

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 030361

MAY 01 2003

Please Read Application And Notes, If Any, Attached

This is to certify that Hewes Laurence I Iv & /Dan Albert Building & Remodeling  
has permission to Add second floor to existing and kind  
AT 42 Hartley St 137 F004001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is occupied or otherwise closed-in.  
HOURS NOTED ARE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jamie Bonke* 5/1/03  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

# PERMIT ISSUED

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0361	Issue Date: <b>MAY 01 2003</b>	CBL: 137 F004001
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Location of Construction: 42 Hartley St	Owner Name: Hewes Laurence I Iv &	Owner Address: 42 Hartley St <b>CITY OF PORTLAND</b>	Phone: 874-0078
Business Name:	Contractor Name: Dan Kolbert Building & Remodeling	Contractor Address: 90 Gray Street Portland	Phone: 2076507650
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <b>R5</b>

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$338.00	Cost of Work: \$45,000.00	CEO District: 3
Proposed Project Description: Add second floor to existing cape and kitchen remodel		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: <b>R3</b> Type: <b>JB</b> <b>BOCA 1999</b> Signature: <b>JMB 5/1/03</b>		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____
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Permit Taken By: jmb	Date Applied For: 04/22/2003	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>5/1/03 JMB</b>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>5/1/03</b>
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### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/3/03 see submittal on Guardrail detail to code JB

5/6/03 see submittal of New Plot Plan JB

5/7/03 see submittal for Egress windows JB

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0361	<b>Date Applied For:</b> 04/22/2003	<b>CBL:</b> 137 F004001
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<b>Location of Construction:</b> 42 Hartley St	<b>Owner Name:</b> Hewes Laurence I Iv &	<b>Owner Address:</b> 42 Hartley St	<b>Phone:</b> ( ) 874-0078
<b>Business Name:</b>	<b>Contractor Name:</b> Dan Kolbert Building & Remodeling	<b>Contractor Address:</b> 90 Gray Street Portland	<b>Phone:</b> (207) 650-7650
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family	<b>Proposed Project Description:</b> Add second floor to existing cape and kitchen remodel
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 04/22/2003

**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Before work is started the homeowner must submit a plan showing that the front setback is a minimum of 20' by verifying the street right of way to his existing rear pin dimensions, or provide a survey.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 05/01/2003

**Note:** **Ok to Issue:**

- 1) Specs on the egress windows shall be submitted
- 2) Specs on the balustrated guardrail system for the 2nd floor balcony shall be submitted to this office for review
- 3) Separate permits are required for any electrical or plumbing work.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: <u>412 HARTLEY STREET, PORTLAND, ME 04113</u>		
Total Square Footage of Proposed Structure <u>(800+800+56) = 1656 SQR. FT.</u>	Square Footage of Lot <u>10300 SQR. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart#                      Block#                      Lot# <u>   137                      FH</u>	Owner: <u>LAURENCE HEWES &amp; DEIRDRE SULLA/MEISTER</u>	Telephone: <u>(207) 874-0678</u>
Lessee/ Buyer's Name (If Applicable) <u>— N/A —</u>	Applicant name, address & telephone: <u>(OWNERS) 105 STATE ST, N#7 PORTLAND, ME, 04111</u>	Cost Of Work: \$ <u>45,000.00</u> Fee: \$ <u>338.00</u>
Current Specific use: <u>SINGLE FAMILY RESIDENCE</u>		
Proposed Specific use: _____		
Project description: <u>REMOVE EXISTING ROOF, ADD NEW 2ND STORY, AND ATTIC AND ROOF; EXTEND CHIMNEY, REMODEL EXISTING KITCHEN, BATH AND BASEMENT.</u>		
Contractor's name, address & telephone: <u>DAN KOLBERT, 90 GREY ST, 04101</u>		
Who should we contact when the permit is ready: <u>N/A —</u>		
Mailing address: _____		
Phone: _____		

**Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.**

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/ her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant <u>[Signature]</u>	Date: <u>April 22<sup>nd</sup>, 2003</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$7.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

NA **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of applicant/designee

5/1/2003  
Date

[Signature]  
Signature of Inspections Official

5/1/03  
Date

CBL: 137-F-4 Building Permit #: 03-0361



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 137 F004001  
**Location** 42 HARTLEY ST  
**Land Use** SINGLE FAMILY

**Owner Address** HEWES LAURENCE I IV & DEIRDRE SULKA-MEISTER JTS  
 42 HARTLEY ST  
 PORTLAND ME 04103

**Book/Page** 18745/182  
**Legal** 137-F-4  
 HARTLEY ST 40-46  
 10466 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$33,920	\$72,870	\$106,790

**Property Information**

<b>Year Built</b> 1959	<b>Style</b> Cape	<b>Story Height</b> 1	<b>Sq. Ft.</b> 1135	<b>Total Acres</b> 0.24		
<b>Bedrooms</b> 2	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 6	<b>Attic</b> Full Finsh	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b> GARAGE-WD/CB	<b>Quantity</b> 1	<b>Year Built</b> 1960	<b>Size</b> 14X28	<b>Grade</b> C	<b>Condition</b> A
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**Sales Information**

<b>Date</b> 01/01/2003	<b>Type</b> LAND + BLDING	<b>Price</b> \$151,000	<b>Book/Page</b> 18745-182
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**Picture and Sketch**

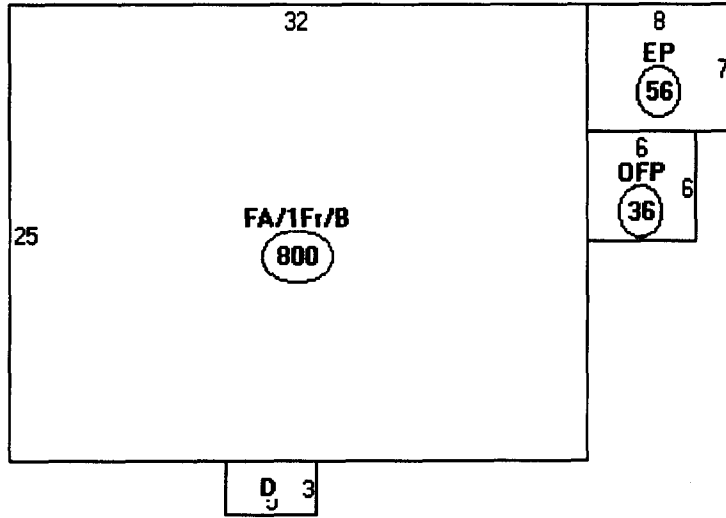
[Picture](#)                      [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed.](#)







