

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

**PERMIT**

**PERMIT ISSUED**

This is to certify that NAKELL MARK I & EUGENIE W NAKELL 21 TREES/TR OCT 14  
has permission to Demolish existing 21' x 23' two-car garage, replace with 24' garage w/ office on second floor, widen driveway  
AT 26 MACKWORTH ST CE 139 C004001 City of Portland

provided that the person or persons, firm or corporation applying this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise changed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAP 12 Antoine

Water Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director, Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBC:
10-1190		139 C004001

Location of Construction: 76 MACKWORTH ST	Owner Name: NAKEIL MARK J & EUGENIE W	Owner Address: 76 MACKWORTH ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessor/Buyer's Name:	Phone:	Permit Type: Demolition - Building/Rebuild	Zone: R-3

Part Use: Single Family Home	Proposed Use: Single Family Home - Demolish existing 21' x 23' two-car garage replace w/ 24' x 24' garage w/ office on second floor, widen driveway	Permit Fee:	Cost of Work: \$45,000.00	CDD District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Condition	INSPECTION: Use Group: R-3 Type: S-0 IRC, 2003	

Proposed Project Description: Demolish existing 21' x 23' two-car garage replace w/ 24' x 24' garage w/ office on second floor, widen driveway	Signature: <i>KG</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 09/23/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Map <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>9/23/10</i> <i>[Signature]</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	<p><b>PERMIT ISSUED</b></p> <p>OCT 14 2010</p> <p>City of Portland</p>		

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: boildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

**PERMIT ISSUED**

**OCT 14 2000**

**City of Portland**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
10-1190	09/23/2010	139 C004001

Location of Construction: 76 MACKWORTH ST	Owner Name: NAKELL MARK J & EUGENIE W	Owner Address: 76 MACKWORTH ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessor/Buyer's Name	Phone:	Permit Type: Demolition - Building/Rebuild	

Proposed Use: Single Family Home - Demolish existing 21' x 23' two-car garage replace w/ 24' x 24' garage w/ office on second floor, widen driveway	Proposed Project Description: Demolish existing 21' x 23' two-car garage replace w/ 24' x 24' garage w/ office on second floor, widen driveway
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 09/23/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) This permit is being issued with the condition that the new office is a home office only for personal use. It cannot be used to conduct a business out of the home without a separate permit application.			
2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.			
3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status:	Reviewer: Jonathan Rioux	Approval Date: 10/14/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.			
3) Fastener schedule per the IRC 2003			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 10/14/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter will be required at the time of final inspection.			

**Comments:**

10/15/2010-jrioux: Contacted Homeowner i.e. Floor framing and stair detail, and collar ties.

10/25/2010-jrioux: Received floor framing detail and header spans.

**PERMIT ISSUED**

OCT 14 2010

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>76 HACKWORTH ST</u>			
Total Square Footage of Proposed Structure/Area <u>1,152</u>		Square Footage of Lot <u>11,646</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>139</u> Block# <u>C</u> Lot# <u>4</u>	Applicant <u>must</u> be owner, Lessee or Buyer* Name <u>MARK J. NAKELL/EUGENIE W. NAKELL, TRUSTEES</u> Address <u>76 HACKWORTH ST.</u> City, State & Zip <u>PORTLAND, ME 04103</u>		Telephone: <u>773-7742 (h)</u> <u>838-8978 (c)</u>
Lessee/DBA (If Applicable)	Owner (If different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>45,000</u> C of O Fee: \$ _____ Total Fee: \$ _____	
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: <u>REPLACE EXISTING GARAGE</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>DENOLISH EXISTING 21x23 TWO-CAR GARAGE, REPLACE WITH NEW 24x24 GARAGE WITH OFFICE ON SECOND FLOOR; WIDEN DRIVEWAY</u>			
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>GENIE NAKELL</u> Telephone: <u>773-7742 (H)</u> Mailing address: <u>76 HACKWORTH ST. 04103</u> <u>838-8978 (c)</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 115 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: Eugene Nakell Date: 9/22/10 SEP 23

Revised 09-26-08

This is not a permit; you may not commence ANY work until the permit is issued.

City of Building Inspections  
City of Portland Maine



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

7.23.2010

Received from

Mark Medall

Location of Work

16 Main St. 20th

Cost of Construction \$

Building Fee

Plumber Fee \$

Site Fee

Certificate of Occupancy Fee

Total

470

Building (B) — Plumbing (P) — Electrical (E) — Site Plan (S) —

Other

CS: 137-C-4

Check #

1150

Total

No work is to be started until permit issued.  
Please keep original receipt for your records.

Taken by

F. J. D.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

2x8 Collar Ties

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10" @ 16" O.C 12' 11" - 12' 4" 4' = 12'	① Collar ties added plan amended
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Roof 1/2"; Wall 7/16"; Floor 3/4"	
Fastener Schedule (Table R602.3(1) & (2))	per IRC, 2003	②
Private Garage (Section R309) Living Space? (Above or beside)  Fire separation (Section R309.2)  Opening Protection (Section R309.1)	1/2". 5/8" Gypsum - throughout 2 hour rated door shown	okay okay
Emergency Escape and Rescue Openings (Section R310)	N/A Not shown - Owner indicated will add	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	Tempered Glass shown	okay
Attic Access (Section R807)	22x30" shown	okay
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	(3) 2x10" w/c →	⑤ Needs specs
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U- Factor Fenestration		②

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
<b>STRUCTURAL</b>		
Footings Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" Wall 16" x 10" / Bolts	okay
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Not shown —>	⑦
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	Ties into exist.	
Anchor Bolts/Straps, spacing (Section R403.1.6)	(3) <del>2x10"</del>	
Lally Column Type (Section R407)	(3) 2x10"	
Girder & Header Spans (Table R502.5(2))	5/4 x 12 LVL Garage	
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	wood framing (okay)	spec needed
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))		④ Need specs.
Attic or additional Floor Joist Species Dimensions and Spacing (Table R502.4(1) and R502.4(2))		



