

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070215

This is to certify that PARSONS JAMES F & ELI K ITS /David Holmes

has permission to Add Full dormer to both sides of the roof and covered balcony Sunroom area

AT 38 HARTLEY ST

137 E005001

APR - 9 2007

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Malley 4/3/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

David Johnson
Signature of Applicant/Designee

4/9/07
Date

[Signature]
Signature of Inspections Official

4.9.07
Date

CBL: 137FS

Building Permit #: 070215

City of Portland, Maine - Building or Use Permit Application

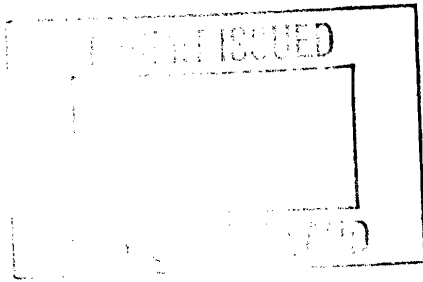
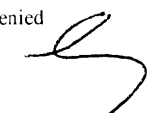
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0215	Issue Date:	CBL: 137 F005001
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Location of Construction: 38 HARTLEY ST	Owner Name: PARSONS JAMES F & ELLEN K J	Owner Address: 38 HARTLEY ST	Phone:
Business Name:	Contractor Name: David Holmes	Contractor Address: 467 Auburn St Portland	Phone: 2074156682
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Add Full dormer to both sides of the roof, add cantilevered bay to Sunroom area	Permit Fee: \$370.00	Cost of Work: \$35,000.00	CEO District: 4
Proposed Project Description: Add Full dormer to both sides of the roof, add cantilevered bay to Sunroom area		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	
		Signature: <i>Jim 4/3/07</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: ldobson	Date Applied For: 02/28/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/5/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
		<i>OK with conditions</i> Date: _____	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

5/25/07 - Close In - OK
for framing. elec. p/mts - OK
to day wall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0215	Date Applied For: 02/28/2007	CBL: 137 F005001
-----------------------	---------------------------------	---------------------

Location of Construction: 38 HARTLEY ST	Owner Name: PARSONS JAMES F & ELLEN K J	Owner Address: 38 HARTLEY ST	Phone:
Business Name:	Contractor Name: David Holmes	Contractor Address: 467 Auburn St Portland	Phone: (207) 415-6682
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Add Full dormer to both sides of the roof, add cantilevered bay to Sunroom area	Proposed Project Description: Add Full dormer to both sides of the roof, add cantilevered bay to Sunroom area
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/05/2007

Note:**Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 04/03/2007

Note:**Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

3/1/2007-mes: Going by the building to see how the bldg front compares with the bldgs on either side. It turns out the bldg is closer than those on either side so I had to use section 14-436 (80% max increase allowed) - It figured out to be an increase of 17.7% instead of the 80% allowed.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 Hartley St.</u>		
Total Square Footage of Proposed Structure <u>Renovation 120 sq. ft. Cantilevered Bay</u>		Square Footage of Lot <u>116/117 sq. ft (5,460)</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>137 F 5</u>	Owner: <u>Jim & Ellen Parsons</u>	Telephone: <u>232-6891</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>David Holmes/Builder 467 Auburn St. Pld 04103 (415-6682)</u>	Cost Of Work: \$ <u>35,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Renovation</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Add full dormers to both sides of the roof. Add cantilevered bay to "Sunroom area"</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>David Holmes</u> Mailing address: _____ Phone: <u>415-6682</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

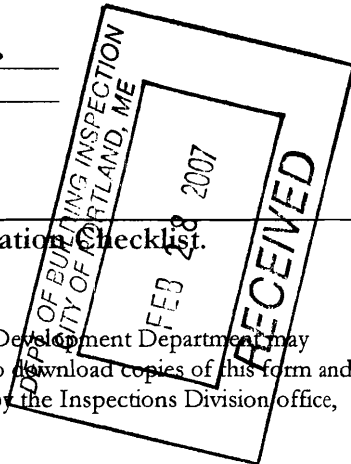
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: David Holmes

Date: 2/28/07

This is not a permit; you may not commence ANY work until the permit is issued.

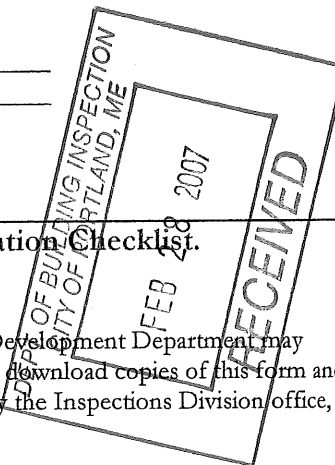




General Building Permit Application

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Location/Address of Construction: <u>38 Hartley St.</u>		
Total Square Footage of Proposed Structure <u>Renovation / 20 sq. ft. Cantilevered Bay</u>		Square Footage of Lot <u>5,460 sq. ft (5,460)</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>137 F 5</u>	Owner: <u>Jim & Ellen Parsons</u>	Telephone: <u>232-6891</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>David Holmes/Builder</u> <u>467 Auburn St. Pld</u> <u>04103 (415-6682)</u>	Cost Of Work: \$ <u>35,000</u> Fee: \$ _____ C of O Fee: \$ _____
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Contractor's name, address & telephone:		
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Mailing address: _____ Phone: <u>415-6682</u>		



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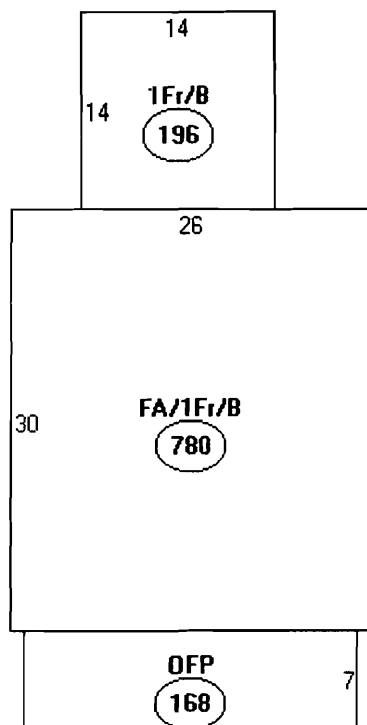
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Signature of applicant: <u>David Holmes</u>	Date: <u>2/28/07</u>
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Descriptor/Area

A: FA/1Fr/B
780 sqftB: 1Fr/B
196 sqftC: OFF
168 sqft

21
780
196
168

1144 #
~ 20 # new bay

1164 #

OK

$$6000 \times 40\% = 2400$$

14-436 allows 80% increase (meet 10 AFD/D.U.)
but doesn't meet
The front setback,
including the ADA sign
provision

turns out to 17.7% increase

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 137 F005001
Location 38 HARTLEY ST
Land Use SINGLE FAMILY

Owner Address PARSONS JAMES F & ELLEN K JTS
 38 HARTLEY ST
 PORTLAND ME 04103

Book/Page 12635/96
Legal 137-F-5
 HARTLEY ST 38
 6000 SF

R-S

Current Assessed Valuation

Land	Building	Total
\$87,100	\$125,300	\$212,400

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres
1928	Old Style	1	1405	0.138

Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	2		7	Full Fin./wh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1960	12X18	C	A

Sales Information

Date	Type	Price	Book/Page
07/01/1996	LAND + BLDING	\$103,000	12635-096
10/01/1992	LAND + BLDING	\$94,500	10314-165