Descriptor/Area

A: FA/1Fr/B  
800 sqft

B: EP  
56 sqft

C: OFF  
36 sqft

D: FDH  
15 sqft

907 house deck

392 garage

1299

Lot 10,466 x :40% =

OK 4,186 #

~~Notes~~



# FAX COVER SHEET

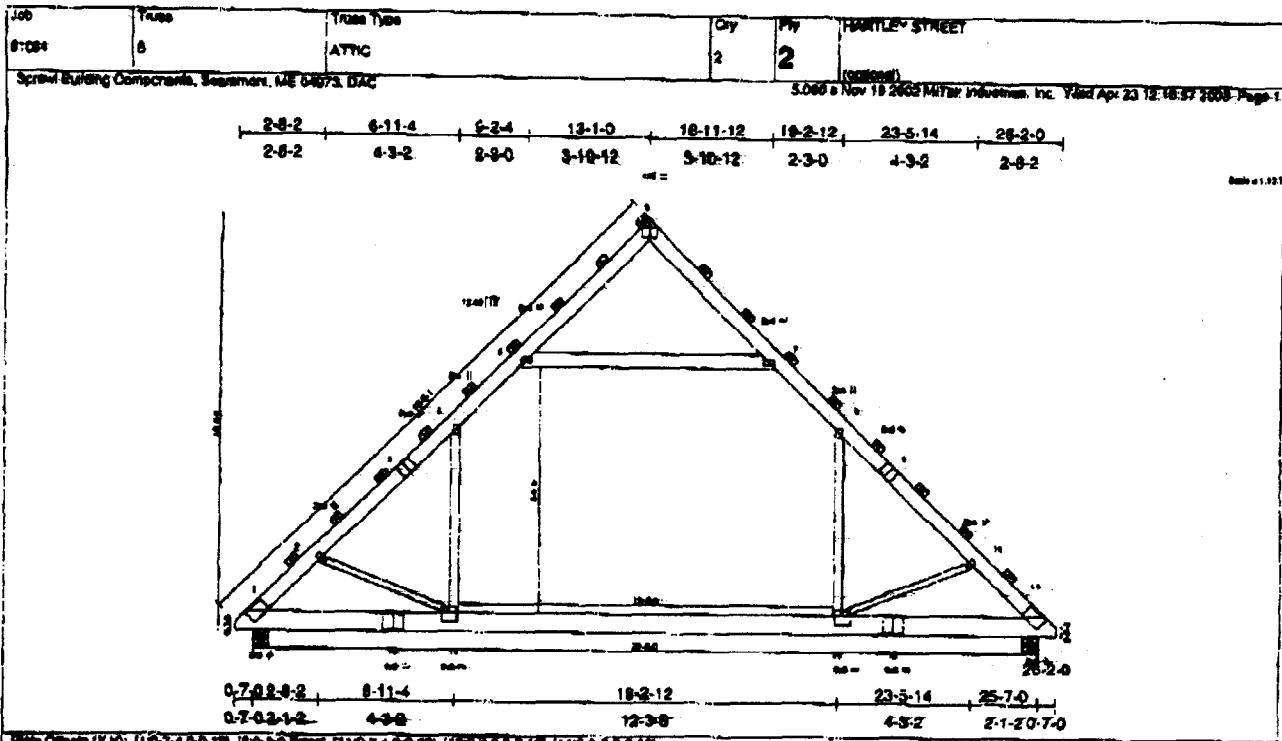
SPROWL BUILDING COMPONENTS, INC.  
P O Box 130  
Searsport, ME 04973  
800-439-5211 Fax 207-342-5713

To: Dan Date: 4/23/03

Attn: \_\_\_\_\_ Page: 1 of 2

Hi Dan, Following is engineered drawing of the attic  
truss; version is two ply; spaced 3'oc for  
your stairway. If you need more info, please  
give me a call

Thank you, Dave Chandler



LOADING (psf)	SPACING	CBF	DEFL.	PLATE	GRP
TCCL 42.0	3-0-0	TC 0.75	in. (top) Max	MP20	167144
BCCL 10.0	Plate Increase 1.15	BC 0.78	Vert(LL) -0.38 13-14 >623		
WCLL 0.0	Lumber Increase 1.16	WB 0.27	Vert(TL) -0.47 13-14 >681		
BCCL 10.0	Rep Stress for NO	(Min)	Horz(TL) 0.02 11 W/e		
	Code SDC/ASD/ASCS		1st LC LL Min/Max = 398		Weight 348 lb

**LUMBER**  
 TOP CHORD 2 X 8 SPF 1600F 1.8E "Except"  
 1-6 X 8 SPF No.2, 6-11 X 8 SPF No.2  
 BOT CHORD 2 X 8 SPF No.2 "Except"  
 12-15 X 8 SYP D65  
 WEBS 2 X 4 SPF No.2 "Except"  
 5-7 X 8 SPF No.2, 2-14 X 5 SPF No.2, 10-12 X 3 SPF No.2

**BRACING**  
 TOP CHORD 2-6-0 ec purlin (6-10-10 max.)  
 (Switched from sheetrock: Bracing > 2-6-0.  
 Plyg ceiling directly applied or 10-0-0 ec bracing.  
 BOT CHORD  
 JOINTS 1 brace at joint 6

**REACTIONS** (kips) 1=20290-6-6, 11=20290-6-6  
 (Max Horiz = 573 load case 4)  
 (Max Up/Down = 373 load case 7, 11 = 373 load case 6)

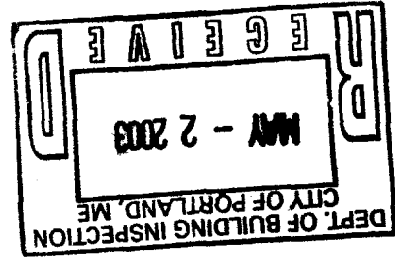
**FORCES** (lb) - Flat Load Case Only  
 TOP CHORD 1-6=4443, 2-5=4081, 3-4=2637, 4-5=2488, 5-6=344, 6-7=345, 7-8=2300, 8-9=8836, 9-10=4081, 10-11=4443  
 BOT CHORD 1-15=2804, 14-15=2944, 13-14=2481, 12-13=2852, 11-12=2952  
 WEBS 3-7=2862, 4-14=1542, 8-13=1542, 2-14=288, 10-12=323

