29		DWG. A-1	

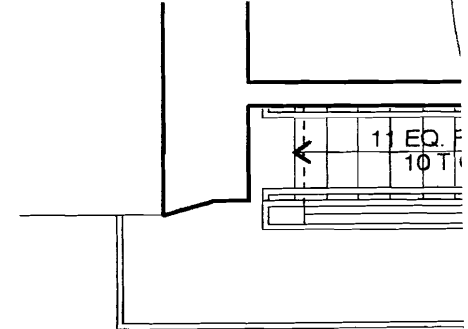
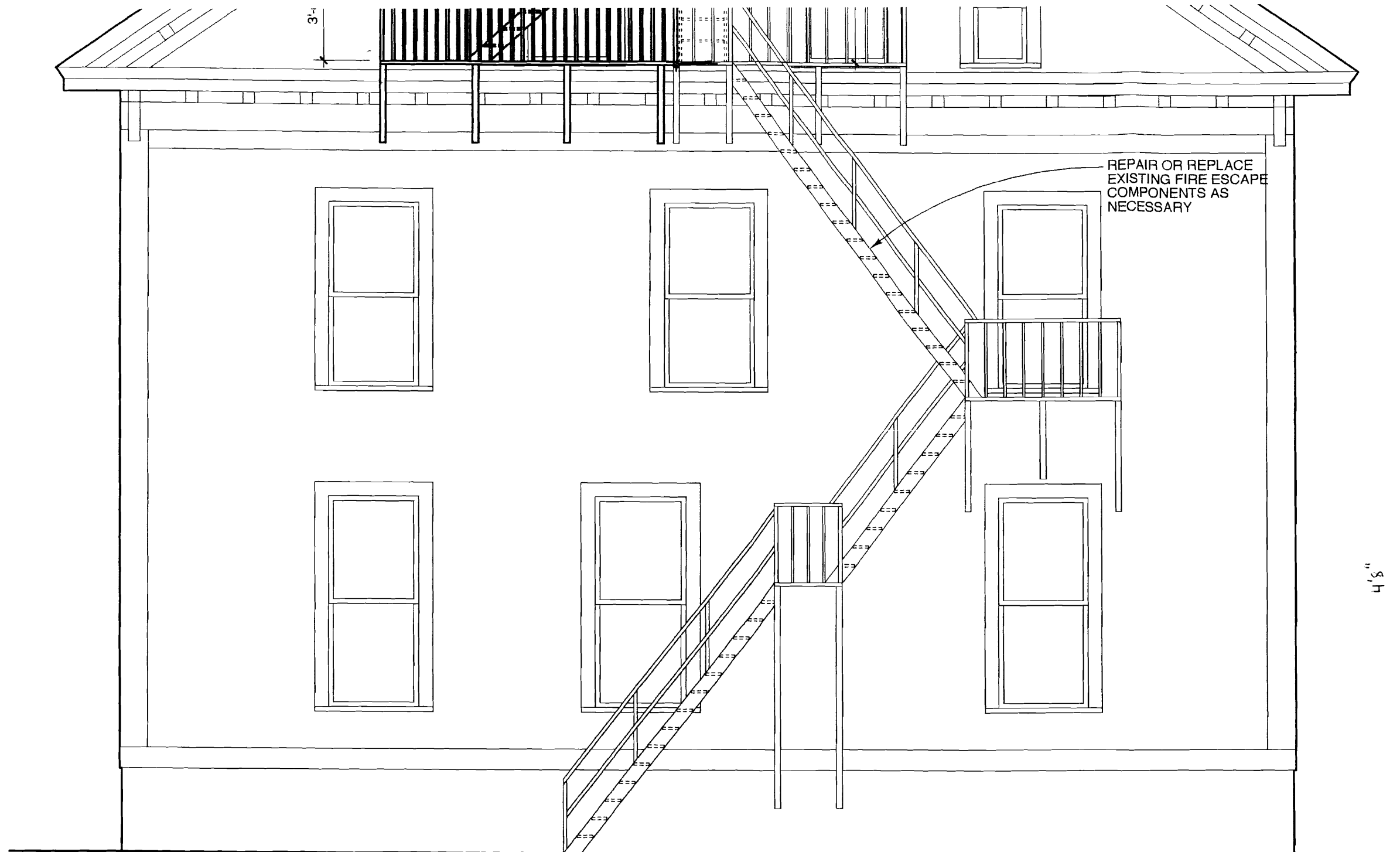