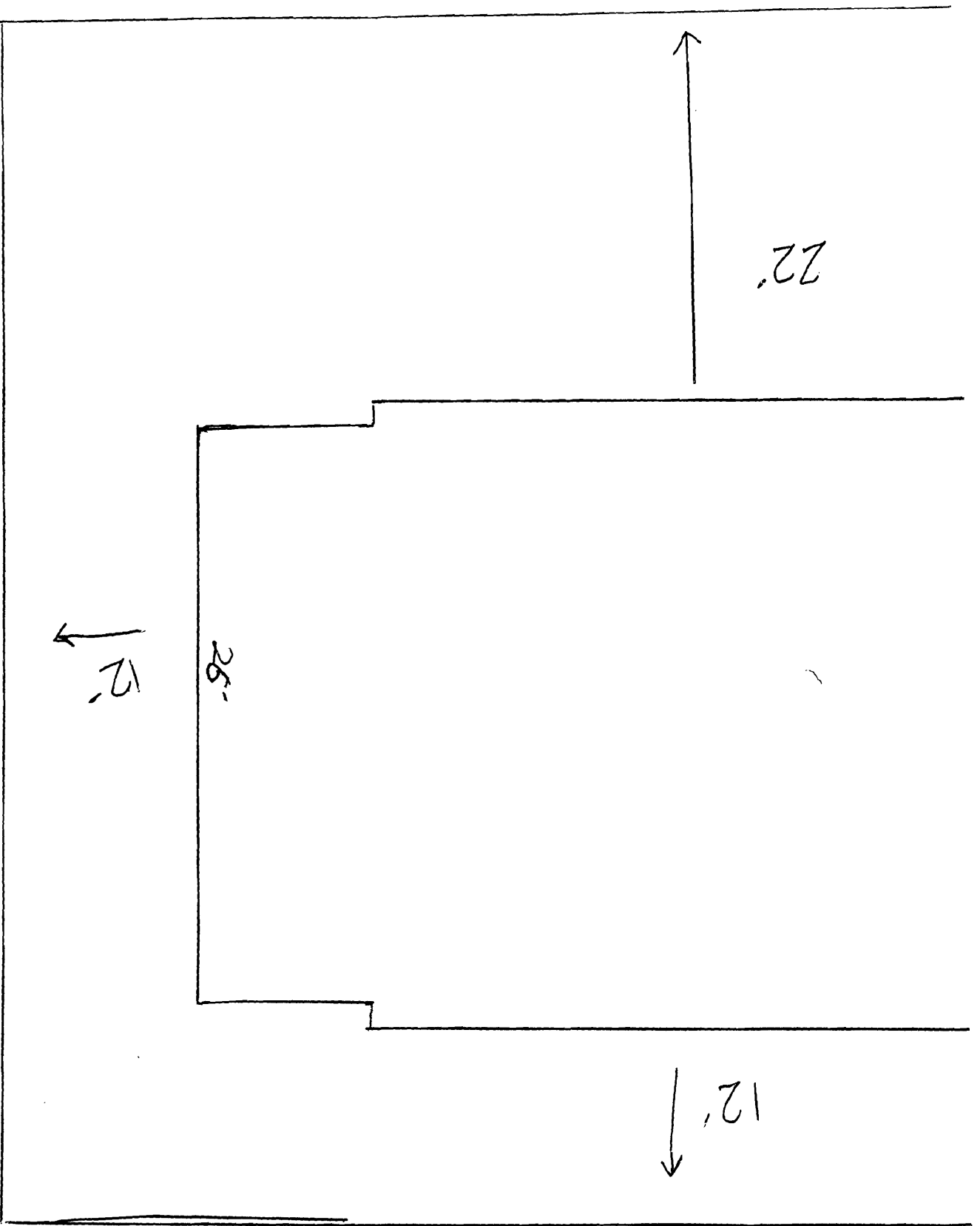
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



38 Hartley Parsons Residence

$$22 + 26 + 12 = 60'$$

wide

$$37 + 14 + 30 + 7 + 12 = \text{Hartley St.}$$

100 deep

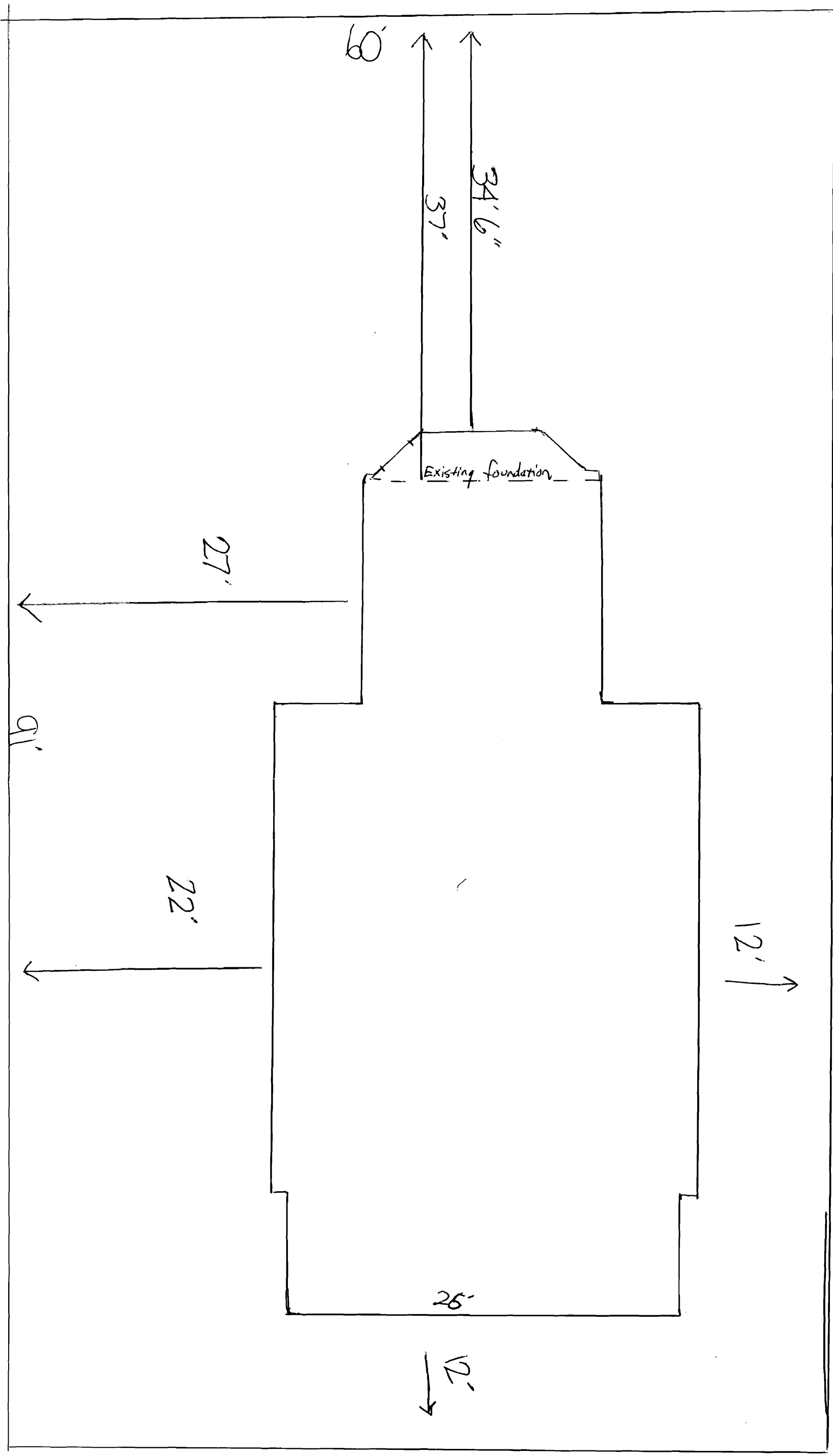
60 x 100 lot size per assessors



1
A2.1

FRONT ELEVATION

Scale: 1/4" = 1'-0"