- NOTES**
- 1) Sply truss to be connected together with 18d Common (148°) Nails as follows:  
 This should be connected as follows: 6 X 8, 2 rows at 0-0-0 ec  
 Bottom chords connected as follows: 2 X 8 - 2 rows at 0-0-0 ec.  
 Webs connected as follows: 2 X 8 - 1 row at 0-0-0 ec, 2 X 4 - 1 row at 0-0-0 ec.
  - 2) Wind ASCE 7-98 per SDC/ASD/ASCS; Design: Max/W: TCCL=4.2psf; BCCL=5.2psf; occupancy category II; exposure D; enclosed/A/WFRS gable and zone.  
 parallel full end right exposed Lumber DCL=1.53 plus g/w DCL=1.33
  - 3) Design load is based on 42.0 psf specified roof snow load.
  - 4) Unbalanced snow loads (per ASCE) considered for this design.
  - 5) This truss has been designed for a live load of 20 psf on the bottom chord in all areas with a clearance greater than 7-0-0 between the bottom chord and any other members.
  - 6) Ceiling dead load (5.0 psf) on members: 4-8, 7-8, 8-7
  - 7) Bottom plate live load (42.0 psf) and additional bottom chord dead load (5.0 psf) applied only to roof: 13-14
  - 8) Provide mechanical connection (by offset) of truss to framing plate capable of withstanding 373 lb uplift at joint 1 and 373 lb uplift at joint 11.
  - 9) Design maximum 4x2 (2nd column) purlin to be applied indicated, fastened to truss TC w/ 2-16d nails.
  - 10) Where diagonal bracing is required at other corners, stabilizer may be replaced with wood bracing.

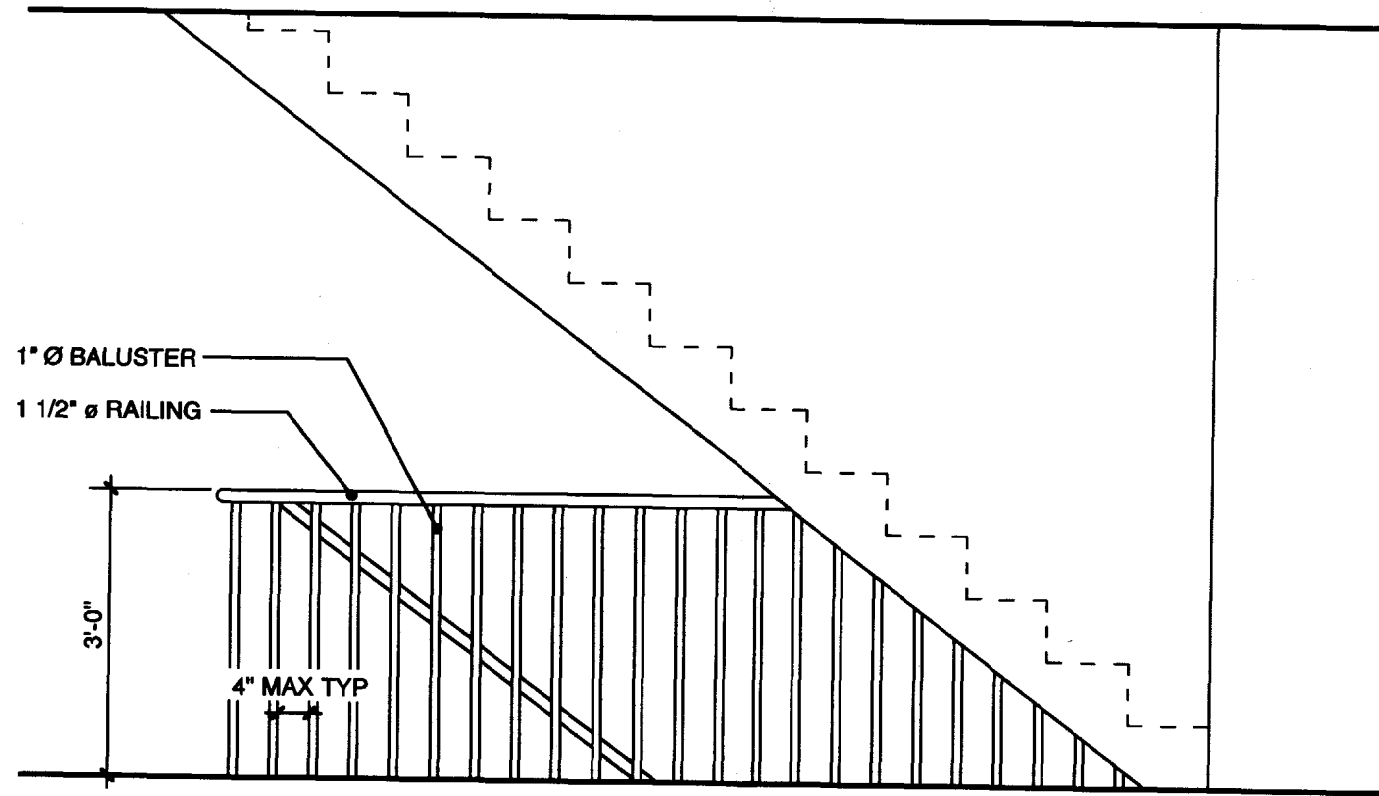
LOAD CASE: Standard

20 psf

*This is the Truss design for the Stairway opening*



REF: 42 Hartley



2nd Floor  
New Balcony Rail

JESSE THOMPSON

42 HARTLEY ST  
PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

DATE: APRIL 17, 2003

SCALE: 1/2" = 1'-0"