4 HANDRAIL DETAIL
 SCALE: 1 1/2" = 1'-0"
 2" 4" 8" 1'-4"



3 PLAN - LEVEL 4
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'

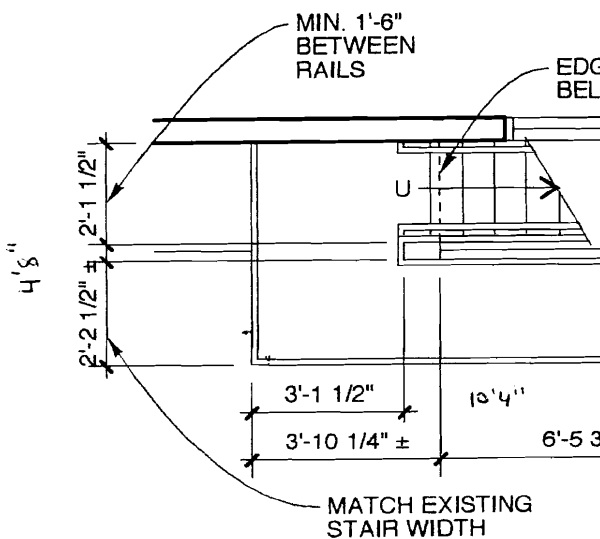




3 PLAN - LEV
 SCALE: 1/4" = 1'-0"
 1' 2' 4'



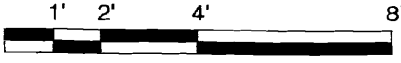
10.33 x 4.67



2 PLAN - LEV
 SCALE: 1/4" = 1'-0"
 1' 2' 4'

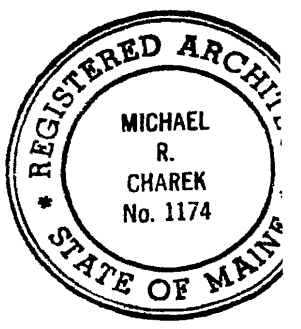


1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'



NOTES:

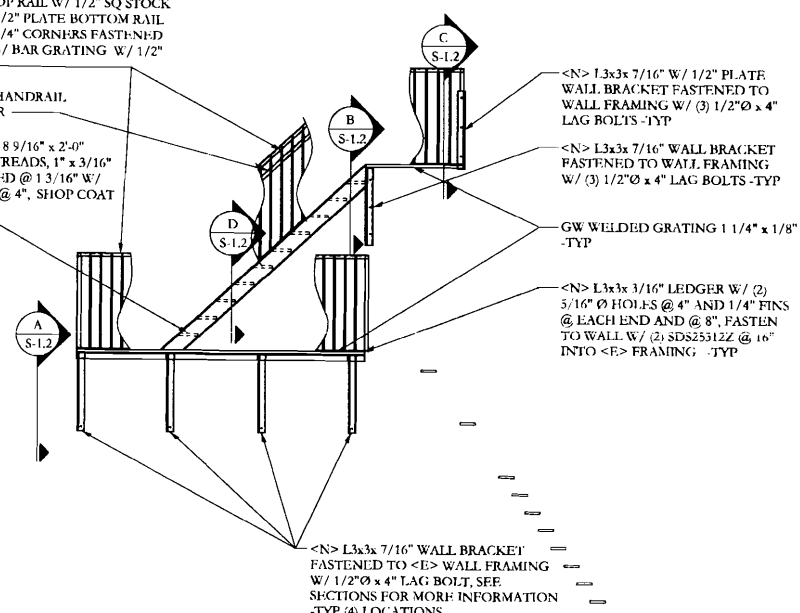
1. SEE STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
2. PAINT ALL NEW AND EXISTING STEEL MEMBERS.