Type of Heating System	/	
<b>Means of Egress (Sec R311 &amp; R312)</b>		
Basement		
Number of Stairways		
Interior	Through existing dwelling	
Exterior		
Treads and Risers (Section R311.5.3)		
Width (Section R311.5.1)	/	
Headroom (Section R311.5.2)		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)		
Smoke Detectors (Section R313) Location and type/Interconnected	Appl. to only 1st & 2nd floor	OK
Draftstopping (Section R502.12) and Fireblocking (Section R602.9)		
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	/	
Deck Construction (Section R502.2.1)	/	

Allowable Stress Design--100% Load Duration

[illegible][illegible]

1300N

RECEIVED

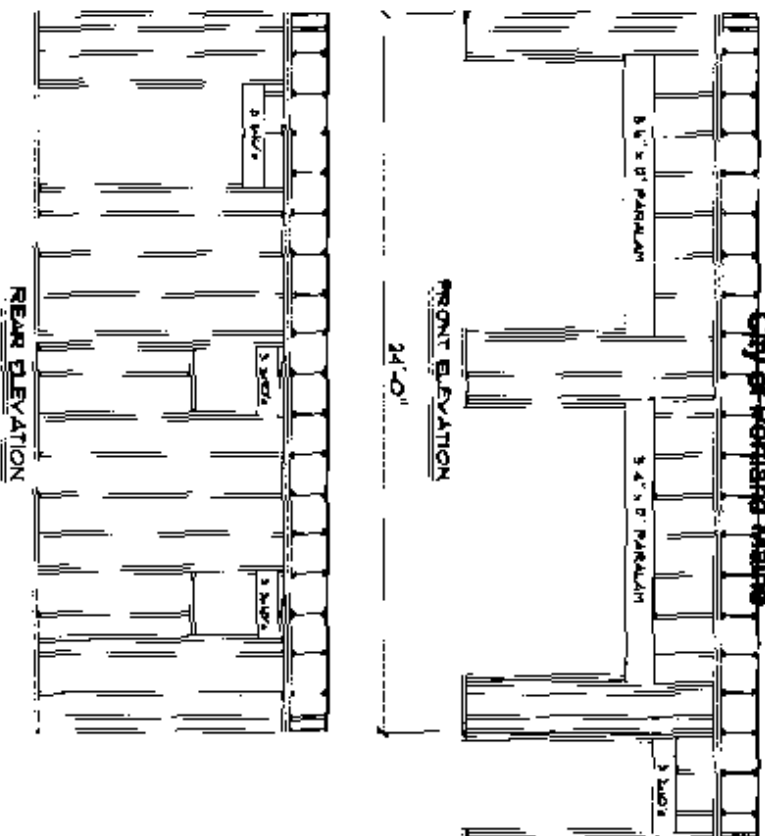
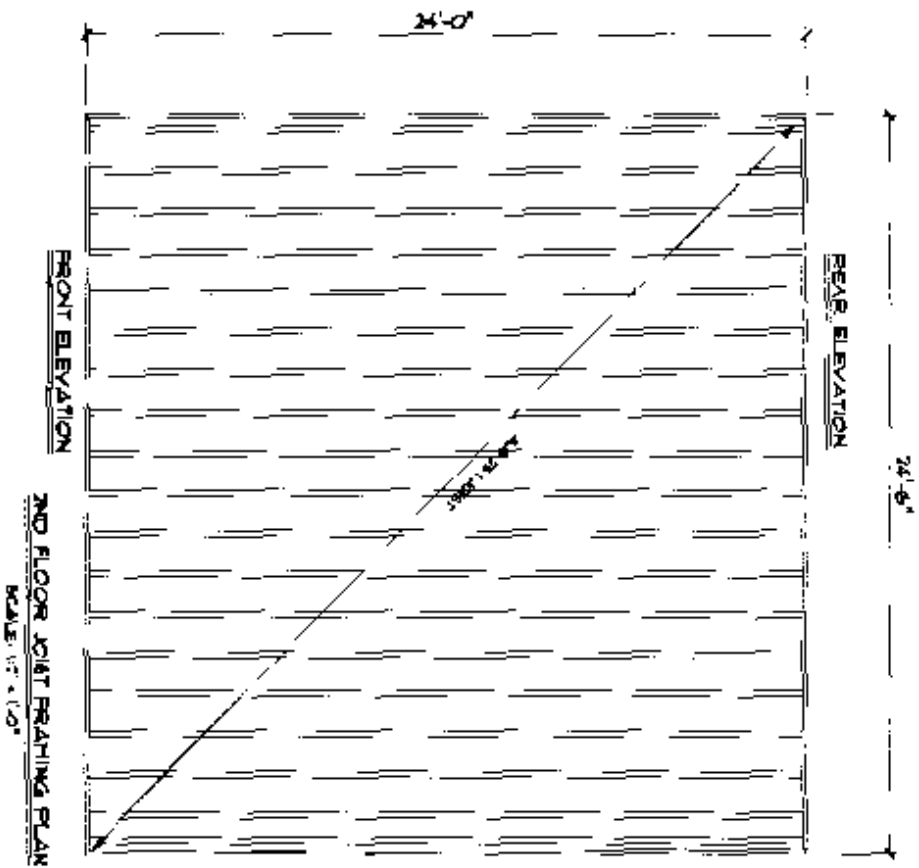
OCT 21 2010