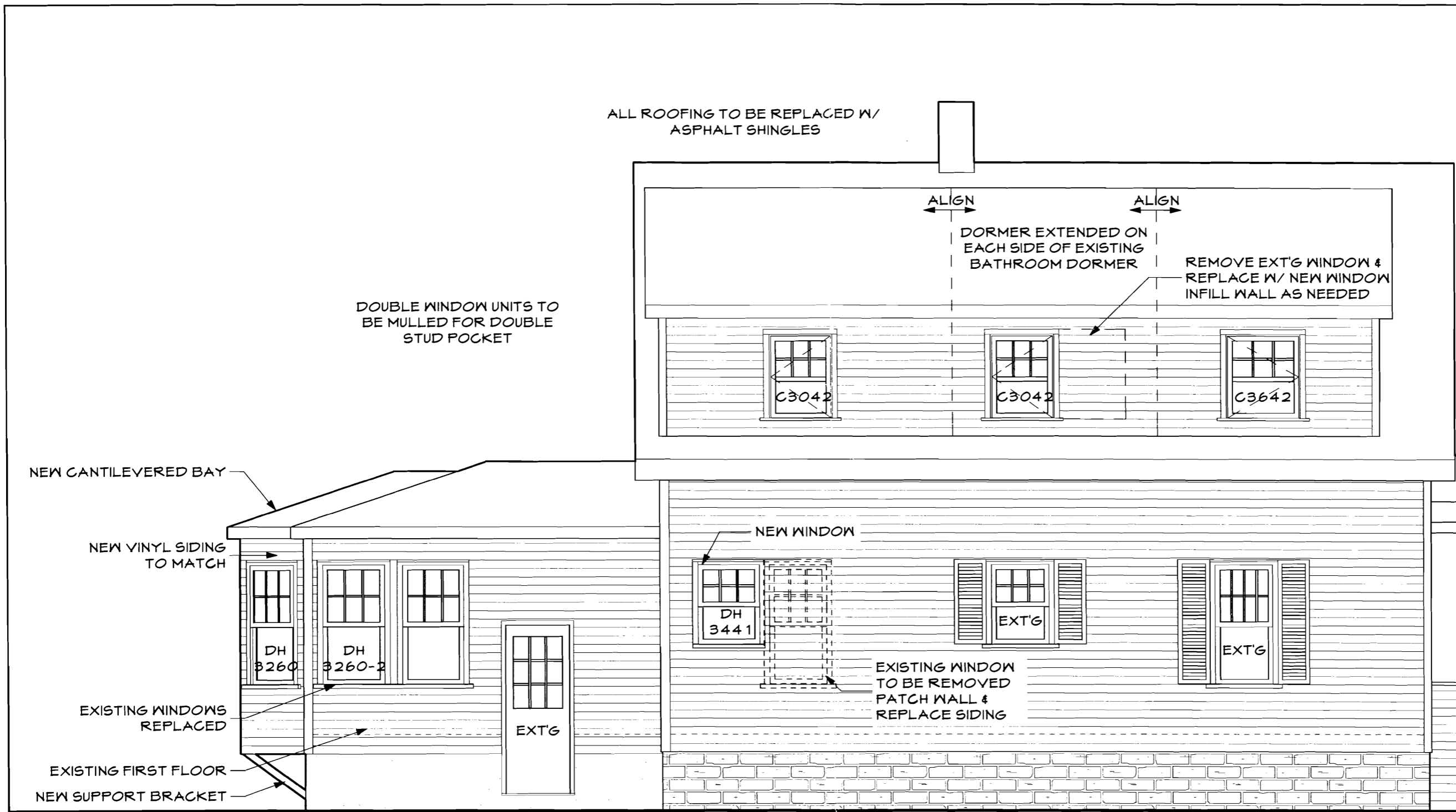


38 Hartley Parsons Residence

$$22 + 26 + 12 = 60' \text{ wide}$$

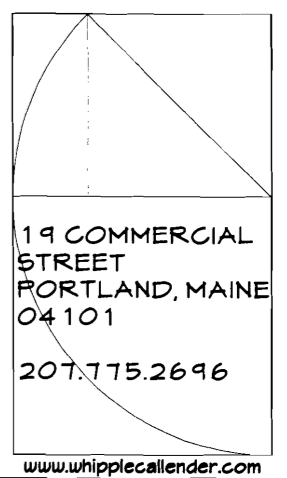
$$37 + 14 + 30 + 7 + 12 = 100' \text{ deep Hartley St.}$$

60 x 100 lot size per assessors



PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

**WHIPPLE
 CALLENDER
 ARCHITECTS**



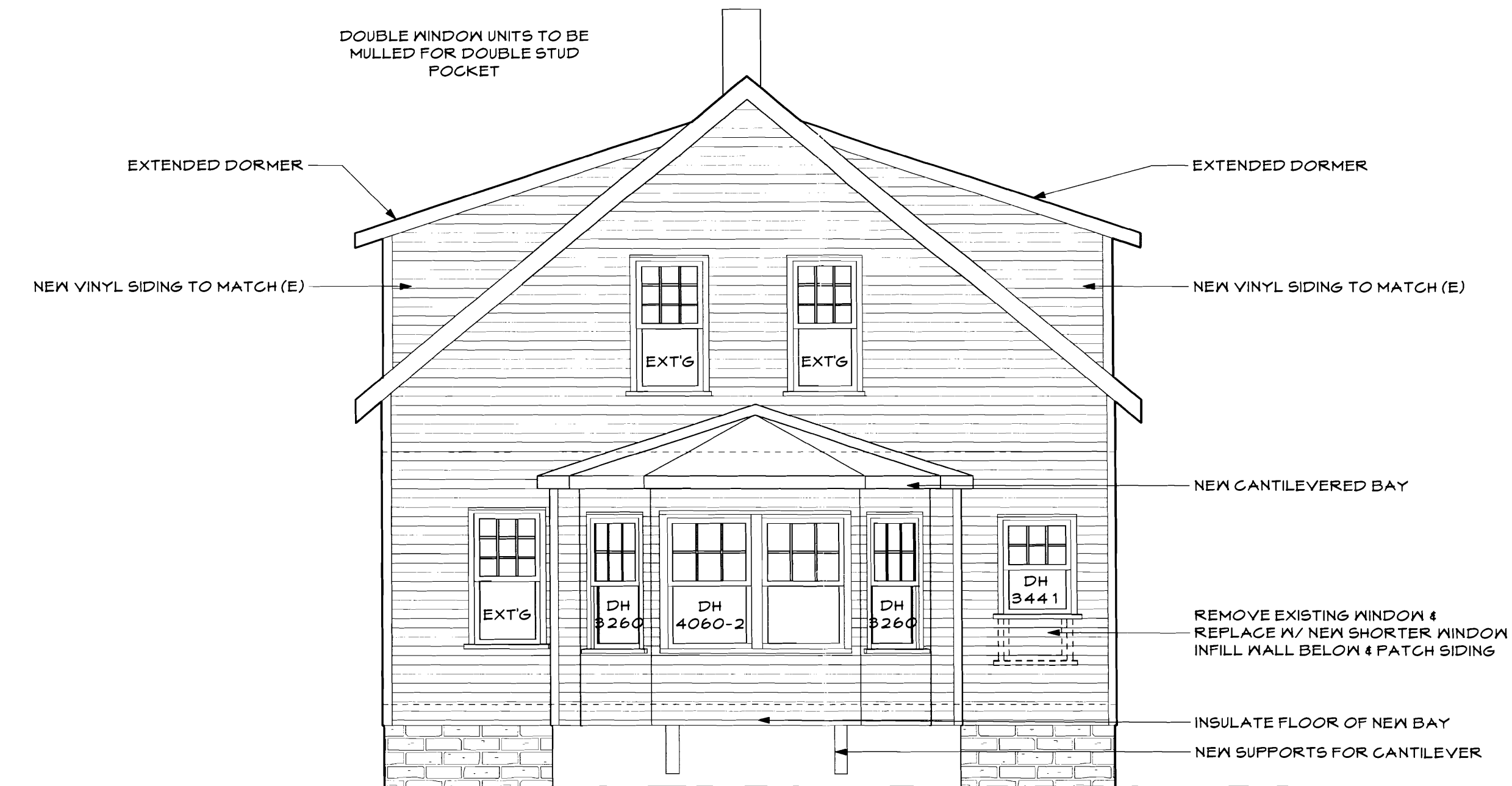
19 COMMERCIAL
 STREET
 PORTLAND, MAINE
 04101
 207.775.2696
 www.whipplecallender.com