L1 1/2 x 1 1/2 x 1/4" TOP RAIL W/ 1/2" SQ STOCK PICKETS W/ 1 1/2" x 1/2" PLATE BOTTOM RAIL AND 1 1/2 x 1 1/2 x 1/4" CORNERS FASTENED TO STAIR STRINGERS/ BAR GRATING W/ 1/2" Ø THRU BOLTS -TYP

1 1/2" O.D. STD PIPE HANDRAIL, BOTH SIDES OF STAIR

C7x9.8 STRINGERS W/ 8 9/16" x 2'-0" GW100 STEEL STAIR TREADS, 1" x 3/16" BEARING BARS SPACED @ 1 3/16" W/ CROSS BARS SPACED @ 4", SHOP COAT BLACK -TYP



<N> 1.3x3x 7/16" W/ 1/2" PLATE WALL BRACKET FASTENED TO WALL FRAMING W/ (3) 1/2" Ø x 4" LAG BOLTS -TYP

<N> 1.3x3x 7/16" WALL BRACKET FASTENED TO WALL FRAMING W/ (3) 1/2" Ø x 4" LAG BOLTS -TYP

GW WELDED GRATING 1 1/4" x 1/8" -TYP

<N> 1.3x3x 3/16" LEDGER W/ (2) 5/16" Ø HOLES @ 4" AND 1/4" FINIS @ EACH END AND @ 8", FASTEN TO WALL W/ (2) SDS25312Z @ 16" INTO <E> FRAMING -TYP

<N> 1.3x3x 7/16" WALL BRACKET FASTENED TO <E> WALL FRAMING W/ 1/2" Ø x 4" LAG BOLT, SEE SECTIONS FOR MORE INFORMATION -TYP (4) LOCATIONS

INSTALL <N> 1/2" Ø LAG BOLTS AS NEEDED WHERE <E> MEMBERS ARE MISSING BOLTS -TYP

INDICATES <E> TREADS TO BE REMOVED AND REPLACED WITH W/ 6 3/16" x 2'-0" GW100 STEEL STAIR TREADS, 1" x 3/16" BEARING BARS SPACED @ 1 3/16" W/ CROSS BARS SPACED @ 4", SHOP COAT BLACK -TYP

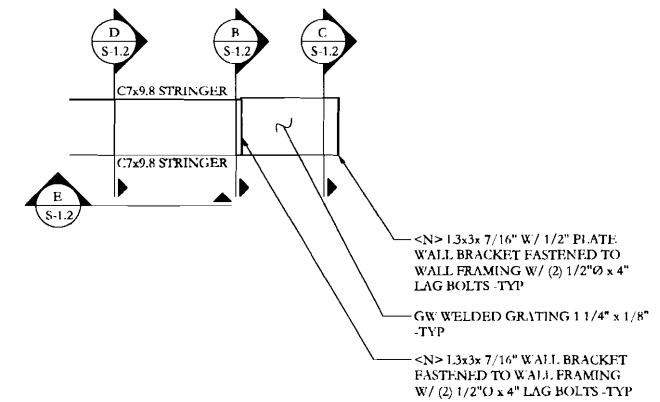
REMOVE DAMAGED TREAD BEARING ANGLES TO THRU BOLT NEW TREADS -TYP

1/2" Ø GALV WEDGE ANCHOR @ EXISTING STAIR TO NEW LANDING PAD

24" SQ x 6" DEEP TRENCHFORMED LANDING PAD W/ (2) #4 EACH WAY AT MID DEPTH -TYP

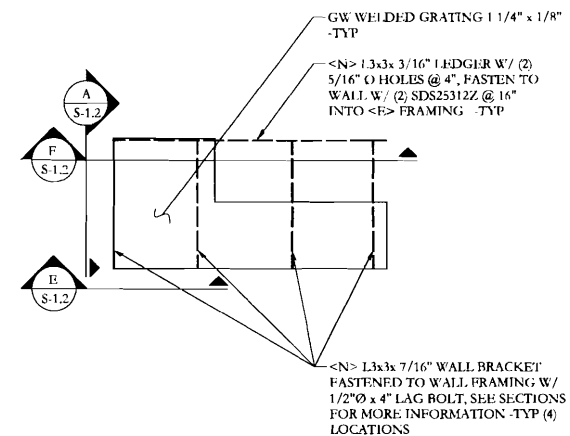
WEST ELEVATION

- NOTES: SCALE 1/4"=1'-0"
1. ALL NEW STEEL SHALL HAVE (1) COAT OF PRIMER AND (2) COATS BLACK ENAMEL -TYP UNO
 2. CONTRACTOR RESPONSIBLE FOR ALL PATCHING AND REWORKING REQUIRED FOR THE INSTALLATION OF BACK-UP FRAMING/ BLOCKING.
 3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS NECESSARY FOR STEEL FABRICATION TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.
 4. ALL BAR GRATE TO BE WELDED TO SUPPORTS -TYP