**Dept. of Building Inspections  
City of Portland Maine**

RECEIVED

OCT 21 2010

Dept. of Building Inspection  
City of Portland Maine



NAKELL ADDITION  
15 MACKWORTH STREET  
PORTLAND, MAINE

**Lannie Dobson - RE: Addr: 76 MACKWORTH ST Parcel ID: 139 C004001 Dist: 4**

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**From:** "Bellemare, Richard" <bellemare@unitil.com>  
**To:** "Lannie Dobson" <LDobson@portlandmaine.gov>  
**Date:** 10/28/2010 10:08 AM  
**Subject:** RE: Addr: 76 MACKWORTH ST Parcel ID: 139 C004001 Dist: 4  
**CC:** "Jonathan Rioux" <JRIOUX@portlandmaine.gov>

---

Hi Lannie

This site has been cleared, ok to issue permit

Rick Bellemare  
Distribution Supervisor  
Unitil/Northern Utilities  
207-541-2504  
Cell # 207-252-0488  
bellemare@unitil.com

---

**From:** Lannie Dobson [mailto:LDobson@portlandmaine.gov]  
**Sent:** Wednesday, October 27, 2010 9:11 AM  
**To:** Bellemare, Richard  
**Cc:** Jonathan Rioux  
**Subject:** Addr: 76 MACKWORTH ST Parcel ID: 139 C004001 Dist: 4

We are ready to issue a permit for Demolition of a Garage at 76 Mackworth St. Is there any gas services that needs to be suspended? Thank you, Lannie Dobson

Date: 10/27/2010 Time: 6:00:00 AM

Addr: 76 MACKWORTH ST Parcel ID: 139 C004001

Application Type: Prmt  
Application ID: 101149

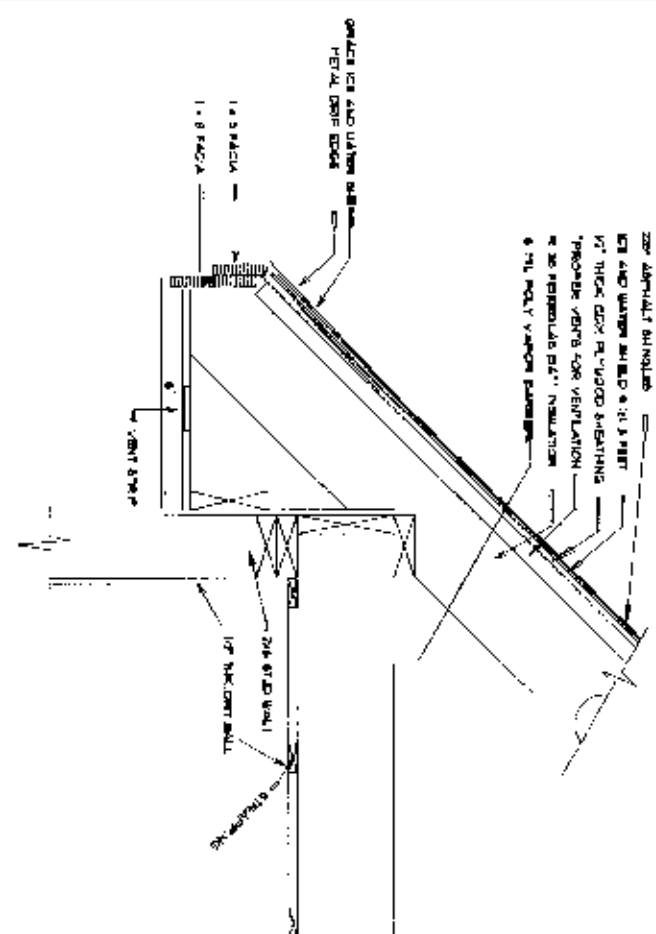
Contact:  
Phone1: Phone2:

Owner Name: NAKELL MARK J & EUGENIE W NAKELL TRUSTEES  
Owner Addr: 76 MACKWORTH ST  
PORTLAND, ME 04103



[illegible][illegible][illegible]

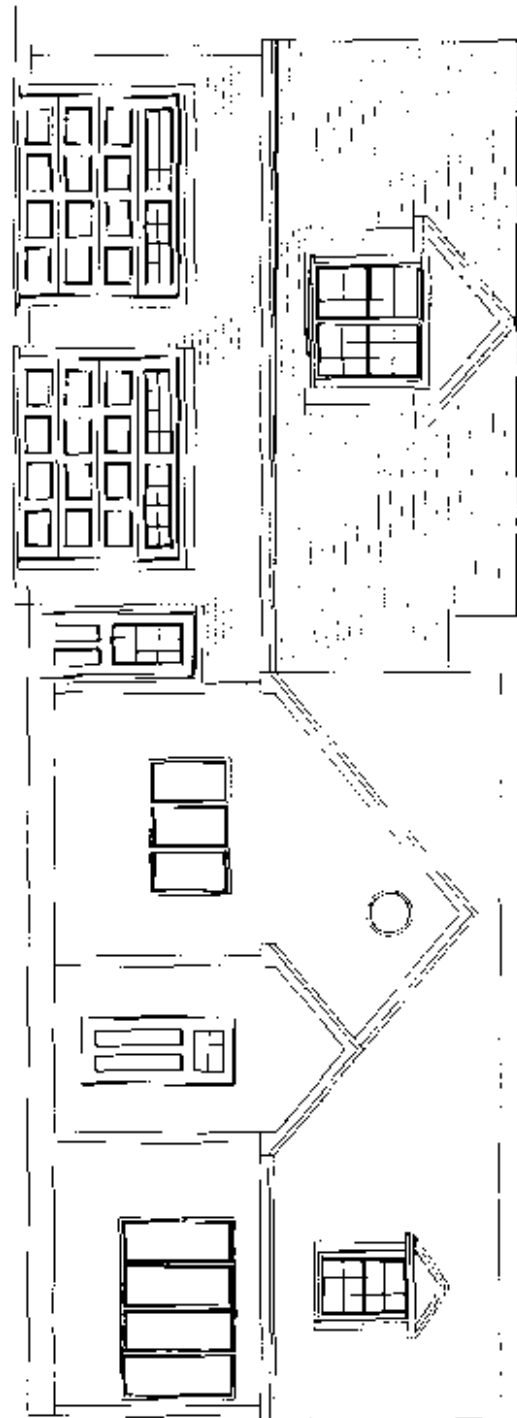
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[illegible]