STATUS: PERMIT SET

NOT FOR CONSTRUCTION

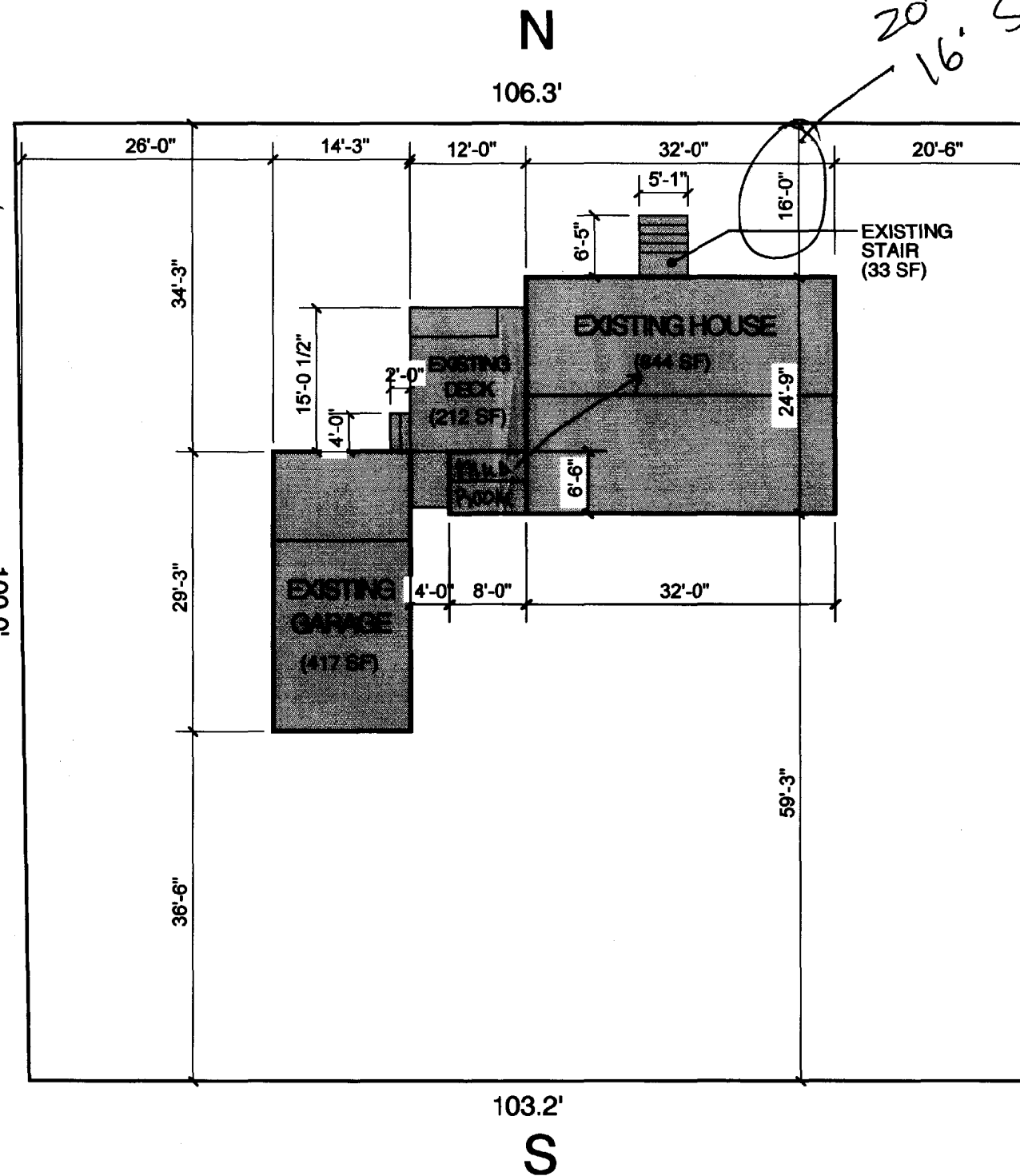
TOTAL LOT COVERAGE:

HOUSE: 844 SF  
 DECK: 212 SF  
 STAIR: 33 SF  
 GARAGE: 417 SF

TOTAL: 1506 SF  
~~417~~  
 1089 SF of Existing Footprint  
 TOTAL LOT SF: 10,475 SF

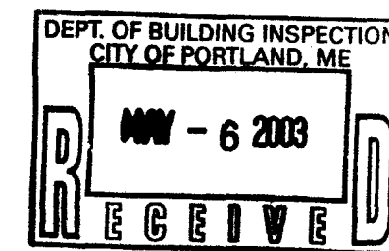
$1089 \times 80\% = 871.2$   
 2nd Floor expansion will be 792 SF of floor area which meets expansion code

W 100.0'



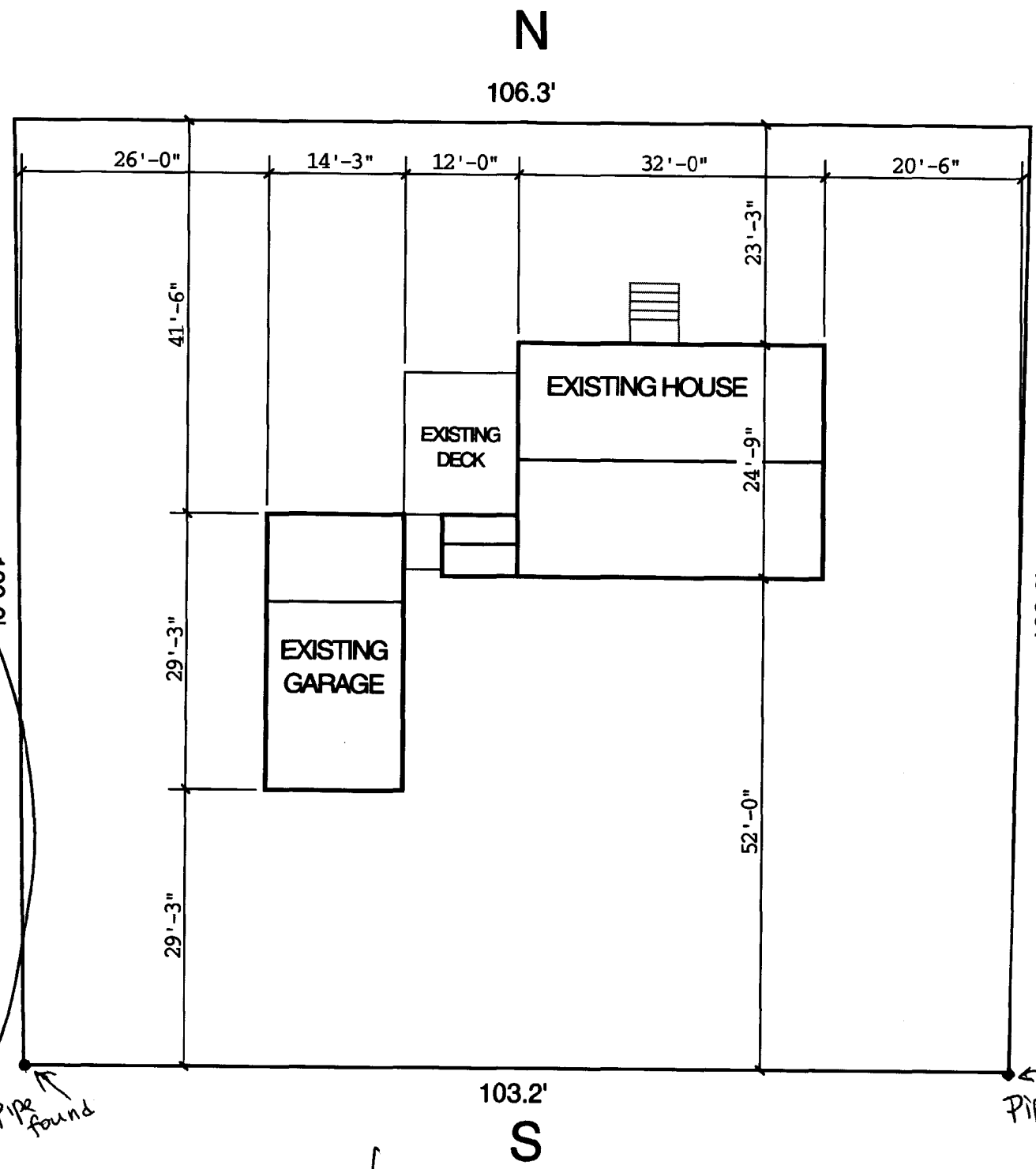
*R-5 Zone  
 20' Front Req  
 16' Shown  
 Does not meet requirement  
 Sec. 14-436 (b)  
 allows an 80% Expansion  
 of Existing Footprint*

*New Plan*



NO CHANGES TO EXISTING BUILDING ENVELOPE

Must submit  
a New Plot  
Plan showing  
Setbacks to property  
lines  
Not from Street!