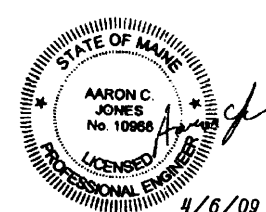
FOURTH FLOOR LANDING

- NOTES: SCALE 1/4"=1'-0"
1. ALL NEW STEEL SHALL HAVE (1) COAT OF PRIMER AND (2) COATS BLACK ENAMEL -TYP UNO
 2. CONTRACTOR RESPONSIBLE FOR ALL PATCHING AND REWORKING REQUIRED FOR THE INSTALLATION OF BACK-UP FRAMING/ BLOCKING.
 3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS NECESSARY FOR STEEL FABRICATION TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.
 4. ALL BAR GRATE TO BE WELDED TO SUPPORTS -TYP



THIRD FLOOR LANDING

- NOTES: SCALE 1/4"=1'-0"
1. ALL NEW STEEL SHALL HAVE (1) COAT OF PRIMER AND (2) COATS BLACK ENAMEL -TYP UNO
 2. CONTRACTOR RESPONSIBLE FOR ALL PATCHING AND REWORKING REQUIRED FOR THE INSTALLATION OF BACK-UP FRAMING/ BLOCKING.
 3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS NECESSARY FOR STEEL FABRICATION TO ENGINEER FOR REVIEW PRIOR TO FABRICATION.
 4. ALL BAR GRATE TO BE WELDED TO SUPPORTS -TYP



Structural Integrity
Consulting Engineers, Inc.

77 Oak Street
Portland, ME, 04101
p. 207-774-4614
f. 866-793-7835
www.structuralintg.com

BUILD WITH CONFIDENCE

© 2008 Structural Integrity Consulting Engineers, Inc.