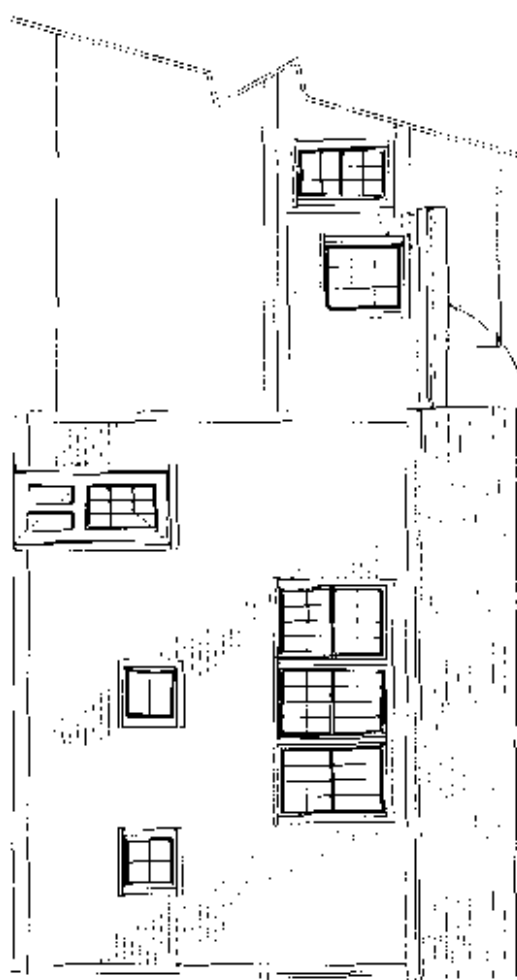
NAKELL ADDITION  
75 MACKWORTH STREET  
PORTLAND, MAINE

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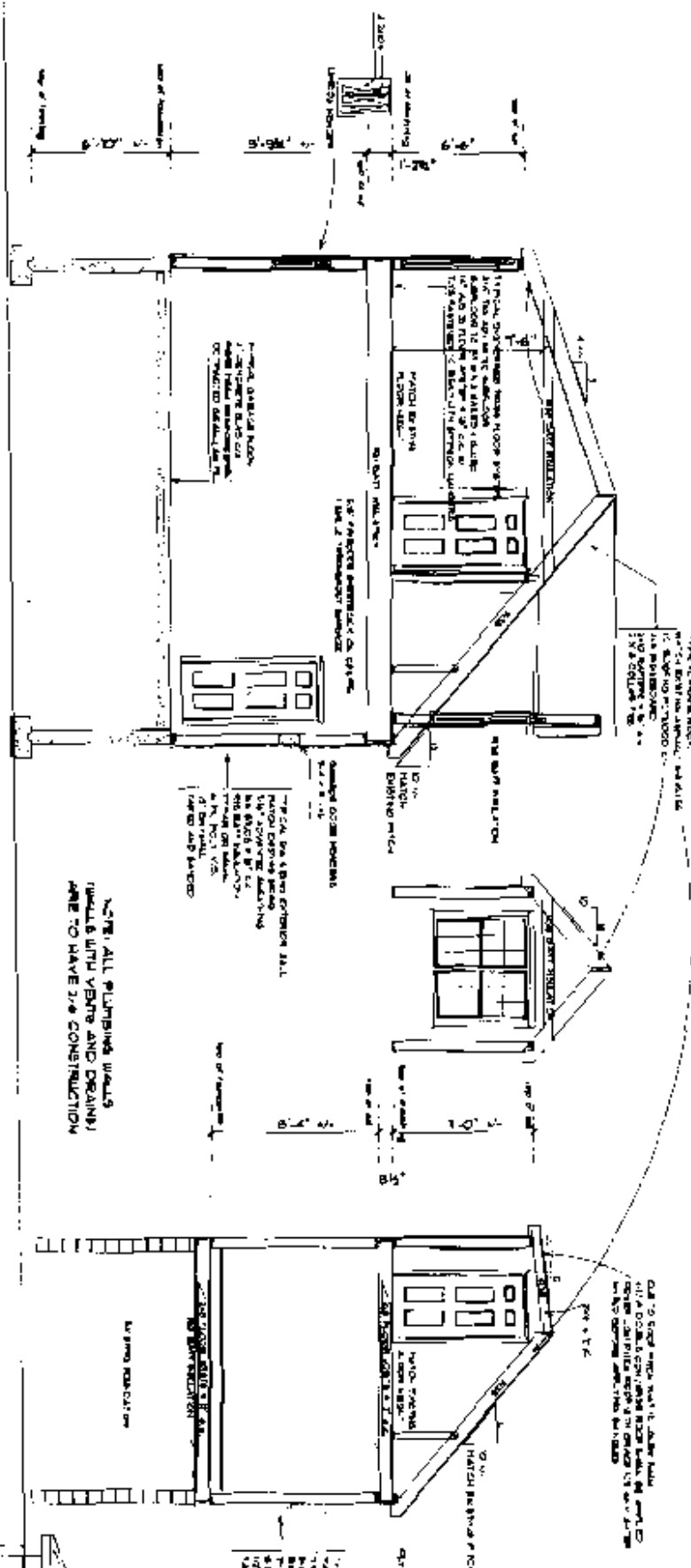




FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: ALL WINDOWS  
U-FACTOR = .31

PROJECT NAME:

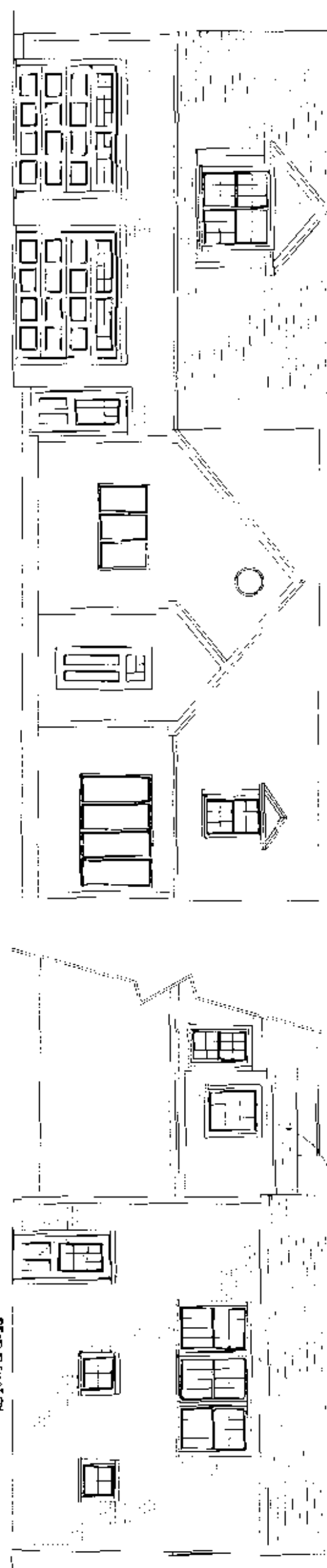
NAKELL ADDITION  
75 MACKWORTH STREET  
PORTLAND, MAINE

THIS DRAWING IS TO BE CONSIDERED ONLY AN APPROXIMATE GUIDE FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

CAPE COTTAGE HOME DESIGN

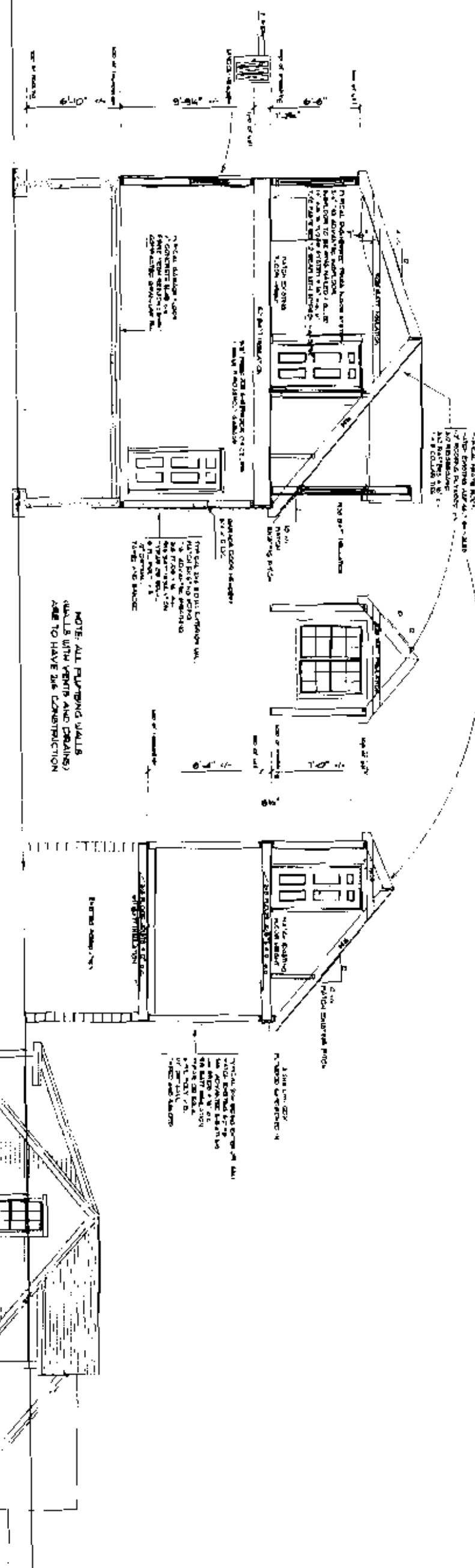






FRONT ELEVATION

REAR ELEVATION



LEFT ELEVATION

NOTE: ALL WINDOWS  
U-FACTOR = .31

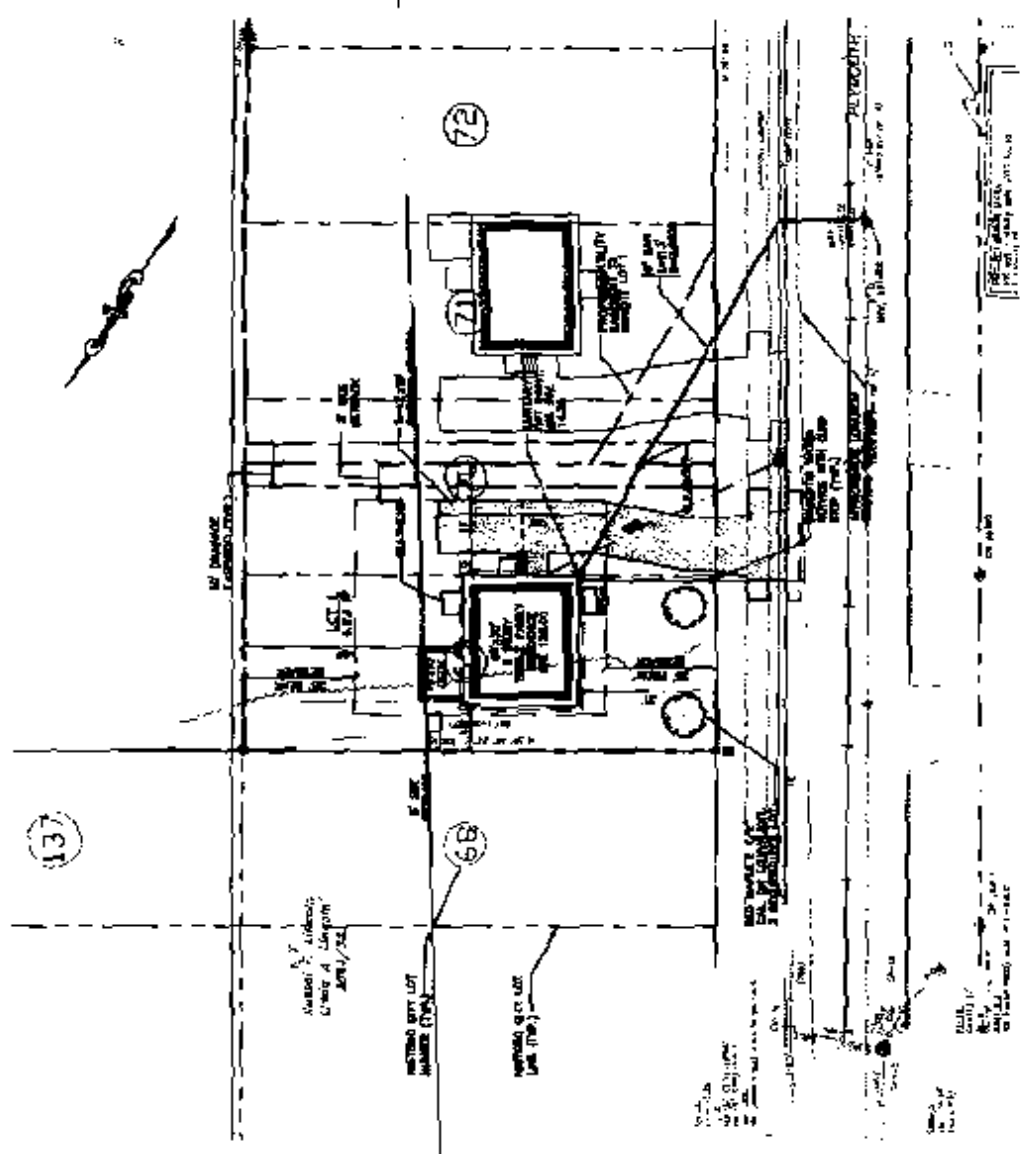
