

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED
Permit Number: 100479
JUN 2 2010
CITY OF PORTLAND

This is to certify that REYNOLDS JULIE & DAVID GEITS Home Improvement
has permission to Raise roof on back half of house
AT 35 MACKWORTH ST CE 1139 D007001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

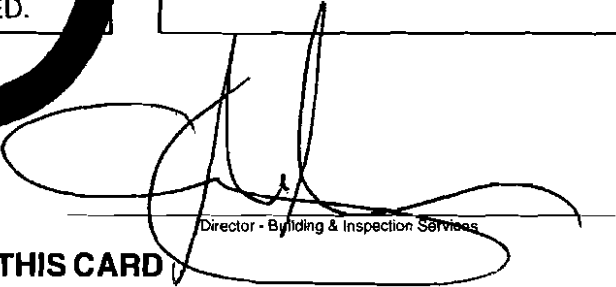
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0479	Issue Date:	CBL: 139 D007001
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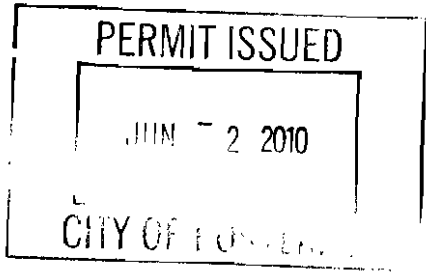
Location of Construction: 35 MACKWORTH ST	Owner Name: REYNOLDS JULIE & DAVID PA	Owner Address: 35 MACKWORTH ST	Phone:
Business Name:	Contractor Name: Scotts Home Improvement	Contractor Address: 53 Boynton Road Buxton	Phone 2075905039
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Raise roof on back half of house	Permit Fee: \$240.00	Cost of Work: \$22,000.00	CEO District: 4	11,754 [#]
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Proposed Project Description: Raise roof on back half of house	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 05/06/2010	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> 1A-436(b) using <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> 162 of The 80% EXPANSION allowed <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>NS 5/14/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0479	Date Applied For: 05/06/2010	CBL: 139 D007001
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Location of Construction: 35 MACKWORTH ST	Owner Name: REYNOLDS JULIE & DAVID PA	Owner Address: 35 MACKWORTH ST	Phone:
Business Name:	Contractor Name: Scotts Home Improvement	Contractor Address: 53 Boynton Road Buxton	Phone (207) 590-5039
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Raise roof on back half of house	Proposed Project Description: Raise roof on back half of house
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/11/2010

Note: using 14-436(b) - using 16% of the 80% allowed for expansion

Ok to Issue: ✓

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 05/28/2010

Note:

Ok to Issue: ✓

- 1) The minimum ceiling height shall be 7'-0".
- 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

5.6.2010

Received from Julie Reynolds

Location of Work 25 Mackworth St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 240

Building (B) _____ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 139-D-7

Check #: 0661 Total Collected \$ 240

**No work is to be started until permit issued.
Please keep original receipt for your records.**

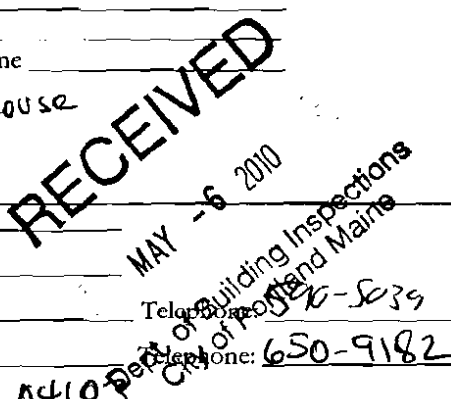
Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 Mackworth St.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>139</u> Block# <u>D</u> Lot# <u>7</u>		Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>David Page</u> Address <u>35 Mackworth St.</u> City, State & Zip <u>Portland, ME 04103</u>
Lessee/DBA (If Applicable)		Telephone: <u>207-650-9182</u>
Owner (if different from Applicant) Name Address City, State & Zip		Cost of Work: \$ <u>22,000</u> C of O Fee: \$ Total Fee: \$ <u>240⁰⁰ / 100</u>
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? Proposed Specific use: <u>Single family</u> Is property part of a subdivision? <u>No</u> If yes, please name Project description: <u>Raise roof on back half of house</u>		
Contractor's name: <u>Scott's Home Improvement</u> Address: <u>53 Boynton Rd</u> City, State & Zip: <u>Buxton ME 04093</u>		
Who should we contact when the permit is ready: <u>David Page</u>		
Mailing address: <u>35 Mackworth St. Portland, ME 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874 8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/6/10