Date: 22 FEB 07
 Checked by: AEC
 Job: AEC
 Drawn: JRP
 PRP

SHEET TITLE
 LEFT ELEVATION

A2.2

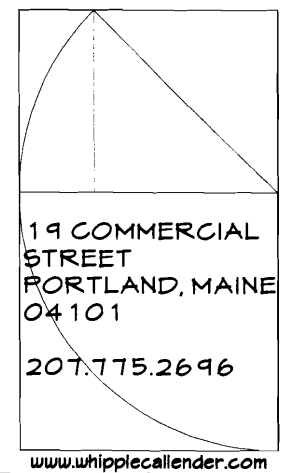
1 LEFT ELEVATION
 A2.2 Scale: 1/4" = 1'-0"



1 BACK ELEVATION
 A2.3 Scale: 1/4" = 1'-0"

PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

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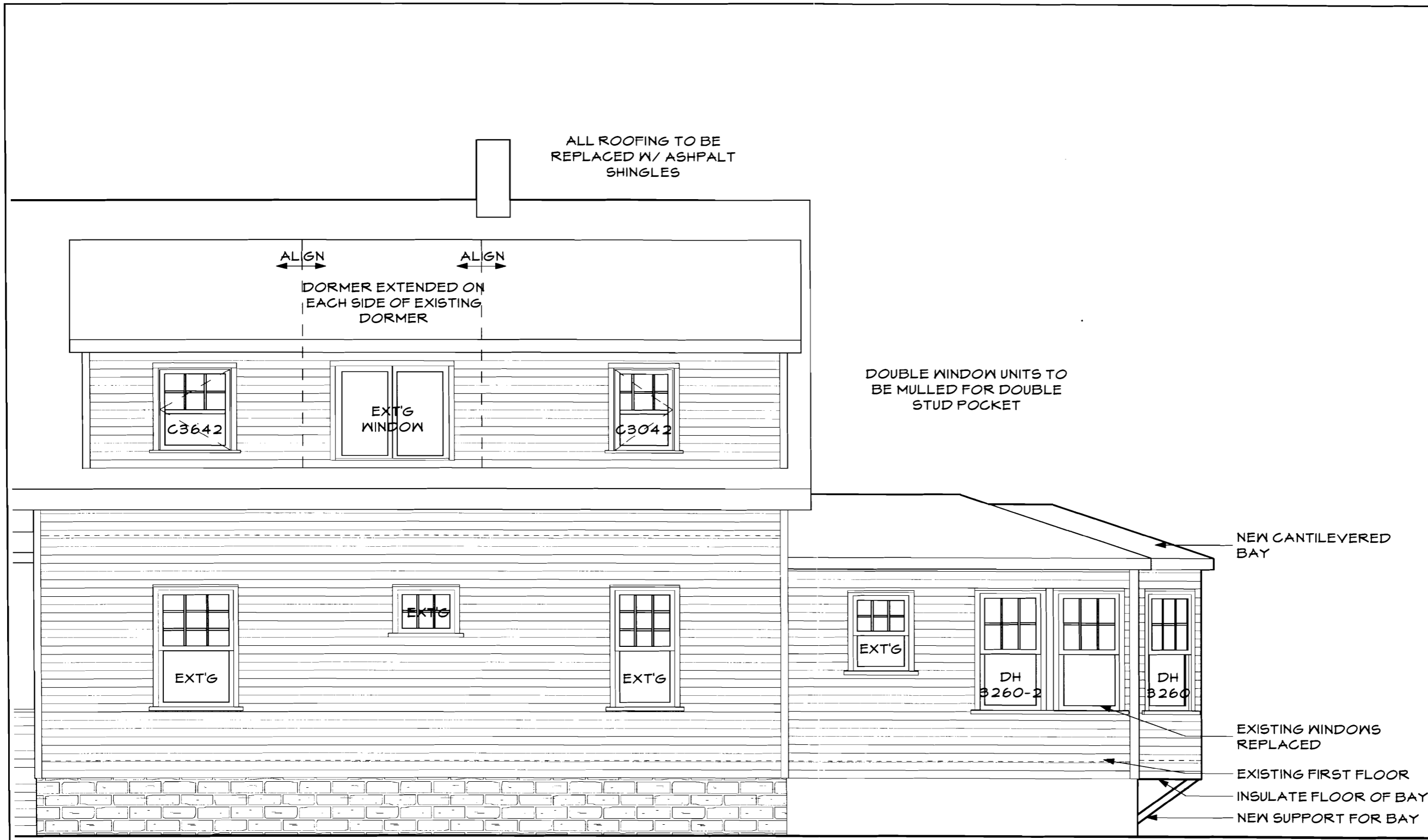
Checked by:
 Job: AEC