See New Plan!

NO CHANGES TO EXISTING BUILDING ENVELOPE

R-5 Zone  
 20' Req Front 23'3" shown  
 20' Req Rear 52' shown  
 12' for 2 story 20'6" shown  
 Lot coverage allowed  
 40%  
 $10,466 \times .40\% =$   
 4186.4  
 Existing 907  
 392  
 1299  
 OK

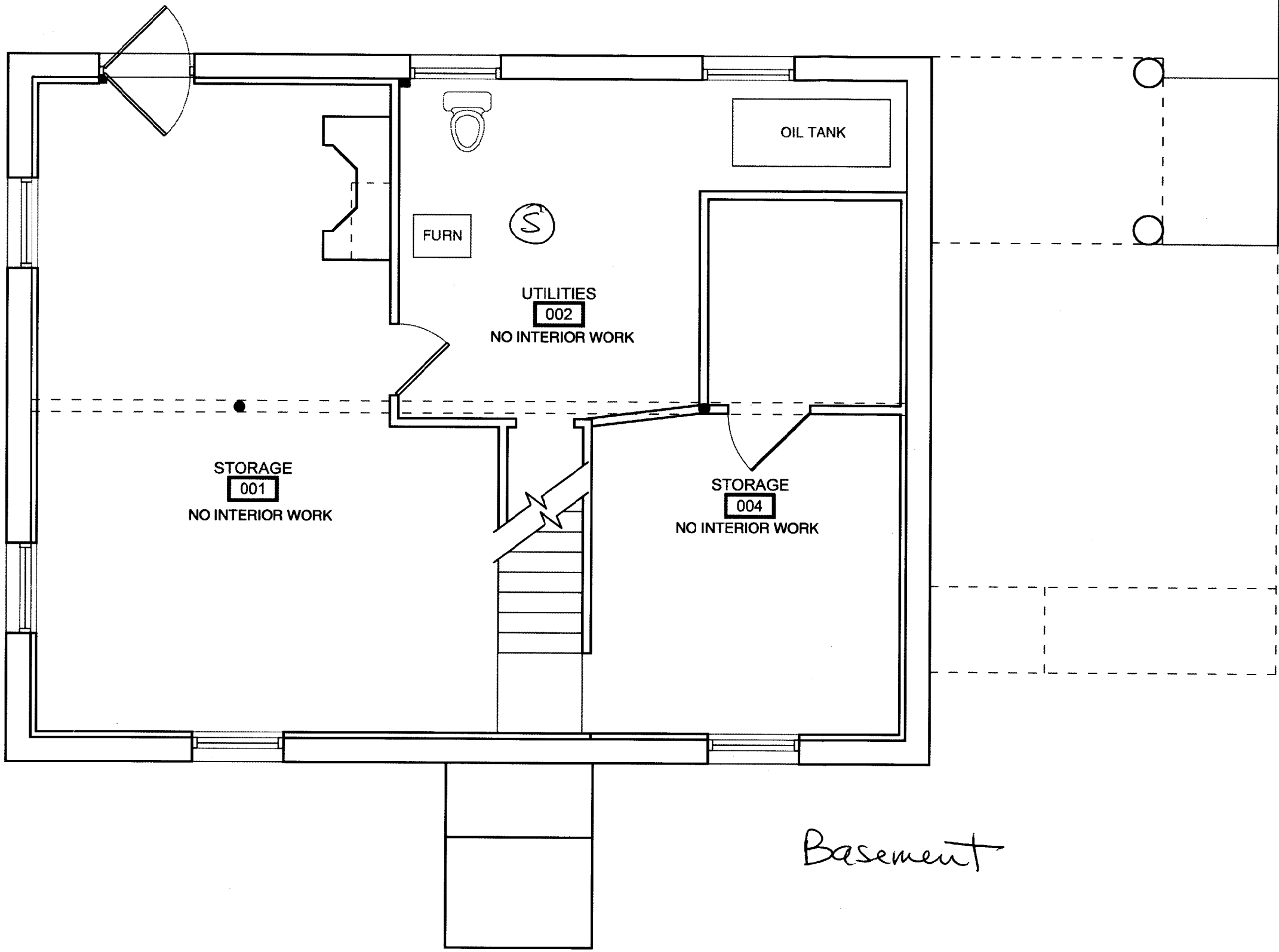
Actually  
From Street

JESSE THOMPSON

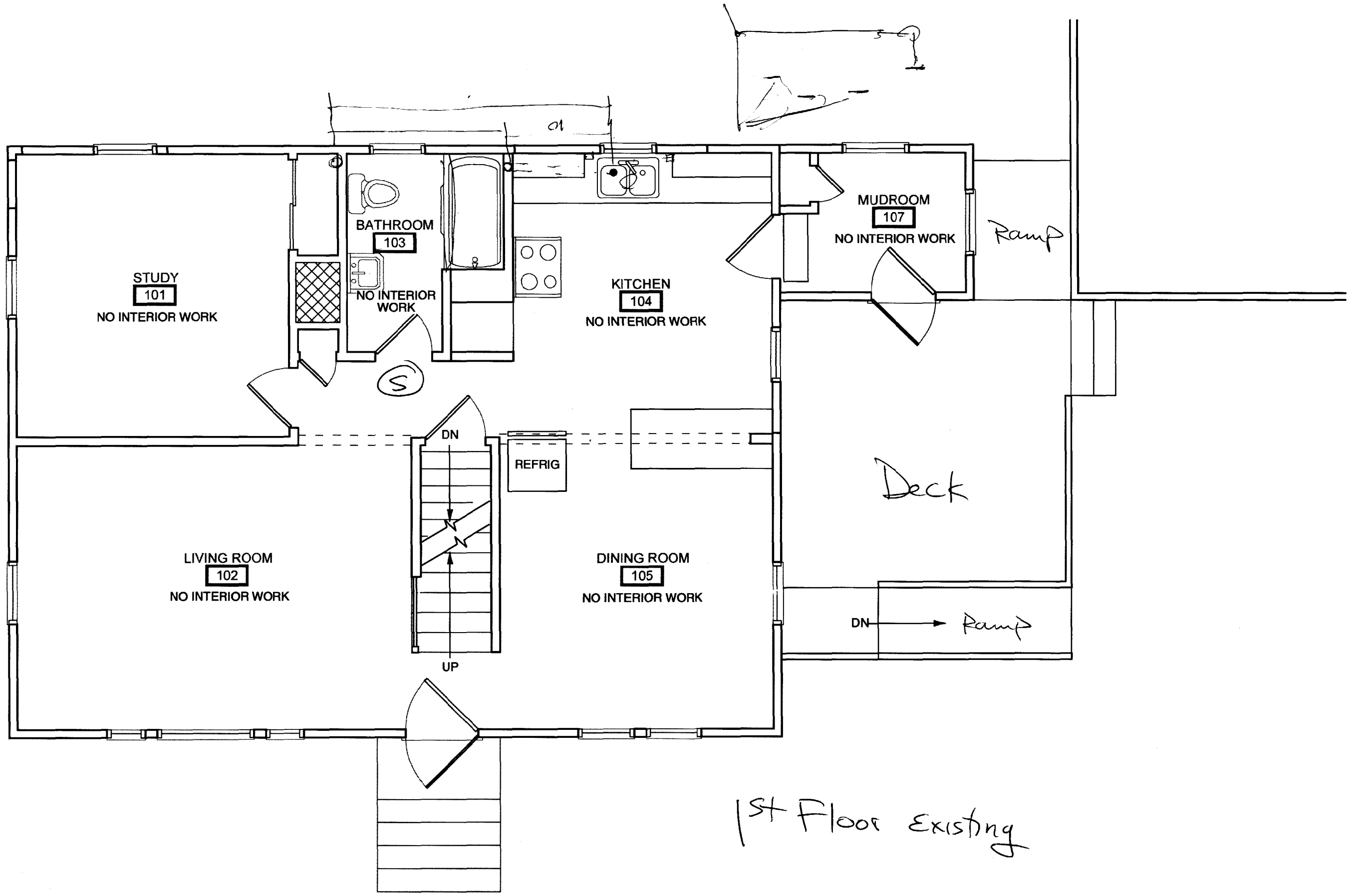
42 HARTLEY ST  
PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

DATE: APRIL 17, 2003 SCALE: 1/16" = 1'-0" STATUS: PERMIT SET NOT FOR CONSTRUCTION



Basement



1st Floor Existing

JESSE THOMPSON  
 90 CONCORD ST  
 PORTLAND, ME  
 04103

42 HARTLEY ST  
 PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

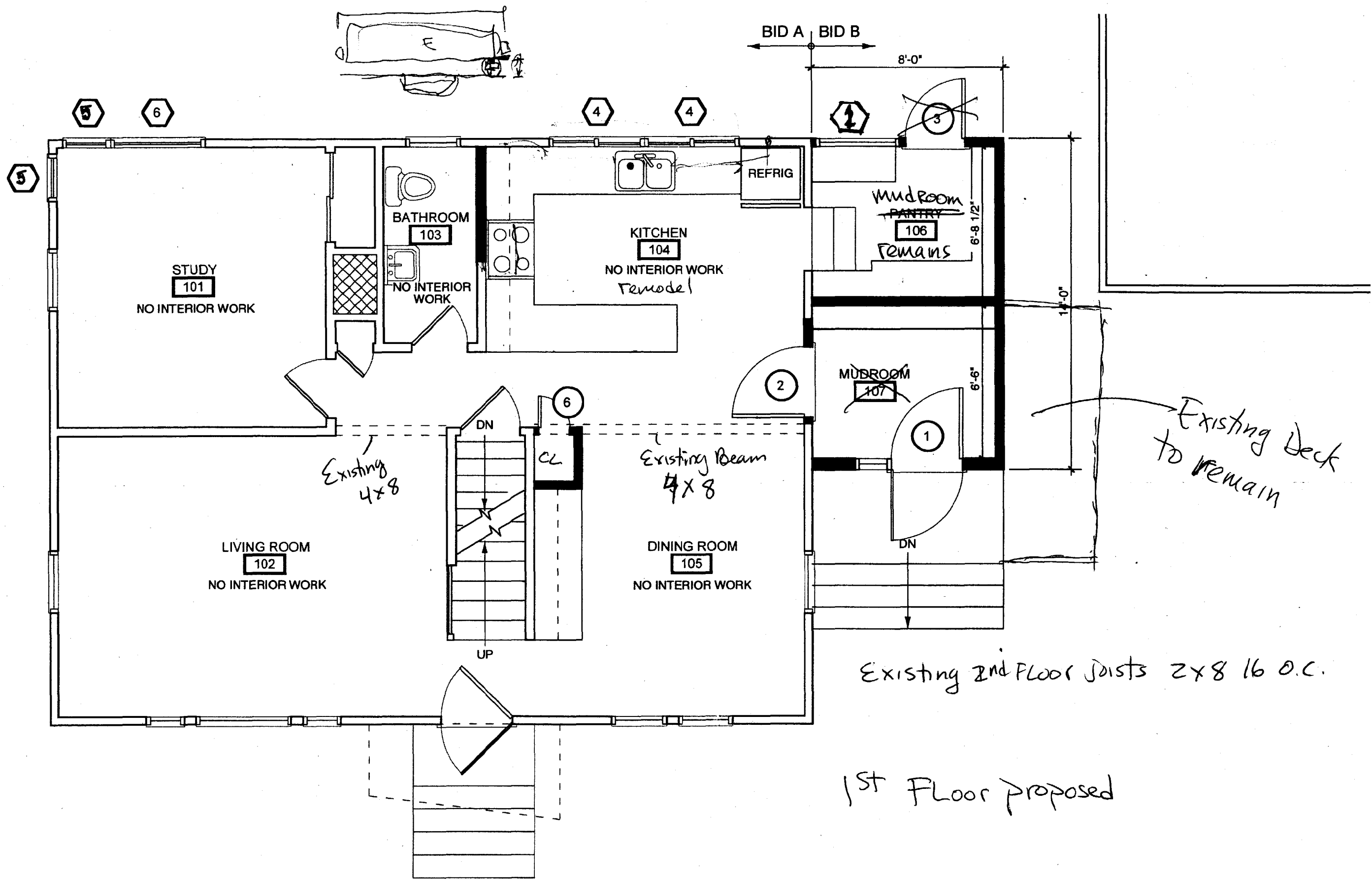
STATUS: PERMIT SET NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"