NOTE: ALL PLUMBING WALLS  
(WALLS WITH VENTS AND DRAINS)  
ARE TO HAVE 2x6 CONSTRUCTION

NO.	DATE	DESCRIPTION
1	10/1/10	10/1/10
2	10/1/10	10/1/10
3	10/1/10	10/1/10
4	10/1/10	10/1/10
5	10/1/10	10/1/10
6	10/1/10	10/1/10
7	10/1/10	10/1/10
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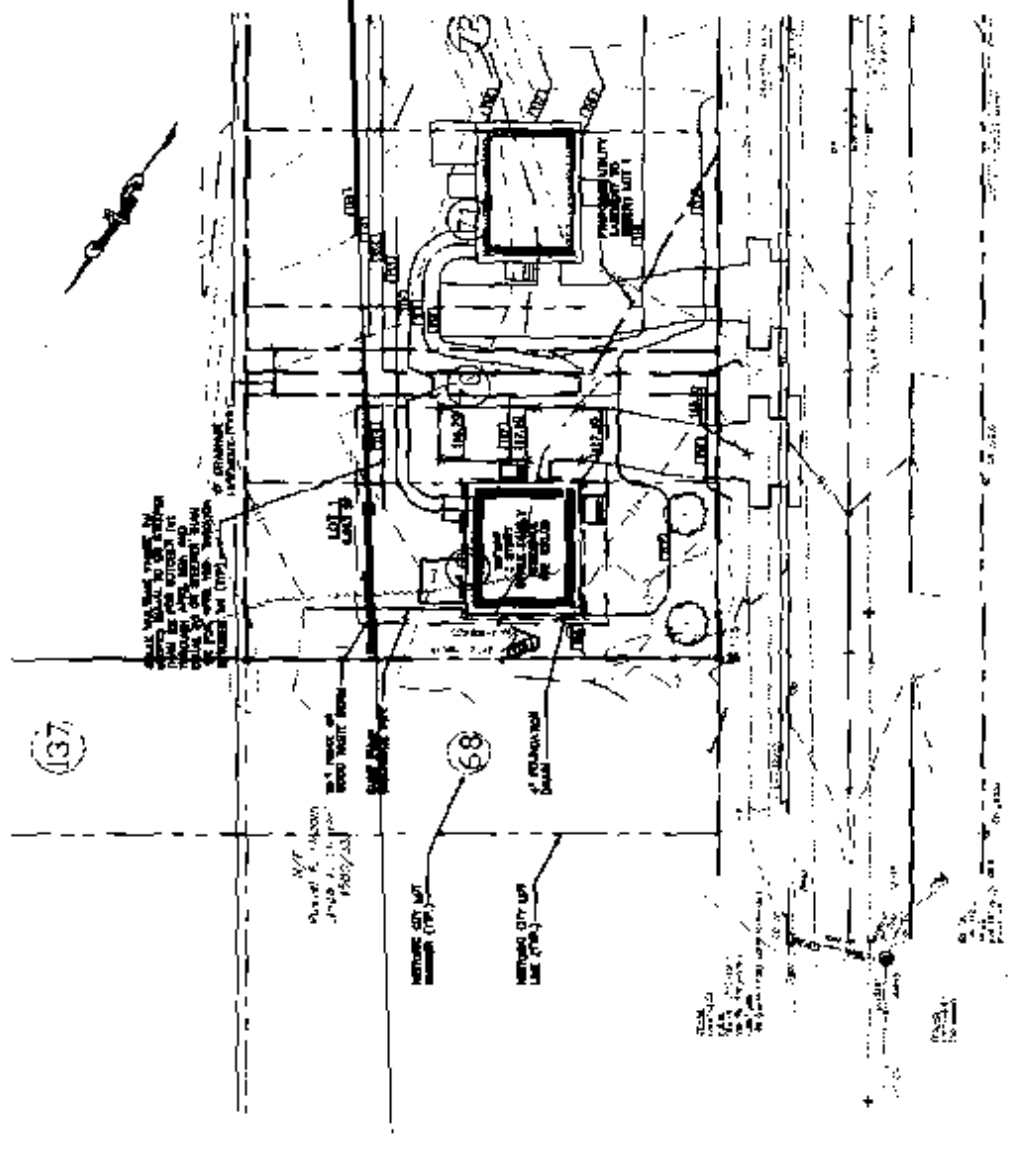
PROJECT NAME  
**NAKELL ADDITION**  
**15 MACKWORTH STREET**  
**PORTLAND, MAINE**