This is not a permit; you may not commence ANY work until the permit is issued

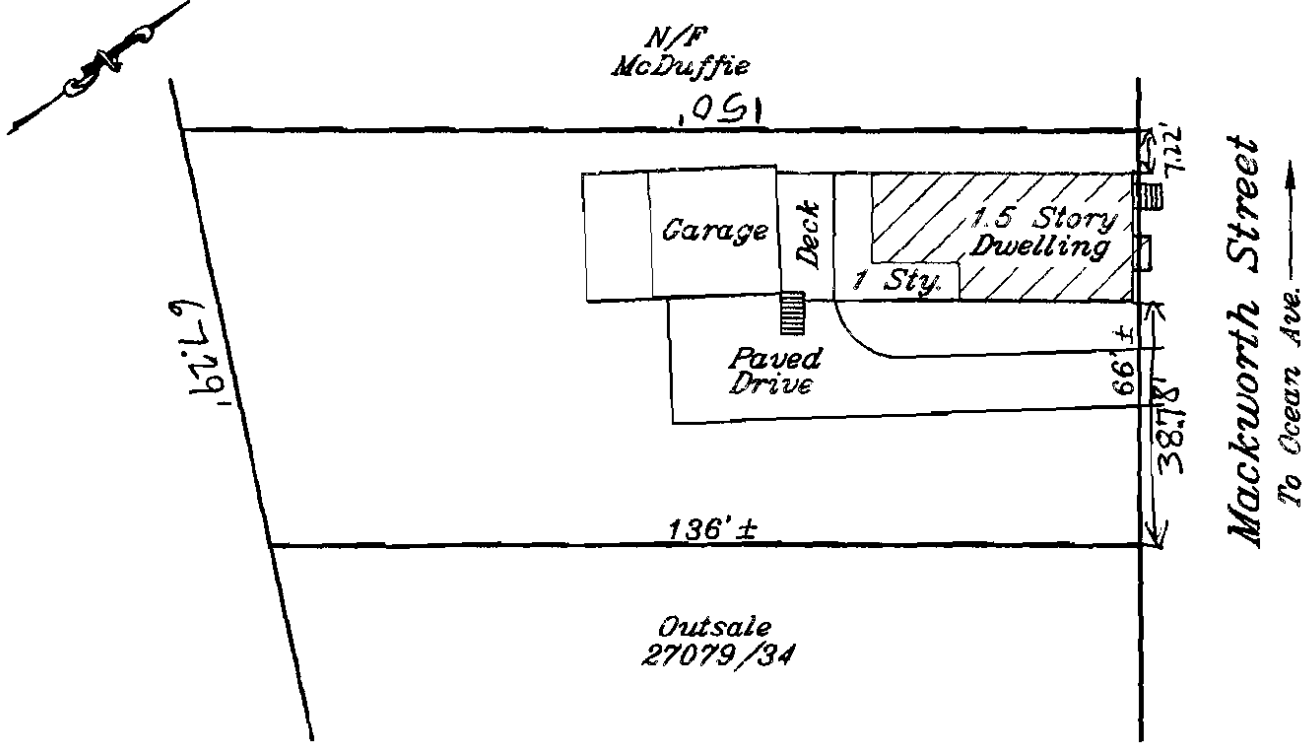
FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER AND IS NOT TO BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) TITLE OR OWNERSHIP NOT DETERMINED. (6) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, BASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, ENCROACHMENTS, AND/OR CONFLICTS WITH ADJUTER'S DEEDS. (7) LOCATION/EXISTENCE OF WETLANDS NOT DETERMINED UNLESS SHOWN ON A RECORDED SUBDIVISION PLAN.

REV. 09/22/2009

THIS SKETCH IS NOT TO BE USED FOR CONSTRUCTION PURPOSES. IMPROVEMENTS SHOWN ARE APPROXIMATE.

ADDRESS: 35 Mackworth Street INSP. DATE: 1/12/2010
Portland, Maine SCALE: 1" = 30'



TPB

SEE PROVIDED TITLE REFERENCES FOR APPURTENANCES, IF ANY.

APPLICANT: D. Page & J. Reynolds FILE#: 20922518
 OWNER: Linda Umbel CLIENT#: 4167-09
 LENDER: _____
 REQ. PARTY: Barter Title Company

TITLE REFERENCES: COUNTY: Cumberland
 DEED BOOK: 14034 PAGE: 95
 PLAN BOOK: 3 PAGE: 10 LOT: p/o 2

MUNICIPAL REFERENCE:
 MAP: 139 BLOCK: D LOT: 7

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA COMMUNITY MAP No. 230051 PANEL: 0007C
 ZONE: X DATE: 12/8/1998