Drawn:
 JRP

PRP

SHEET TITLE
 BACK ELEVATION

A2.3



ALL ROOFING TO BE REPLACED W/ ASPHALT SHINGLES

ALIGN ALIGN
DORMER EXTENDED ON EACH SIDE OF EXISTING DORMER

DOUBLE WINDOW UNITS TO BE MULLED FOR DOUBLE STUD POCKET

NEW CANTILEVERED BAY

EXISTING WINDOWS REPLACED
EXISTING FIRST FLOOR
INSULATE FLOOR OF BAY
NEW SUPPORT FOR BAY

1 RIGHT ELEVATION
A2.4 Scale: 1/4" = 1'-0"

PARSON HOUSE
ADDITION/RENOVATION
38 HARTLEY STREET
PORTLAND, MAINE

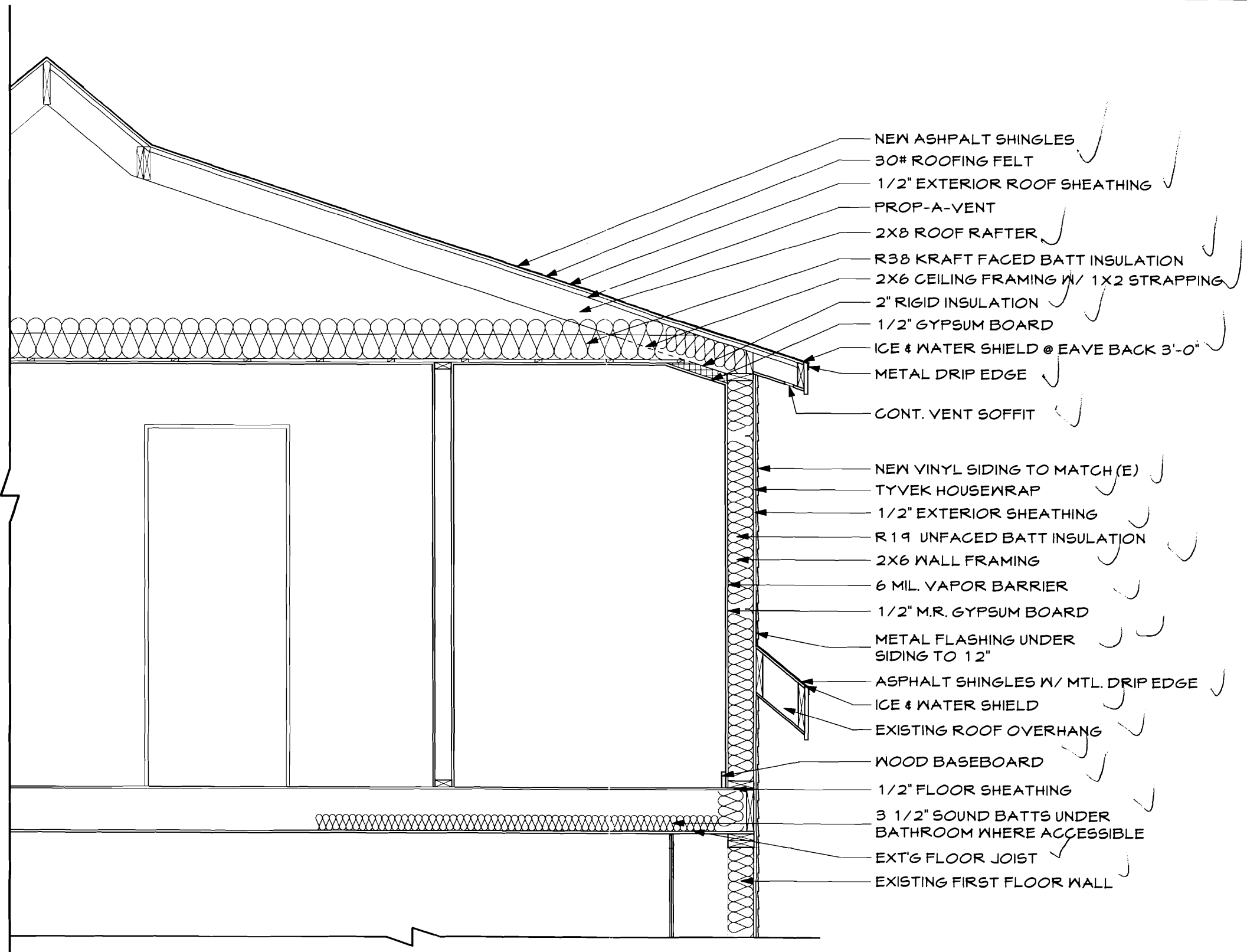
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PRP

SHEET TITLE
RIGHT ELEVATION

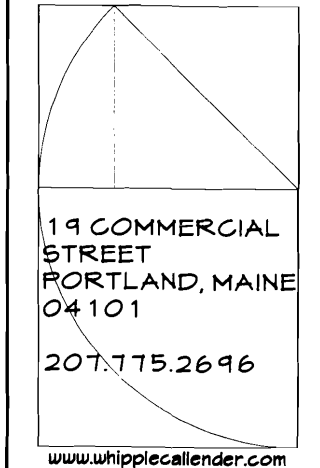
A2.4



- NEW ASPHALT SHINGLES ✓
- 30# ROOFING FELT ✓
- 1/2" EXTERIOR ROOF SHEATHING ✓
- PROP-A-VENT ✓
- 2X8 ROOF RAFTER ✓
- R38 KRAFT FACED BATT INSULATION ✓
- 2X6 CEILING FRAMING W/ 1X2 STRAPPING ✓
- 2" RIGID INSULATION ✓
- 1/2" GYPSUM BOARD ✓
- ICE & WATER SHIELD @ EAVE BACK 3'-0" ✓
- METAL DRIP EDGE ✓
- CONT. VENT SOFFIT ✓
- NEW VINYL SIDING TO MATCH (E) ✓
- TYVEK HOUSEWRAP ✓
- 1/2" EXTERIOR SHEATHING ✓
- R19 UNFACED BATT INSULATION ✓
- 2X6 WALL FRAMING ✓
- 6 MIL. VAPOR BARRIER ✓
- 1/2" M.R. GYPSUM BOARD ✓
- METAL FLASHING UNDER SIDING TO 12" ✓
- ASPHALT SHINGLES W/ MTL. DRIP EDGE ✓
- ICE & WATER SHIELD ✓
- EXISTING ROOF OVERHANG ✓
- WOOD BASEBOARD ✓
- 1/2" FLOOR SHEATHING ✓
- 3 1/2" SOUND BATTs UNDER BATHROOM WHERE ACCESSIBLE ✓
- EXT'G FLOOR JOIST ✓
- EXISTING FIRST FLOOR WALL ✓

PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

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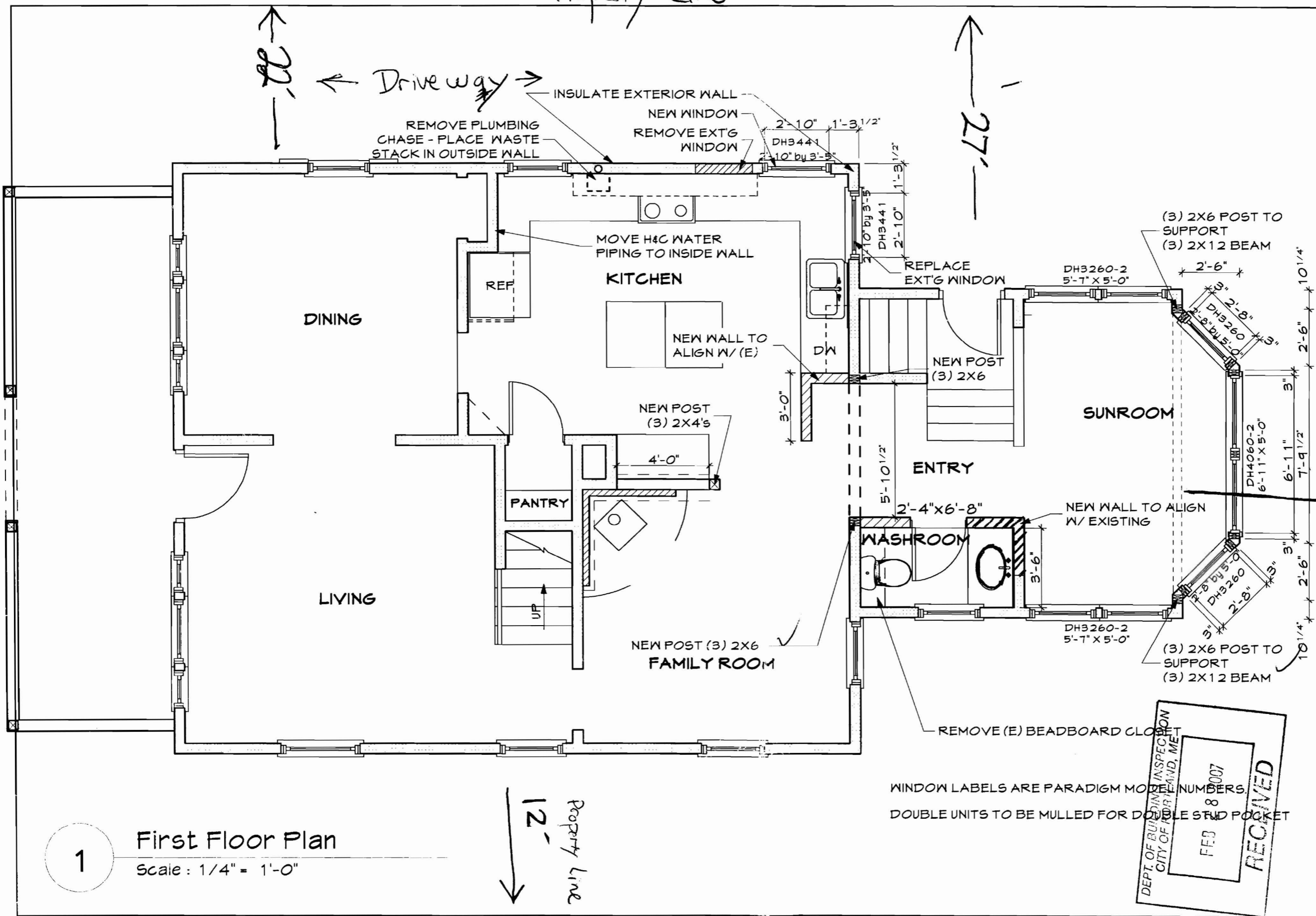
SHEET TITLE
 DORMER SECTION

A31

1 DORMER SECTION
 A3.1 Scale: 1/2" = 1'-0"

Property Line

← Driveway →



PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

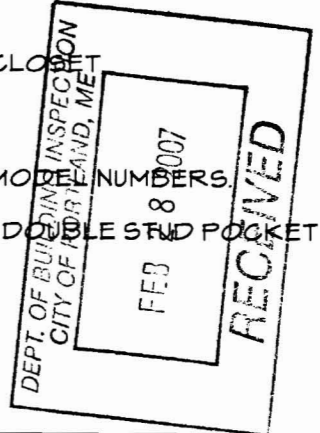
WHIPPLE CALLENDER ARCHITECTS

37
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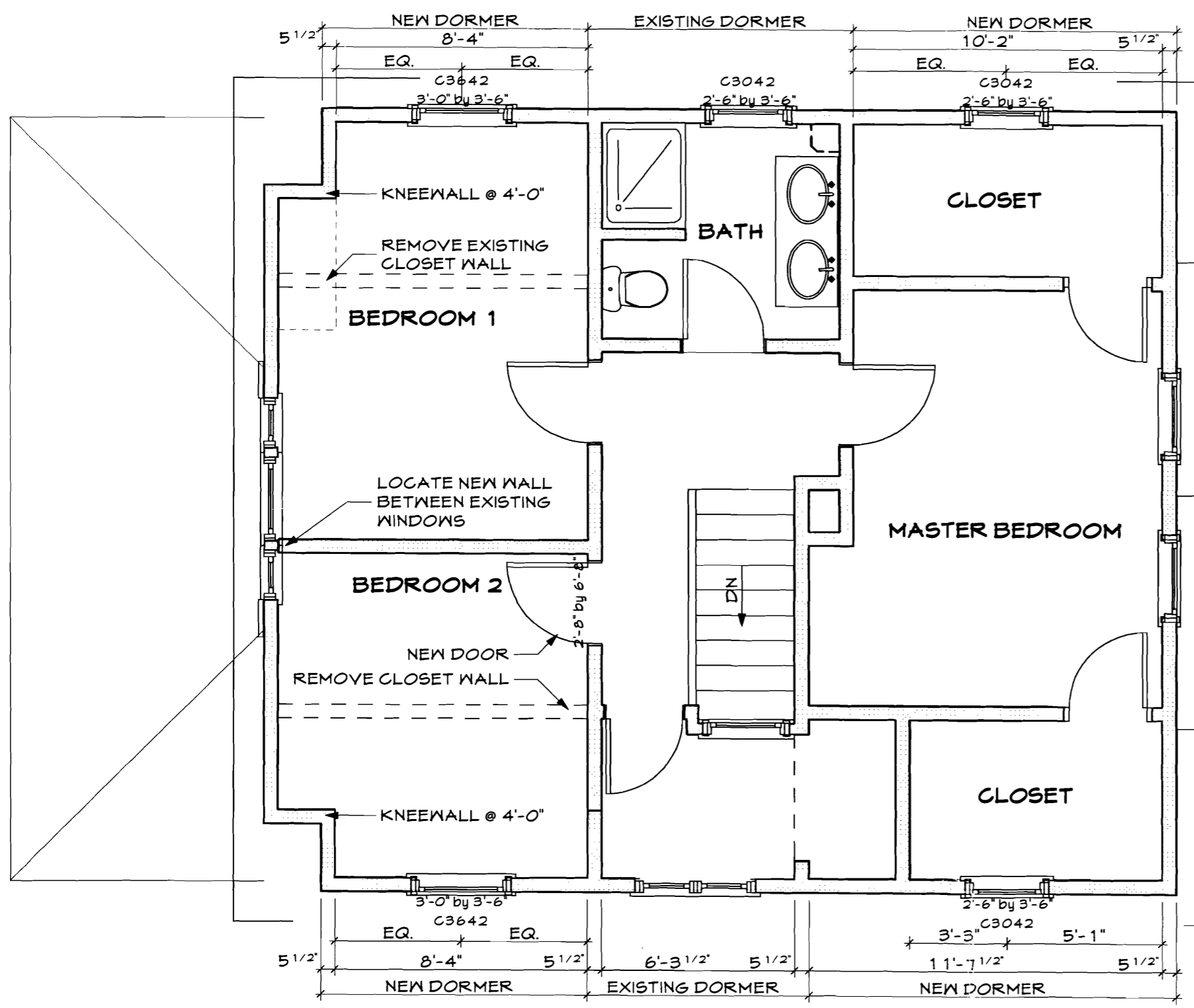
SHEET TITLE

A1.1



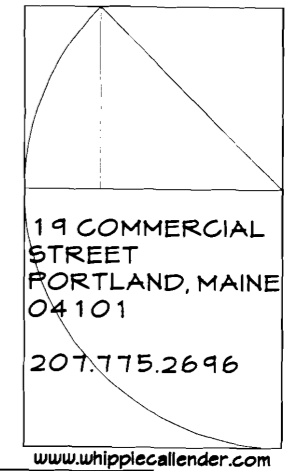
WINDOW LABELS ARE PARADIGM MODEL NUMBERS
 DOUBLE UNITS TO BE MULLED FOR DOUBLE STUD POCKET