THIS PLAN SET IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN SET. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS STRUCTURAL INTEGRITY. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OF THE INTERIORS, MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS, OR FOR THE DESIGN OF THE LANDSCAPE OR OTHER SITEWORK. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ASSUMPTIONS SET FORTH IN THE NOTES TO THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR THE ASSUMPTIONS SET FORTH IN THE NOTES TO THESE PLANS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ASSUMPTIONS SET FORTH IN THE NOTES TO THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR THE ASSUMPTIONS SET FORTH IN THE NOTES TO THESE PLANS.



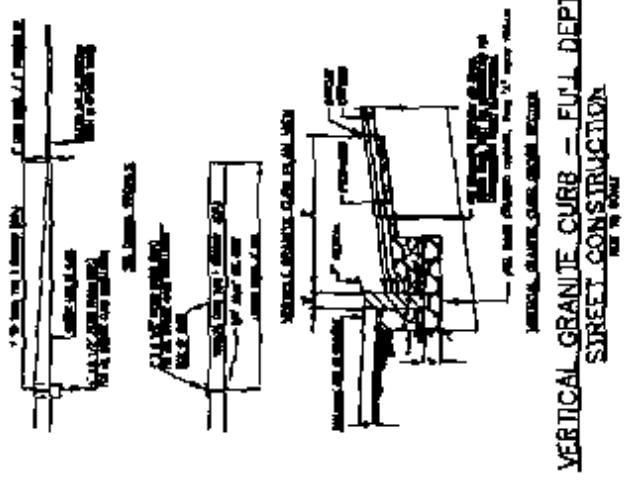


SITE AND UTILITY PLAN



GRADING AND DRAINAGE PLAN

RECEIVED  
OCT 12 2010  
Dept. of Building Inspections  
City of Portland Maine



VERTICAL GRANITE CURB - FULL DEPTH STREET CONSTRUCTION

SPACE AND BULK REQUIREMENTS - S-3 ZONE

REQUIREMENT	MINIMUM	MAXIMUM
SETBACK FROM FRONT LOT LINE	10 FT	15 FT
SETBACK FROM SIDE LOT LINE	5 FT	10 FT
SETBACK FROM REAR LOT LINE	5 FT	10 FT
MINIMUM LOT AREA	10,000 SQ FT	15,000 SQ FT
MINIMUM LOT WIDTH	100 FT	150 FT
MINIMUM LOT DEPTH	100 FT	150 FT

1. THE SPACE AND BULK REQUIREMENTS FOR THE S-3 ZONE ARE AS FOLLOWS:  
2. THE SETBACK FROM THE FRONT LOT LINE SHALL BE NOT LESS THAN 10 FEET.  
3. THE SETBACK FROM THE SIDE LOT LINE SHALL BE NOT LESS THAN 5 FEET.  
4. THE SETBACK FROM THE REAR LOT LINE SHALL BE NOT LESS THAN 5 FEET.  
5. THE MINIMUM LOT AREA SHALL BE NOT LESS THAN 10,000 SQUARE FEET.  
6. THE MINIMUM LOT WIDTH SHALL BE NOT LESS THAN 100 FEET.  
7. THE MINIMUM LOT DEPTH SHALL BE NOT LESS THAN 100 FEET.

GENERAL NOTES

1. THE SPACE AND BULK REQUIREMENTS FOR THE S-3 ZONE ARE AS FOLLOWS:
2. THE SETBACK FROM THE FRONT LOT LINE SHALL BE NOT LESS THAN 10 FEET.
3. THE SETBACK FROM THE SIDE LOT LINE SHALL BE NOT LESS THAN 5 FEET.
4. THE SETBACK FROM THE REAR LOT LINE SHALL BE NOT LESS THAN 5 FEET.
5. THE MINIMUM LOT AREA SHALL BE NOT LESS THAN 10,000 SQUARE FEET.
6. THE MINIMUM LOT WIDTH SHALL BE NOT LESS THAN 100 FEET.
7. THE MINIMUM LOT DEPTH SHALL BE NOT LESS THAN 100 FEET.
8. THE SPACE AND BULK REQUIREMENTS FOR THE S-3 ZONE ARE AS FOLLOWS:
9. THE SETBACK FROM THE FRONT LOT LINE SHALL BE NOT LESS THAN 10 FEET.
10. THE SETBACK FROM THE SIDE LOT LINE SHALL BE NOT LESS THAN 5 FEET.
11. THE SETBACK FROM THE REAR LOT LINE SHALL BE NOT LESS THAN 5 FEET.
12. THE MINIMUM LOT AREA SHALL BE NOT LESS THAN 10,000 SQUARE FEET.
13. THE MINIMUM LOT WIDTH SHALL BE NOT LESS THAN 100 FEET.
14. THE MINIMUM LOT DEPTH SHALL BE NOT LESS THAN 100 FEET.