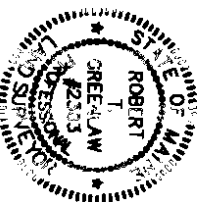
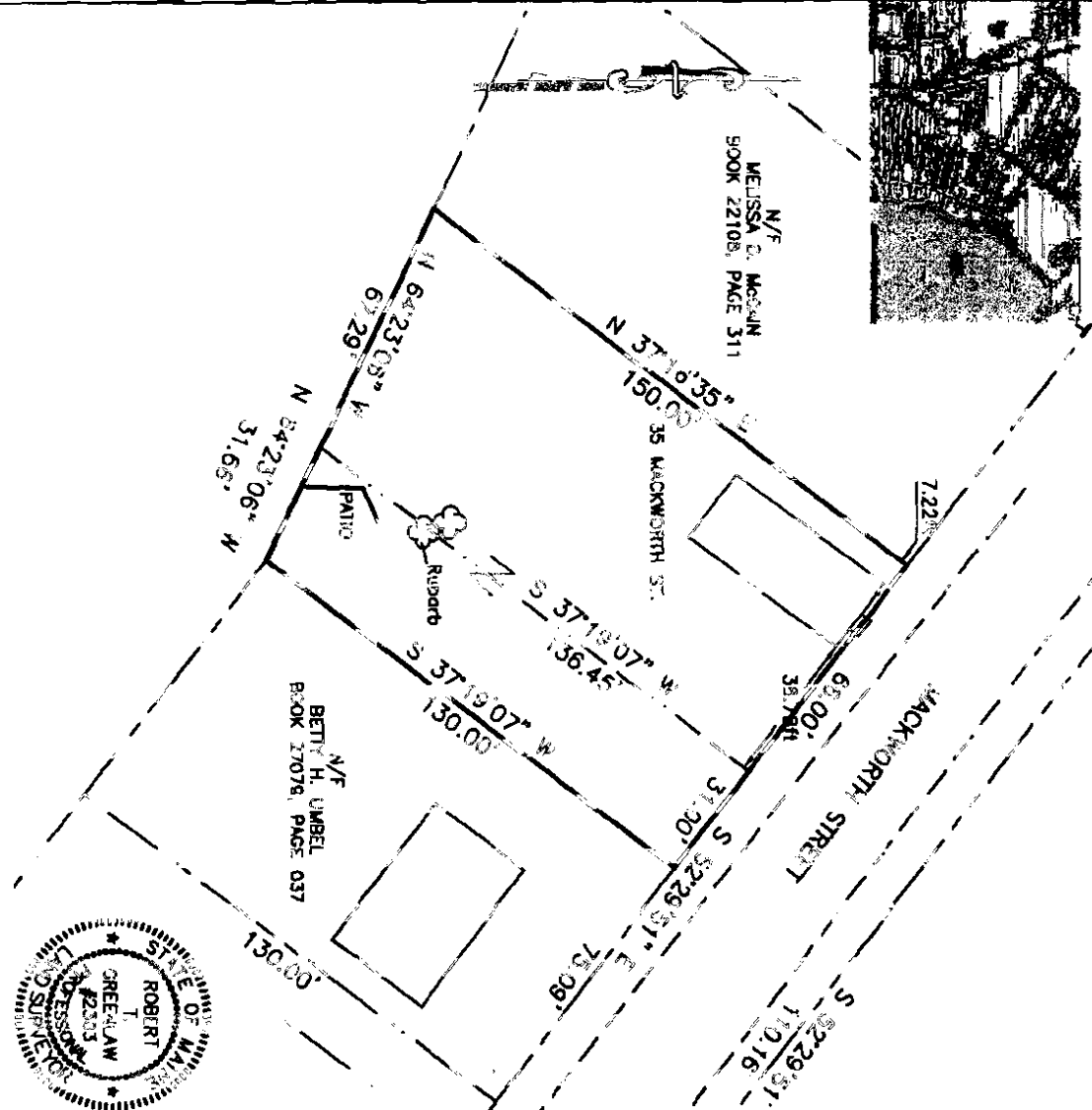
THE DWELLING WAS IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

James D. Nadeau, LLC
 Professional Land Surveyors
 Certified Floodplain Managers

[Signature]
 1-12-10

918 BRIGHTON AVE. PH.(207)878-7870
 PORTLAND, ME. 04102 F.(207)878-7871
 THIS INSPECTION IS VALID ONLY WITH AN EMBOSSED SEAL AND IS NULL & VOID 90 DAYS AFTER INSPECTION DATE.

THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING



GENERAL NOTES:

1. RETIRED OWNER OF PARCEL: LINDA C. UMBEL BOOK 14284 PAGE 008 AS RECORDED IN THE CLIMBERLAND COUNTY REGISTER OF DEEDS (C.C.R.D.).
 2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT: LEITZ SOLARIS-W SET 3 TOTAL STATION, LEITZ SOK 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
 3. AREA OF SUBJECT PARCEL: 13060.9 SQ. FT. 0.21 ACRES.
 4. THERE WERE NO AGREEMENT, EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
- ZONING: R-3 RESIDENTIAL
- MINIMUM LOT SIZE: 6,510 SQ. FT.
 MINIMUM AREA PER DWELLING UNIT: 6,500 SQ. FT.
 MINIMUM STREET FRONTAGE: 50 FT.
 MINIMUM YARD DIMENSIONS:
 FRONT - 25 FT. REAR - 25 FT.
 SIDE - 1-1/2 STORY: 8 FT. 2 STORIES: 14 FT.
 MINIMUM LOT COVERAGE: 20 FT.
 MINIMUM LOT WIDTH: 65 FT.
 MINIMUM BUILDING HEIGHT: 35 FT.

LEGEND

- OFF: 8 Dipped 5/8" Rebar Found
- RP: 0 Iron Pipe Found
- (Dist) Distance from reference
- Area or dead
- N/E New or Former
- U Utility Pole
- D Driveway Utility
- M Moulder Line
- Property Line
- Street Line
- 1 Corner Location
- 2 Iron Stake
- 12345/99 Dead Book/Probe of Local Fragility
- 1 Lot Number
- Edge of Trench/Way
- Setback Line
- Carbur Line
- Old Lot Line

SURVEYORS STATEMENT:

1. I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSED SURVEYORS PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2007 WITH THE FOLLOWING EXCEPTIONS:
2. NO WRITTEN REPORT
3. NO NEW DESCRIPTION
4. NO NEW CORNERS SET