1 First Floor Plan
 Scale: 1/4" = 1'-0"



PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

**WHIPPLE
 CALLENDER
 ARCHITECTS**



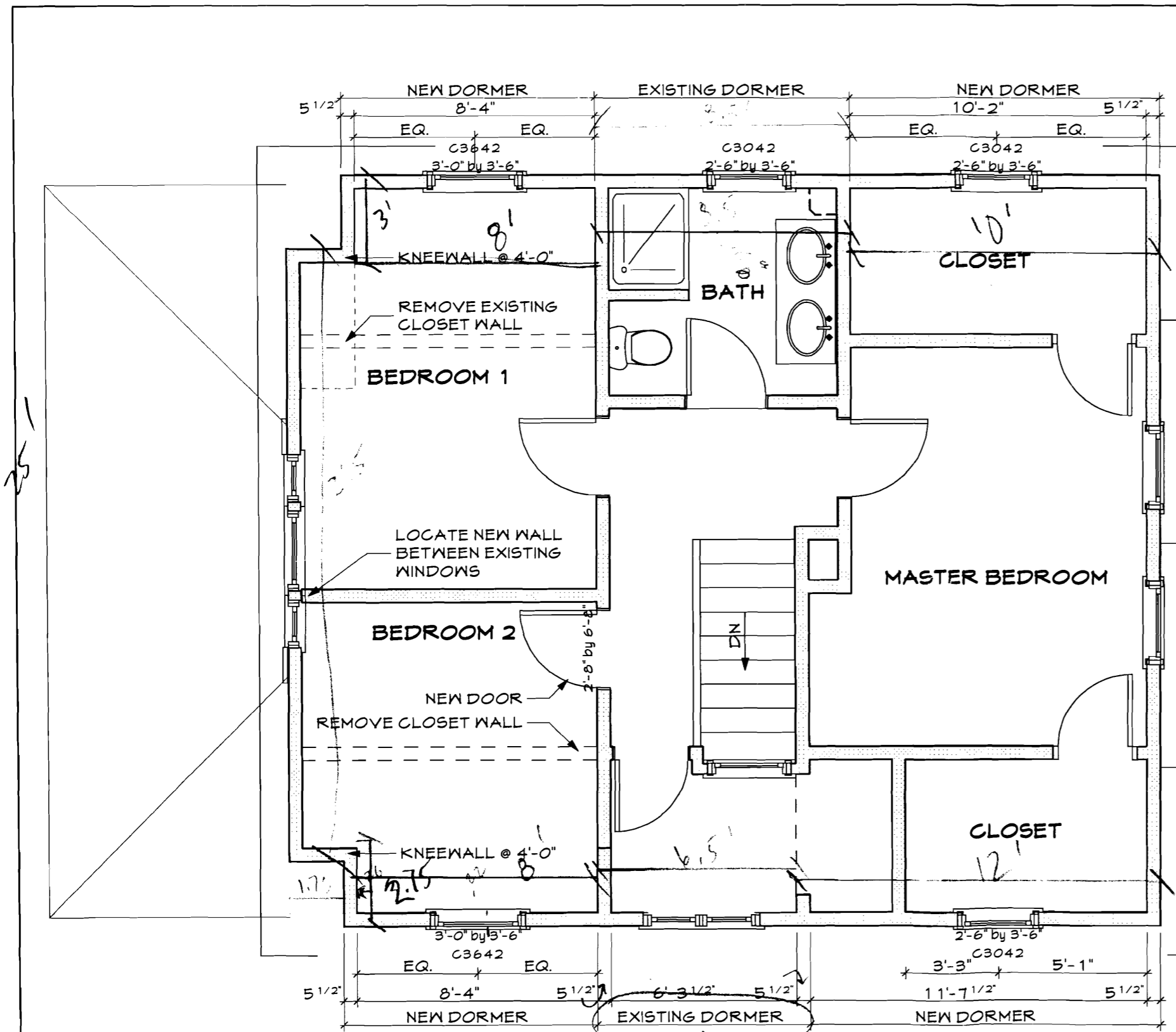
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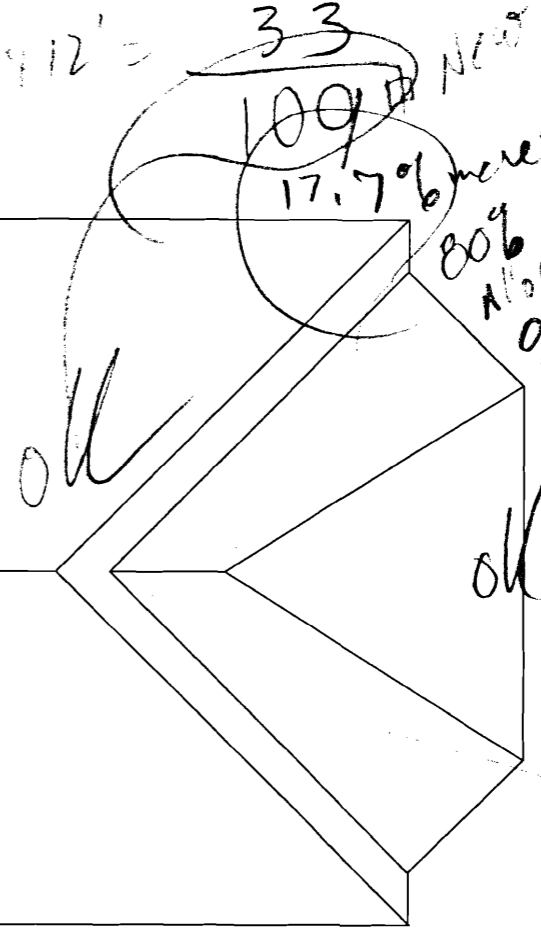
SHEET TITLE
 KET

A1.2

1 Second Floor Plan
 Scale: 1/4" = 1'-0"



$3 \times 8 = 24$
 $3 \times 10 = 30$
 $2.75 \times 8 = 22$
 $2.75 \times 12 = 33$



PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

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SHEET TITLE

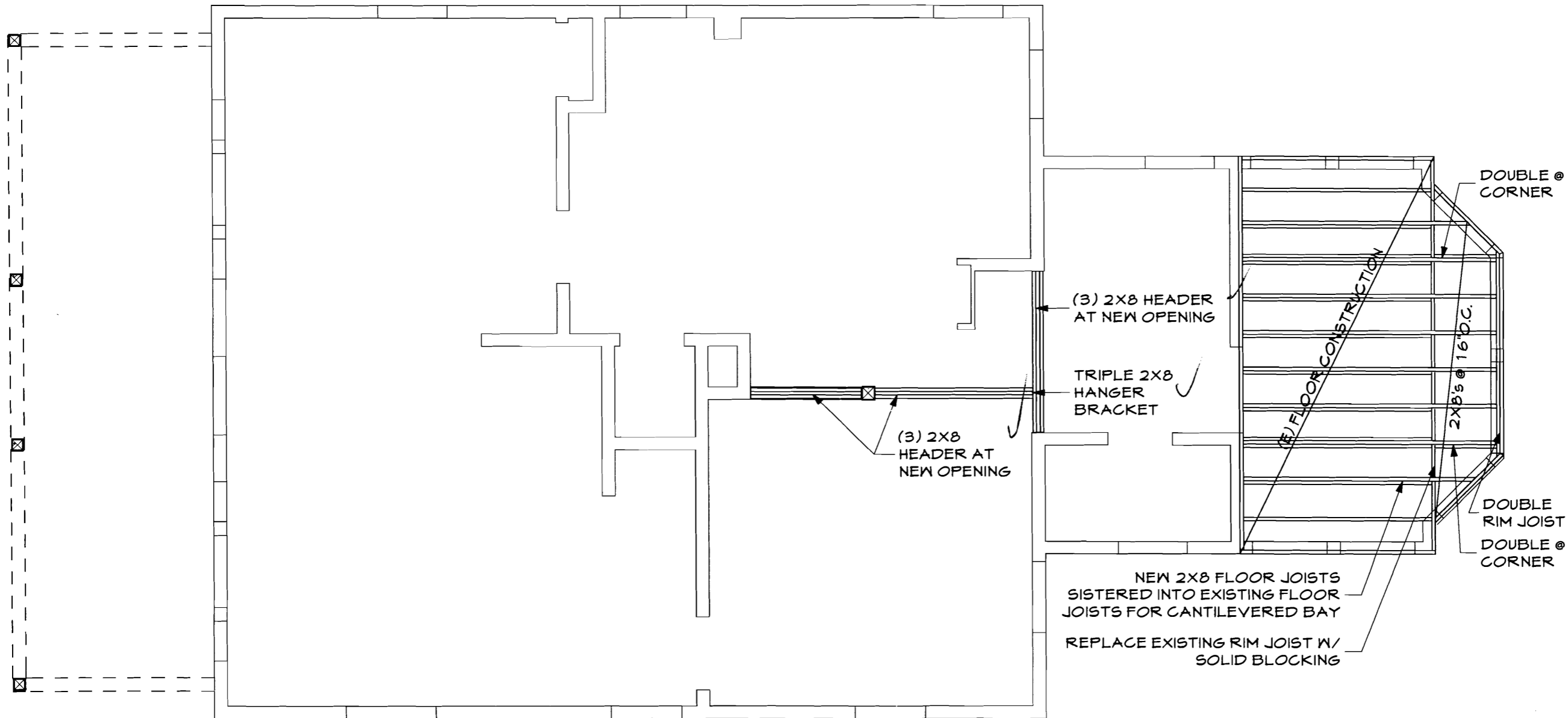
A1.2

WINDOW LABELS ARE PARADIGM MODEL NUMBERS.
 DOUBLE UNITS TO BE MULLED FOR DOUBLE STUD POCKET

$25 \times 28.5 = \text{entire 2nd floor}$
 $2.5 \times 26.5 = 66.25$
 $2.75 \times 6.5 = 17.875$
 $3.00 \times 8.5 = 25.50$

1 Second Floor Plan
 Scale: 1/4" = 1'-0"

616.125 exist x 80% = 492.9
 MAX ALLOWED



PARSON HOUSE
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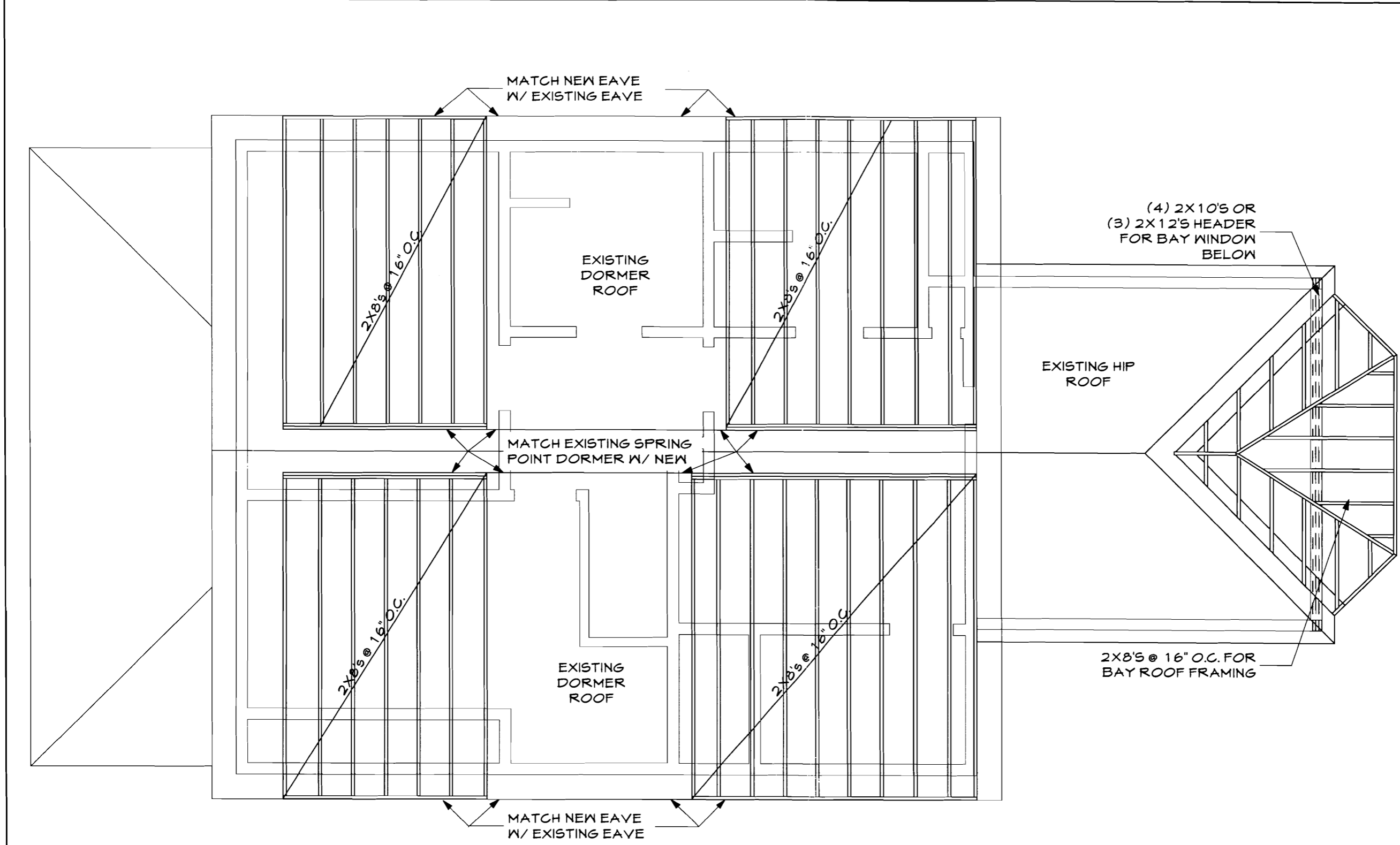
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 Job: AEC
 Drawn: JRP
 PRP

SHEET TITLE
 BAY FRAMING

A1.3

1 FIRST FLOOR FRAMING PLAN
 A1.3 Scale: 1/4" = 1'-0"

25 x 29 = 725



PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
 PORTLAND, MAINE

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PRP

SHEET TITLE
 ROOF FRAMING

A1.4

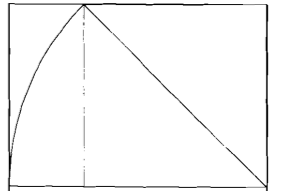
1 ROOF FRAMING PLAN
 A1.4 Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
 A2.1 Scale: 1/4" = 1'-0"

PARSON HOUSE
 ADDITION/RENOVATION
 38 HARTLEY STREET
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SHEET TITLE
 FRONT ELEVATION

A2.1