GRADING AND DRAINAGE NOTES

1. ALL DRAINAGE AREAS SHALL BE PROTECTED AGAINST FLOODING.
2. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMAIN OPEN AT ALL TIMES.
3. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMAIN OPEN AT ALL TIMES.
4. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMAIN OPEN AT ALL TIMES.
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13. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMAIN OPEN AT ALL TIMES.
14. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMAIN OPEN AT ALL TIMES.
15. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMAIN OPEN AT ALL TIMES.

RECEIVED  
OCT 12 2010  
Dept. of Building Inspections  
City of Portland Maine

Rev.	Date	By	For
1	10/12/10	JP	FOR REVIEW
2	10/12/10	JP	FOR REVIEW
3	10/12/10	JP	FOR REVIEW
4	10/12/10	JP	FOR REVIEW
5	10/12/10	JP	FOR REVIEW
6	10/12/10	JP	FOR REVIEW
7	10/12/10	JP	FOR REVIEW
8	10/12/10	JP	FOR REVIEW
9	10/12/10	JP	FOR REVIEW
10	10/12/10	JP	FOR REVIEW

**Gorrell-Palmer Consulting Engineers, Inc.**  
145 Plymouth Street, Portland, Maine 04103  
Tel: 207-437-8810  
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**Stra. Utility, Grading and Drainage Plans**  
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Email: info@gorrellpalmer.com

Drawing No. 1



THIS IS NOT A LAND BOUNDARY SURVEY

from permit #1 - 6/1/53

8-3


10 of 5000 - 11,646¢

Front 25' - 728' (6)

Sec 25' - 725' (04)

Sade 28 by 14' - 22' (ok)

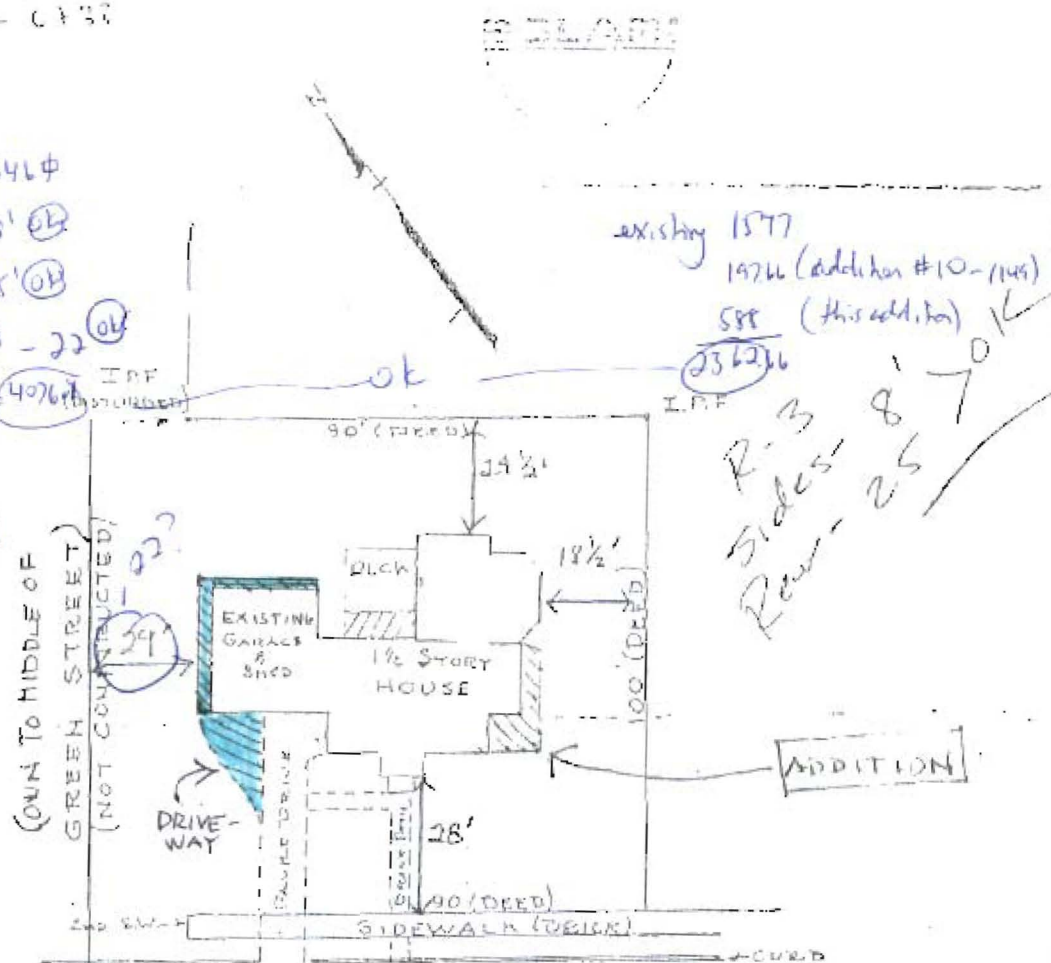
lot coverage - 35% (4076 sq ft)

ADDITION: 

EXISTING  
GARAGE:

21' x 23'

PROPOSED  
GARAGE:  
24' x 24'



MACKWORTH STREET

$$i^4 = 30^4$$

PROPERTY OF JERICHO, INC.  
76 MACKWORTH STREET, PORTLAND, MAINE.

BOOK-PLAN 3 PAGE 10 COUNTY CUMBERLAND SCALE 1"=30'

To the Lending Institution and its Title Insurer

I hereby certify that the location of the dwelling shown on this plan does ~~not~~ conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date shown hereon, and does not show any possible conflicts with abutting deeds. This plan is not for recording.