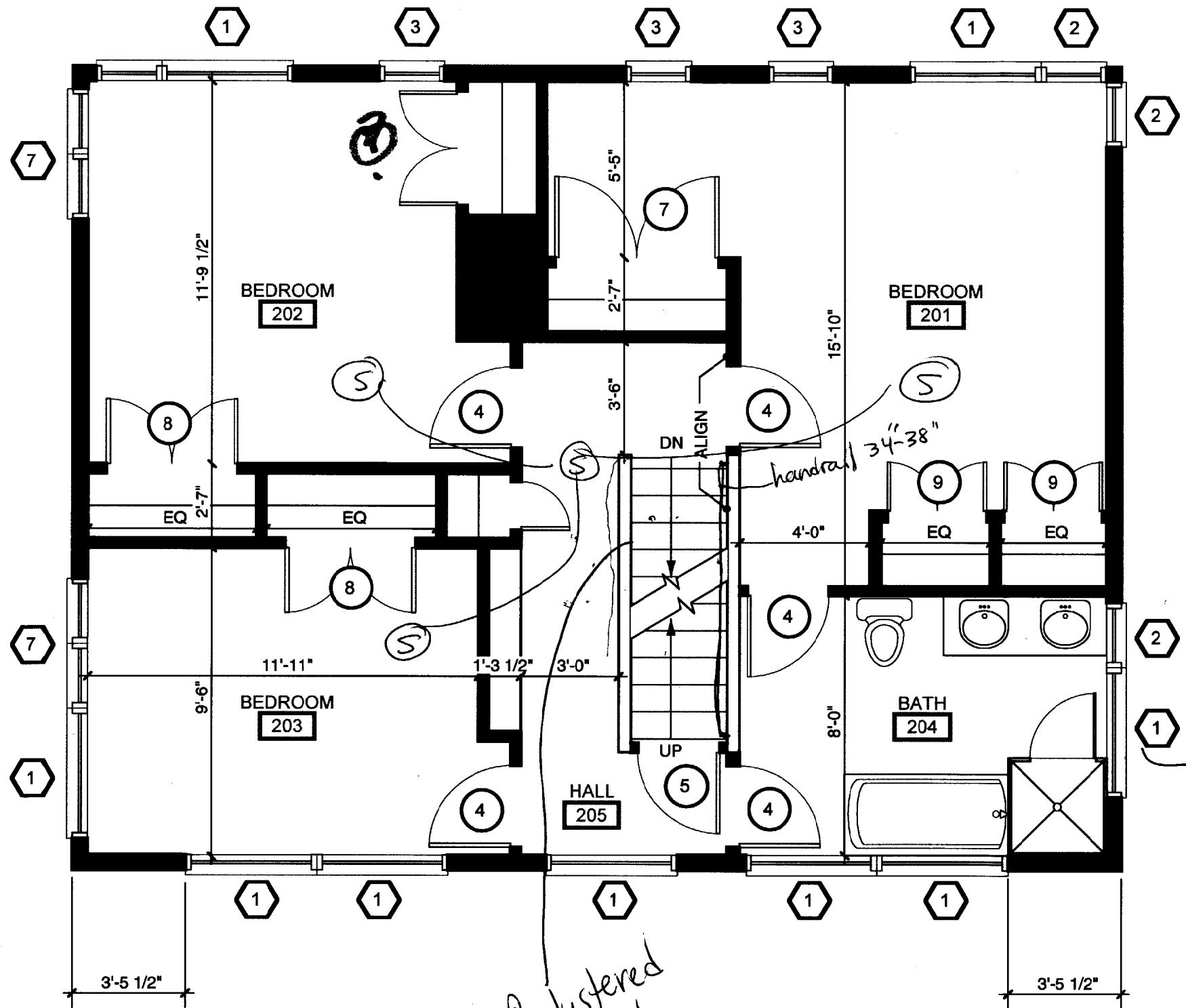
DATE: MARCH 24, 2003

**A-2**





Existing 2nd Floor Joists 2x8 16 O.C.  
 Existing Deck to remain  
 1st Floor proposed