ROBERT T. GREEN, LAND SURVEYOR, P.L.S., #22303

DATE: DECEMBER 29, 2009

PREPARED BY: OCEAN PARK LAND SURVEYING LLC
 P.O. BOX 7265
 OCEAN PARK, MAINE 04053
 207-748-8471
 OCEANPARKLLS@GMAIL.COM

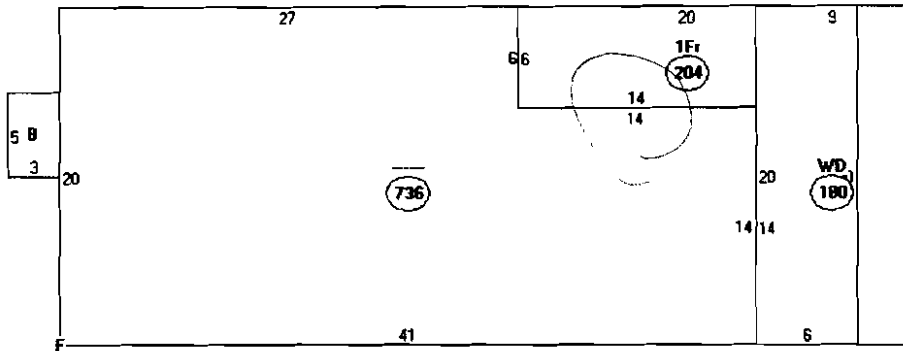
DRAWN BY: RYG
 CHECKED BY: LMB
 SCALE: 1"=30'
 DATE OF SURVEY: 08/12/2009
 JOB NUMBER: 2007079
 SHEET: 1 OF 1

PLAN FOR LAND EXCHANGE
 35 MACKWORTH STREET
 PORTLAND, MAINE 04103

FOR: LINDA C. UMBEL

not meeting front & side setbacks
 Required in R-3 Zone

Street
 entrance



Description/Area	Area
A: ---	736 sqft
B: FBAY/B	15 sqft
C: 1Fr	204 sqft
D: WD	180 sqft
E: RG1	400 sqft
F: RS1	200 sqft

736
 15
 204
 180
 400
 200

 1735 #

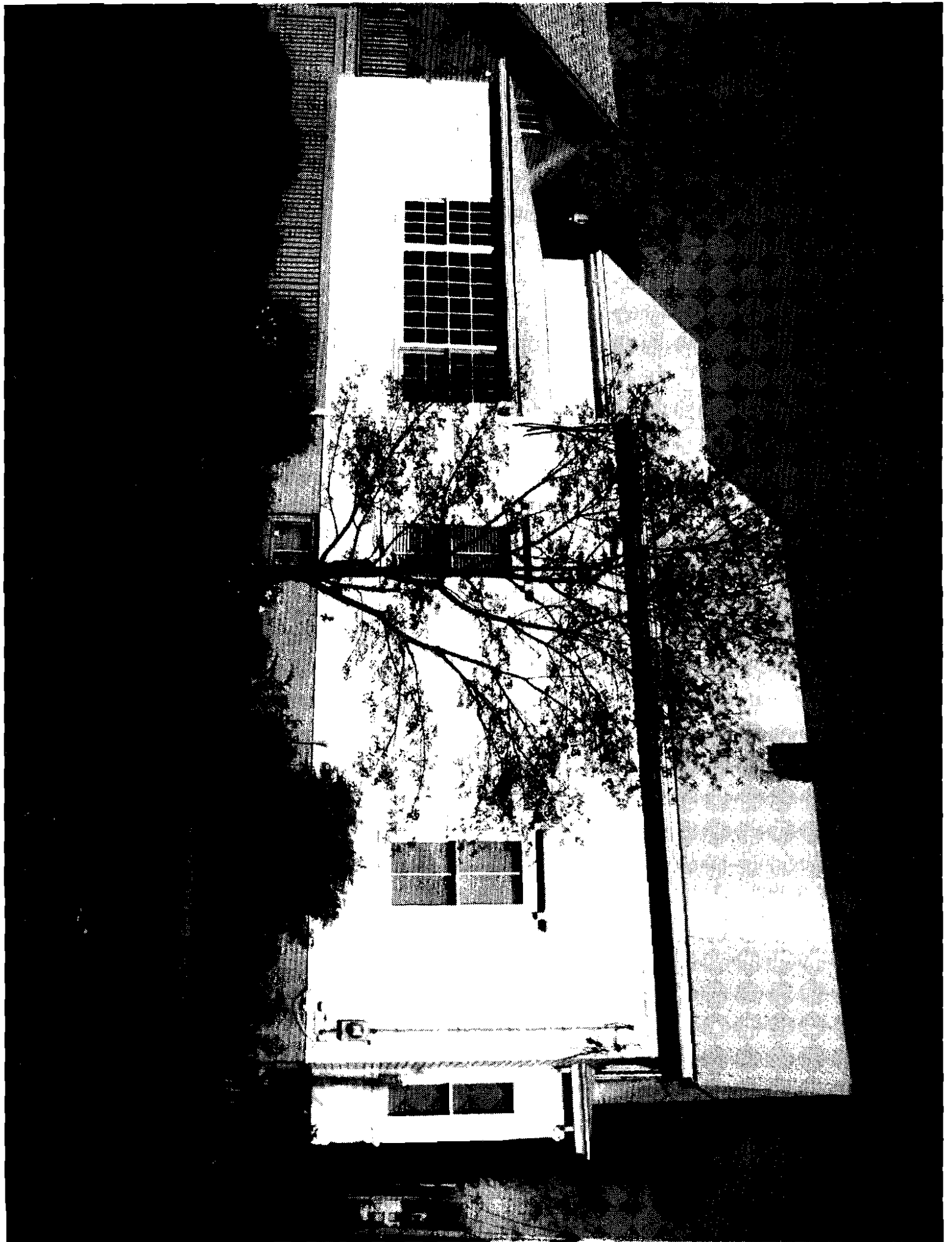
Lot size: 11,754 # - over R-3 min lot size of 6,500 #