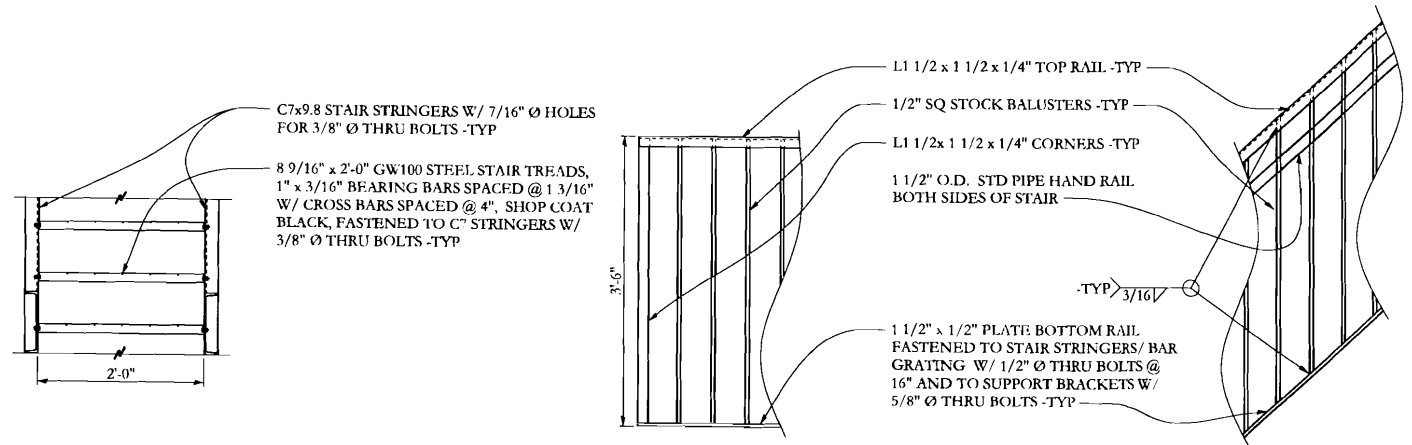
SI#08-0059

MICHAEL CHAREK ARCHITECTS
PORTLAND, MAINE

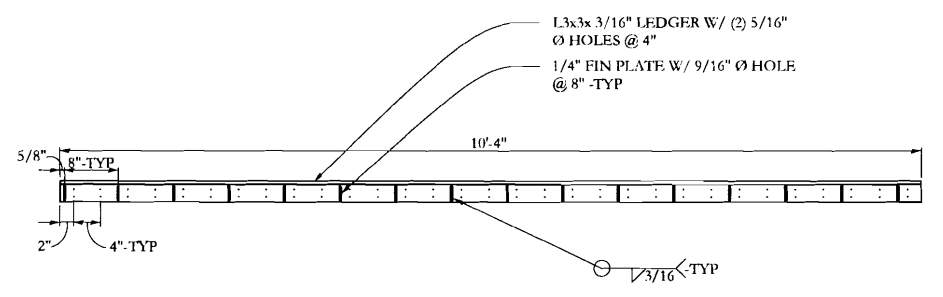
FIRE ESCAPE REPAIR AND RENOVATION
147 PLEASANT AVENUE
PORTLAND, ME 04103

ELEVATION/PLANS

BY	CKD	SCALE	1/4"=1'-0"	DATE	4/6/09
JOB NO.	2008.29	DWG.	S-1.1		

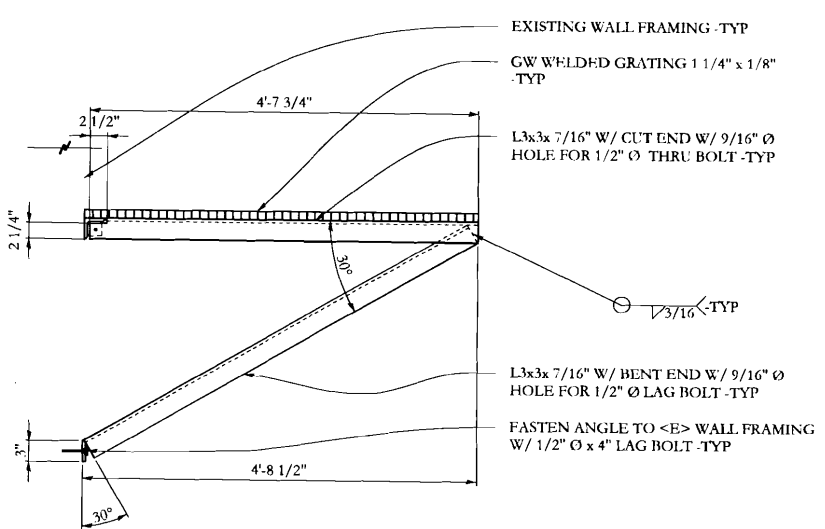


SECTION **D** S-1.2 3/4"=1'-0

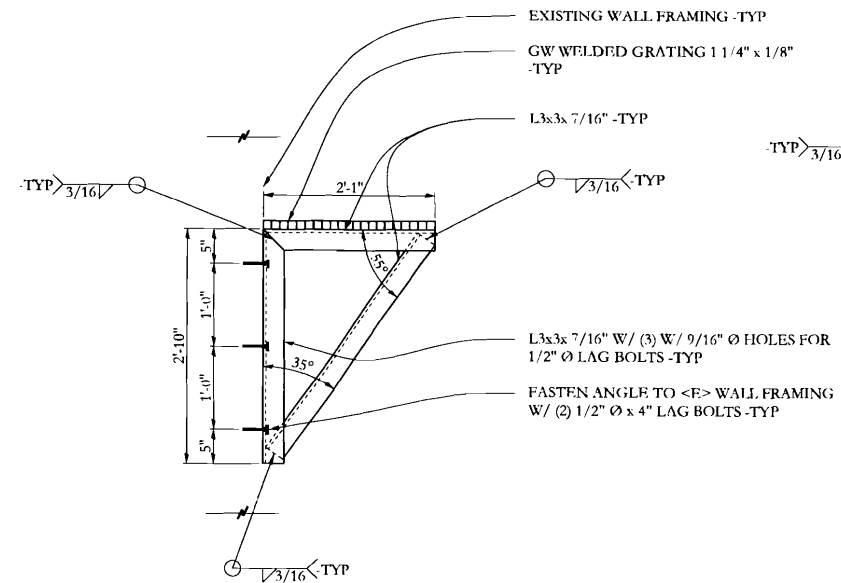


SECTION **F** S-1.2 3/4"=1'-0

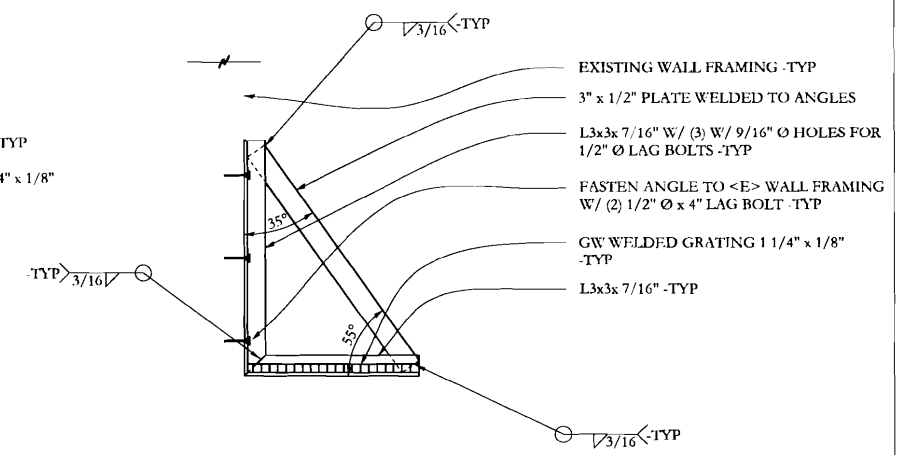
SECTION **E** S-1.2 3/4"=1'-0



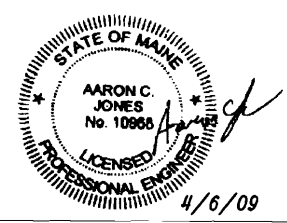
SECTION **A** S-1.2 3/4"=1'-0



SECTION **B** S-1.2 3/4"=1'-0