14-436(b) using the 80% section

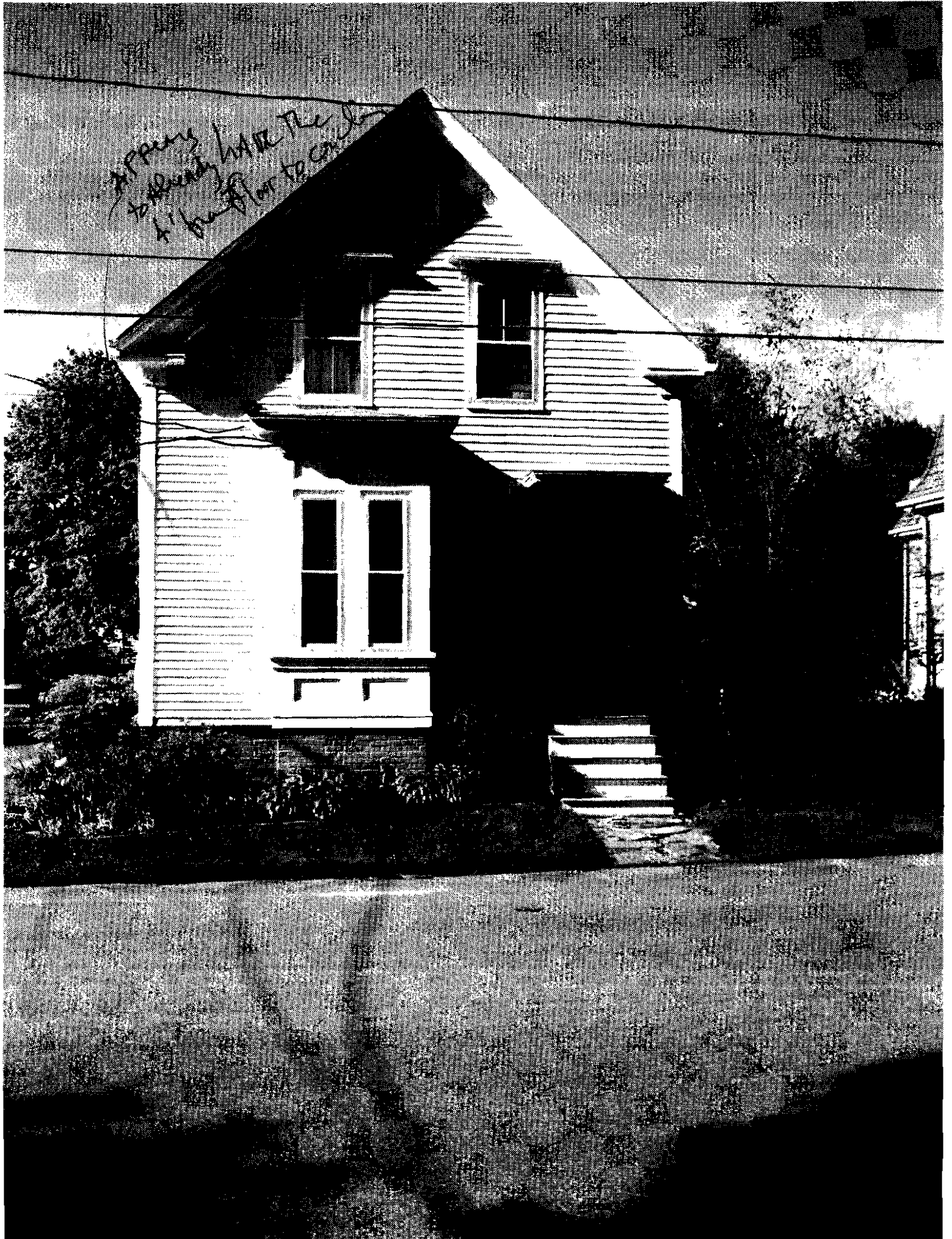
$1735 \# \times 80\% = 1388 \#$ allowable increase

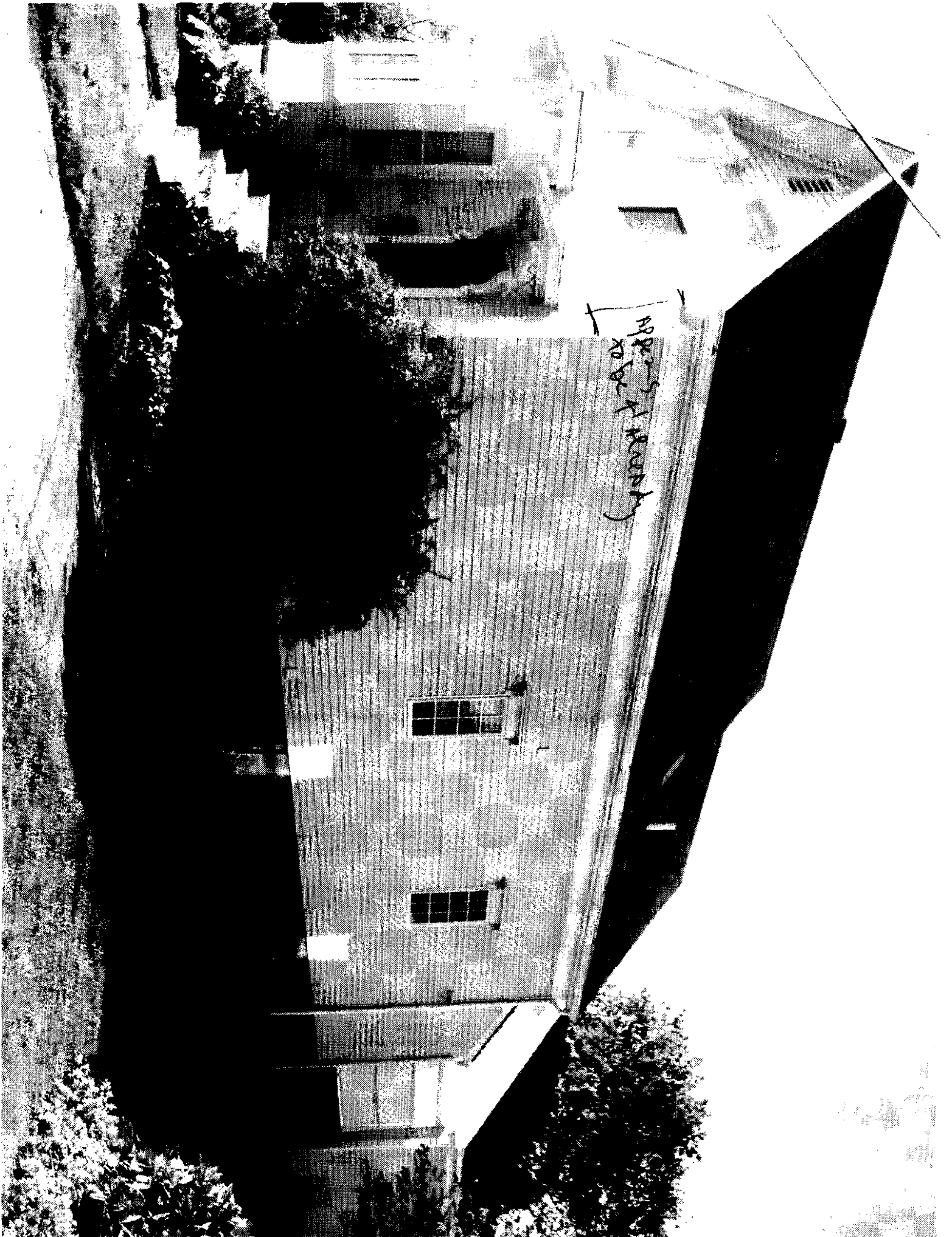
$14' \times 20' = 280 \# = 16\%$ increase of the 80% allowed
 $280 \div 1735$

I think this goes all the way to the edge of the bldg



Appears
to already have the
1st floor to be done





APPROX 5' x 10' (approx)

EXISTING ROOF / main house

20'

EXISTING CHIMNEY

13'