SECTION **C** S-1.2 3/4"=1'-0



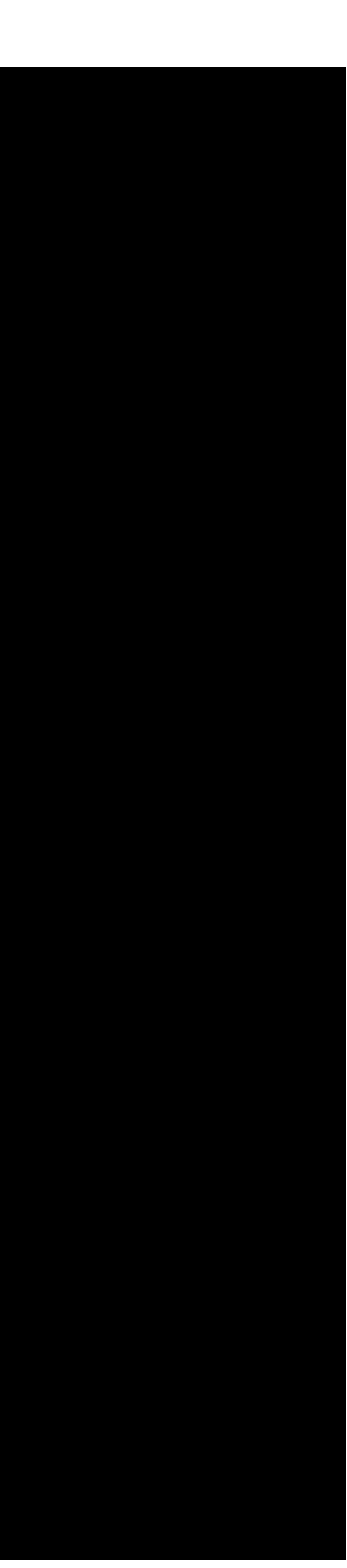
Structural Integrity
Consulting Engineers, Inc.

77 Oak Street
Portland, ME, 04101
p. 207-774-4614
f. 866-793-7835
www.structuralintg.com

BUILD WITH CONFIDENCE
© 2009 Structural Integrity Consulting Engineers, Inc.

SI#08-0059

MICHAEL CHAREK ARCHITECTS PORTLAND, MAINE			
FIRE ESCAPE REPAIR AND RENOVATION 147 PLEASANT AVENUE PORTLAND, ME 04103			
SECTIONS			
BY	CKD	SCALE	DATE
		3/4"=1'-0"	4/6/09
JOB NO.	2008.29	DWG.	S-1.2



**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW**

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.