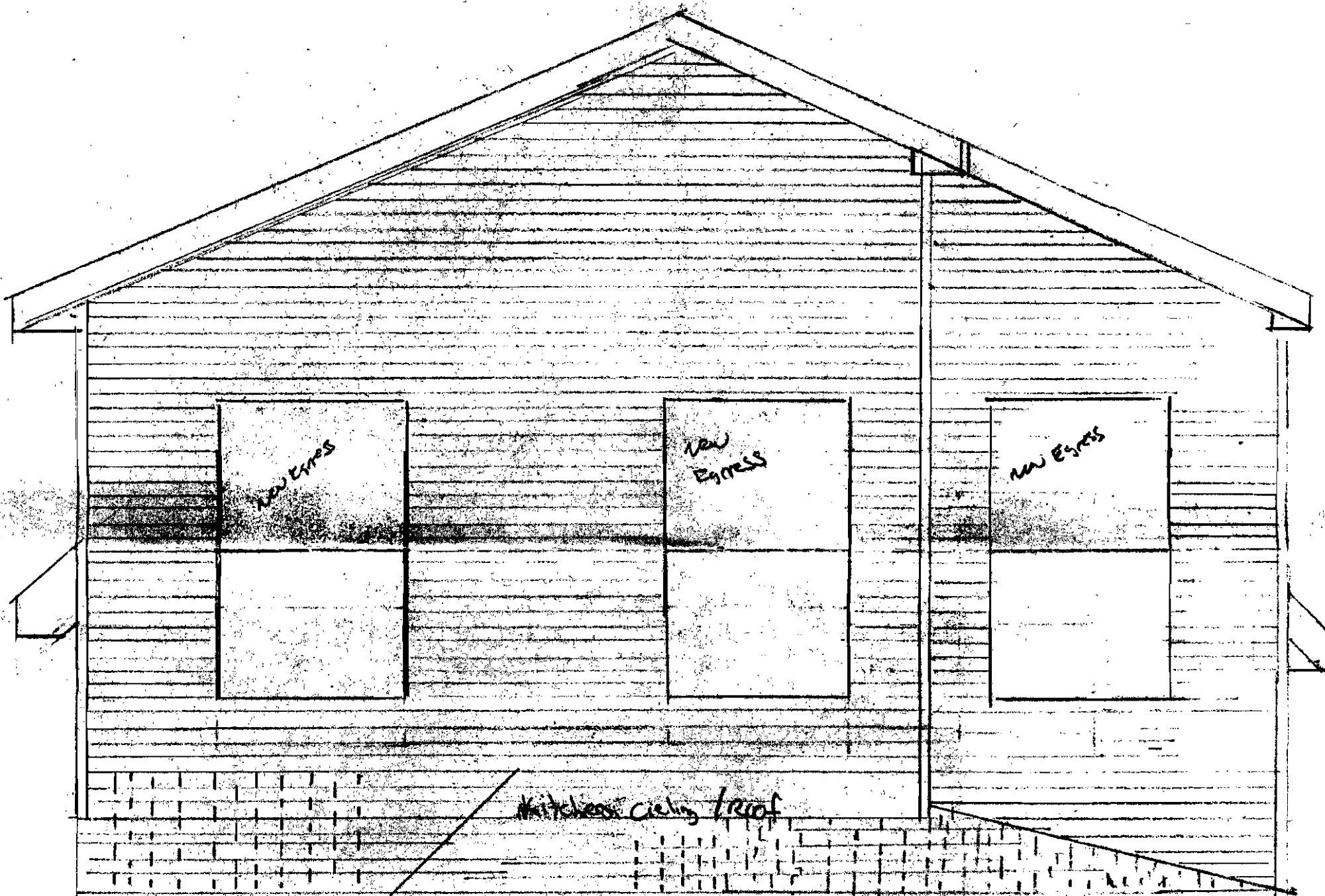
14'
EXISTING lower porch
ROOF

ROOF STRUCTURE FOR PROPOSED DECKERS / ROOF RAISING

Side view
Shows that the new
addition not all the
goes to the way to the edge?
edged wall

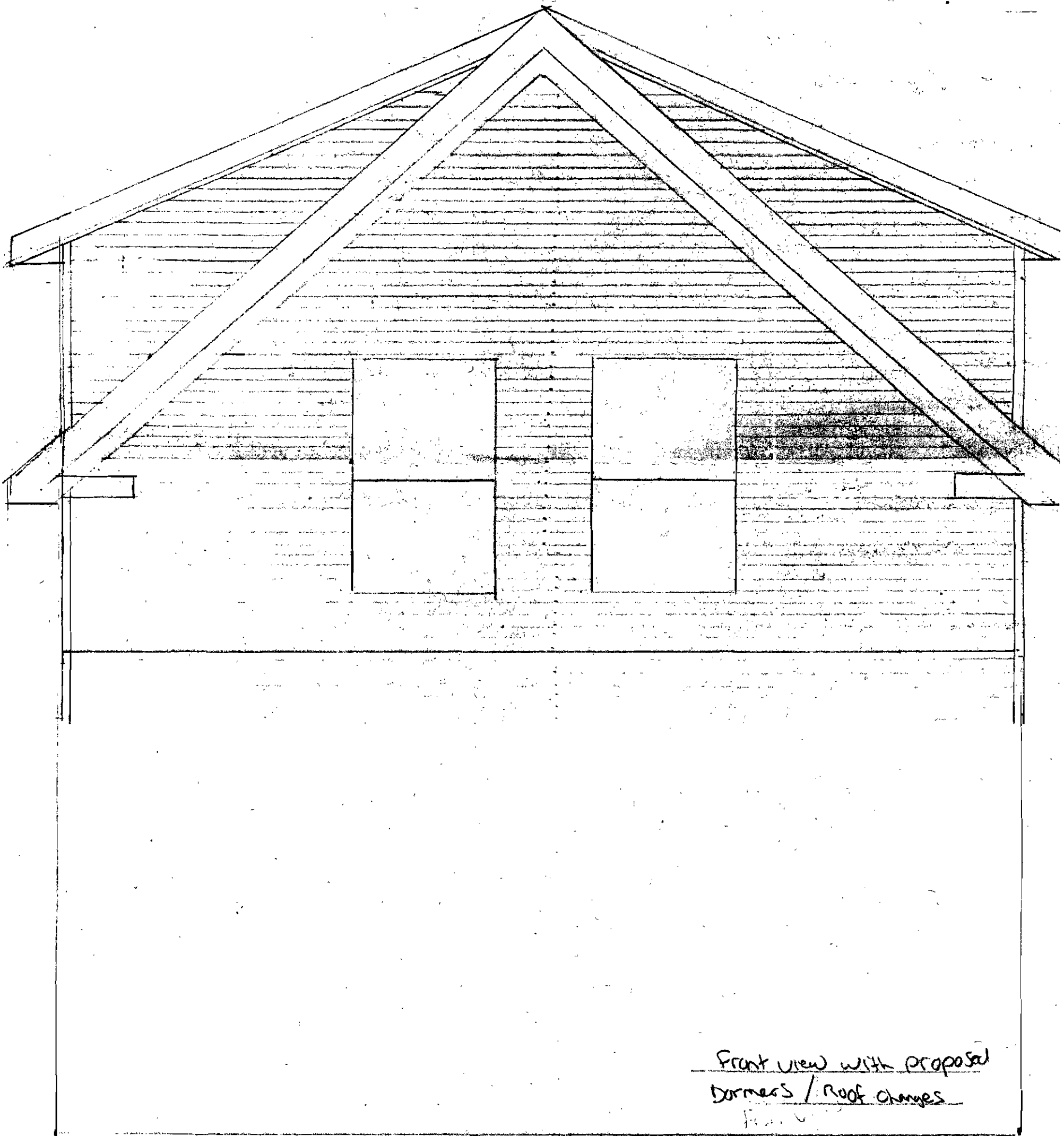
- ✓ 3/4" x 18" Parallam for Ridge Beam
- ✓ 2x10 Rafters 16" OC
- ✓ 5/8 plywood sheathing

- ✓ 2x6 wall studs 16" OC
- ✓ 1/2" wall sheathing
- ✓ Triple 2x8 Headers



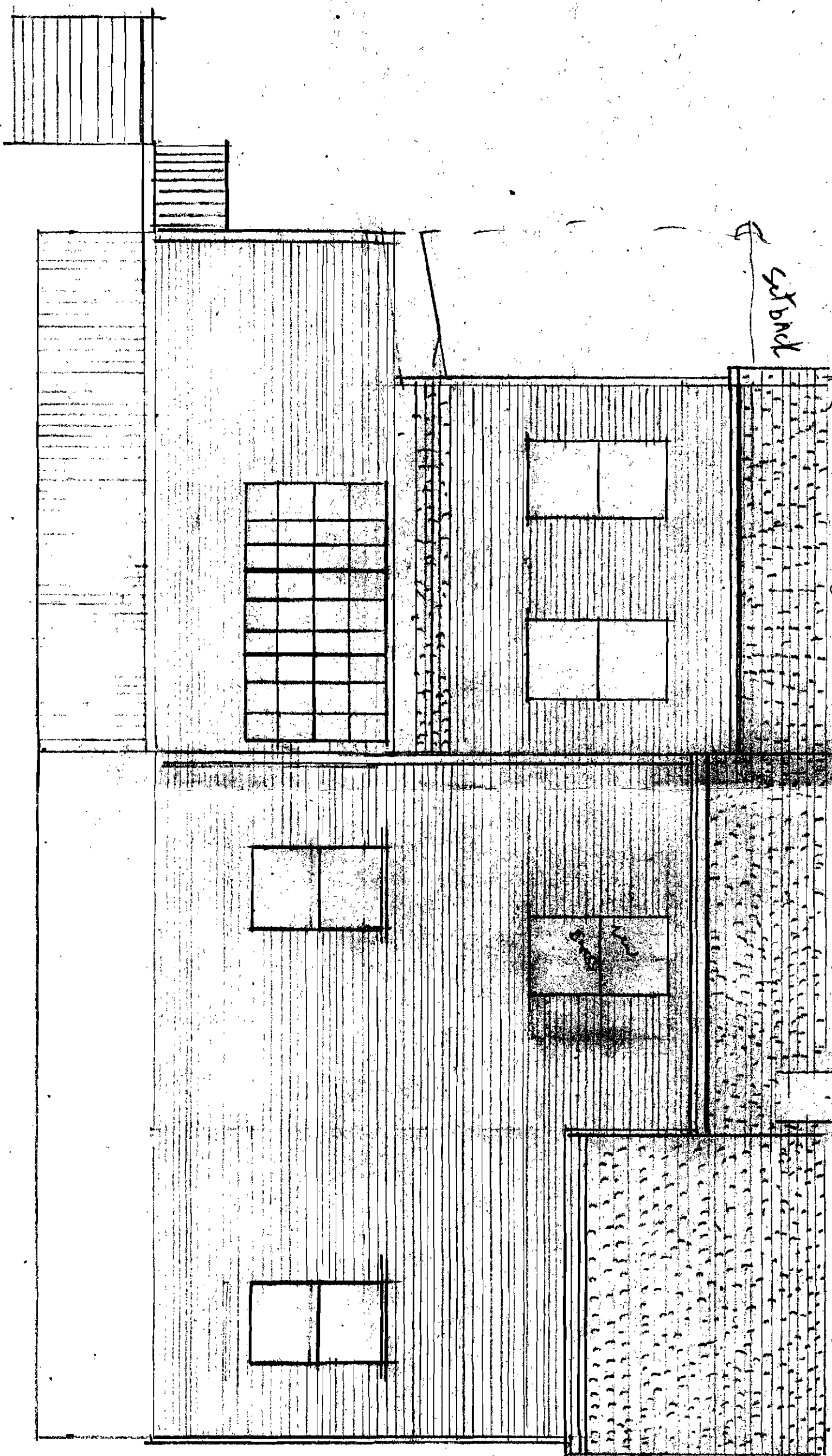
← APPEARS
to go out to the
edge of wall →

Rear view



Front view with proposed
Dormers / Roof changes

Figure 1



set back

Does not extend to All Plans
All the way roof below
edge of 14'

More floor space
Appears to have the
the 4' from floor to
the 4' from ceiling