*Balustered Rail*

*2nd Floor Proposed*

*may have to be tempered if below 60"*

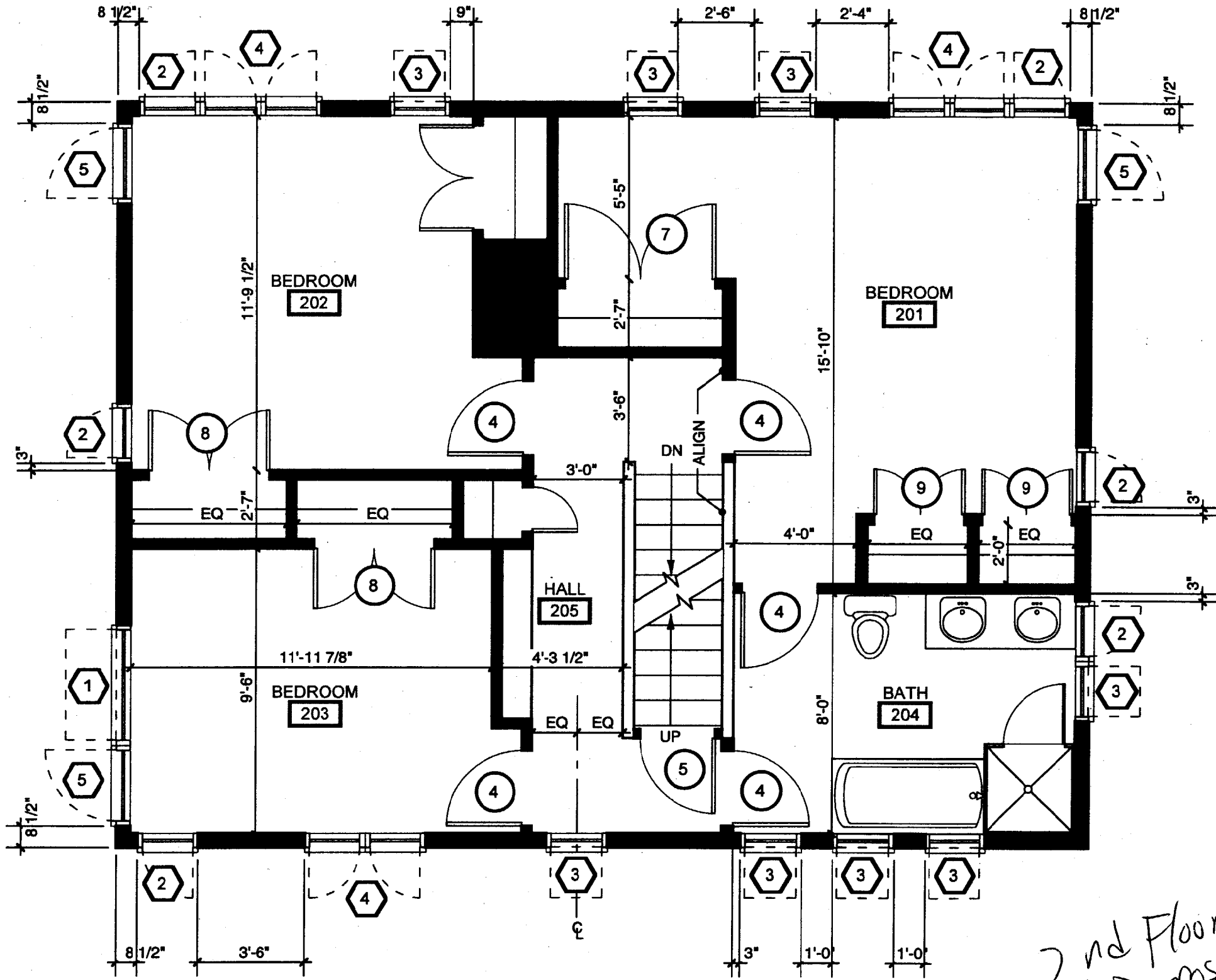
JESSE THOMPSON  
 62 CONCORD ST  
 PORTLAND ME  
 04103  
 (207) 754-1343

42 HARTLEY ST  
 PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

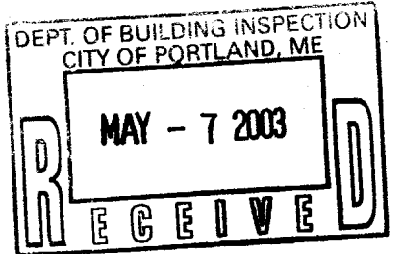
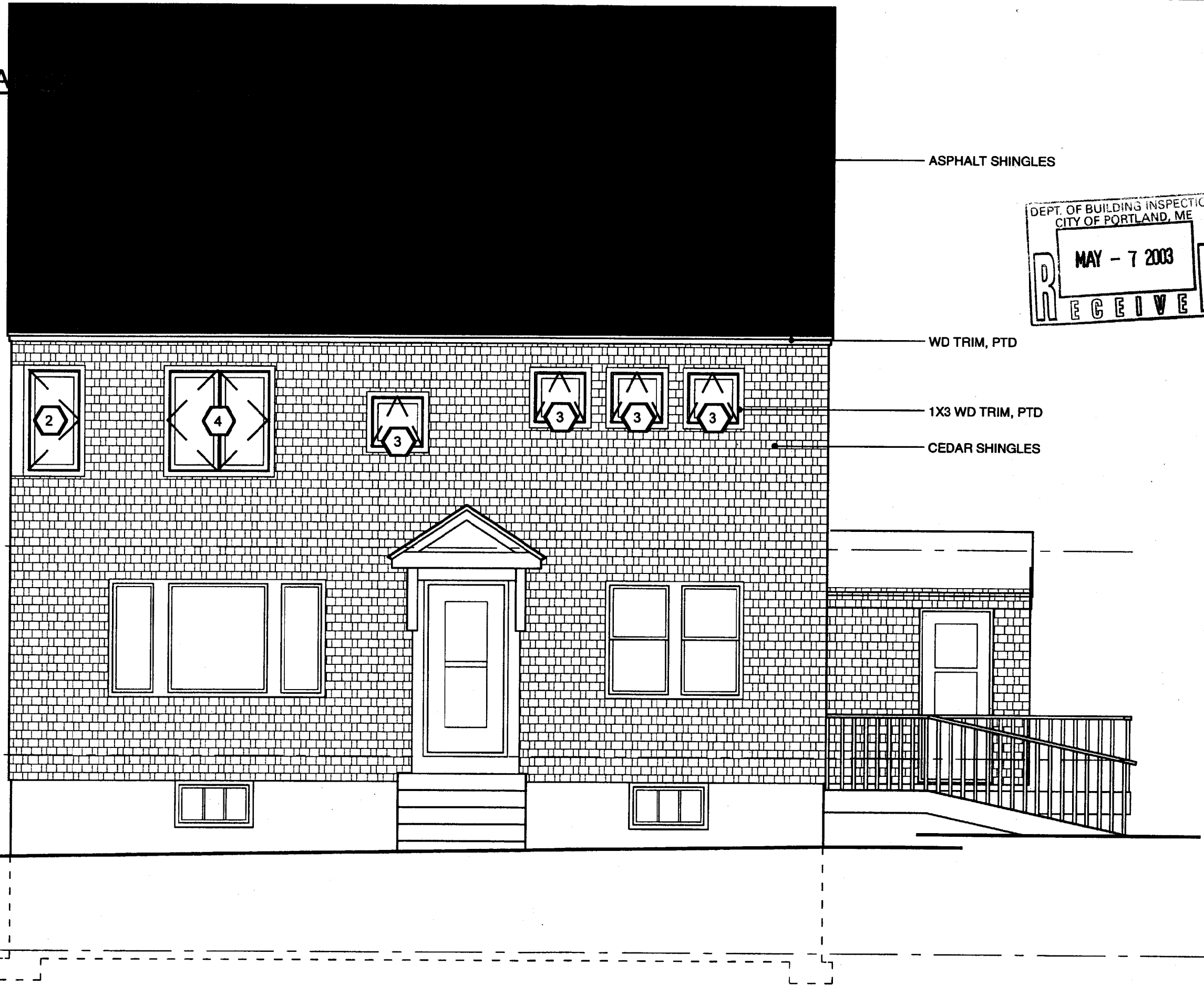
DATE: MARCH 24, 2003    SCALE: 1/4" = 1'-0"    STATUS: PERMIT SET    NOT FOR CONSTRUCTION

**A-3**



2nd Floor  
Proposed  
window  
schedule

**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



SECOND FLOOR  
EL: 108'-3 1/2"

FIRST FLOOR  
EL: 100'-0"

BASEMENT  
EL: 92'-3 1/2"

ASPHALT SHINGLES

WD TRIM, PTD

1X3 WD TRIM, PTD

CEDAR SHINGLES

JESSE THOMPSON  
ARCHITECT  
PORTLAND, ME

42 HARTLEY ST  
PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

**A-4**

STATUS: PERMIT SET NOT FOR CONSTRUCTION

SCALE:

DATE: MAY 07, 2003

**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

ATTIC FLOOR  
EL: 117'-3 1/2"

SECOND FLOOR  
EL: 108'-3 1/2"

FIRST FLOOR  
EL: 100'-0"

BASEMENT  
EL: 92'-3 1/2"

WD RIDGE VENT, PTD

NEW BRICK CHIMNEY

WD TRIM, PTD

CEDAR SHINGLES

1X3 WD TRIM, PTD

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
**MAY - 7 2003**  
RECEIVED

JESSE THOMPSON  
ARCHITECT  
PORTLAND, ME

42 HARTLEY ST  
PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

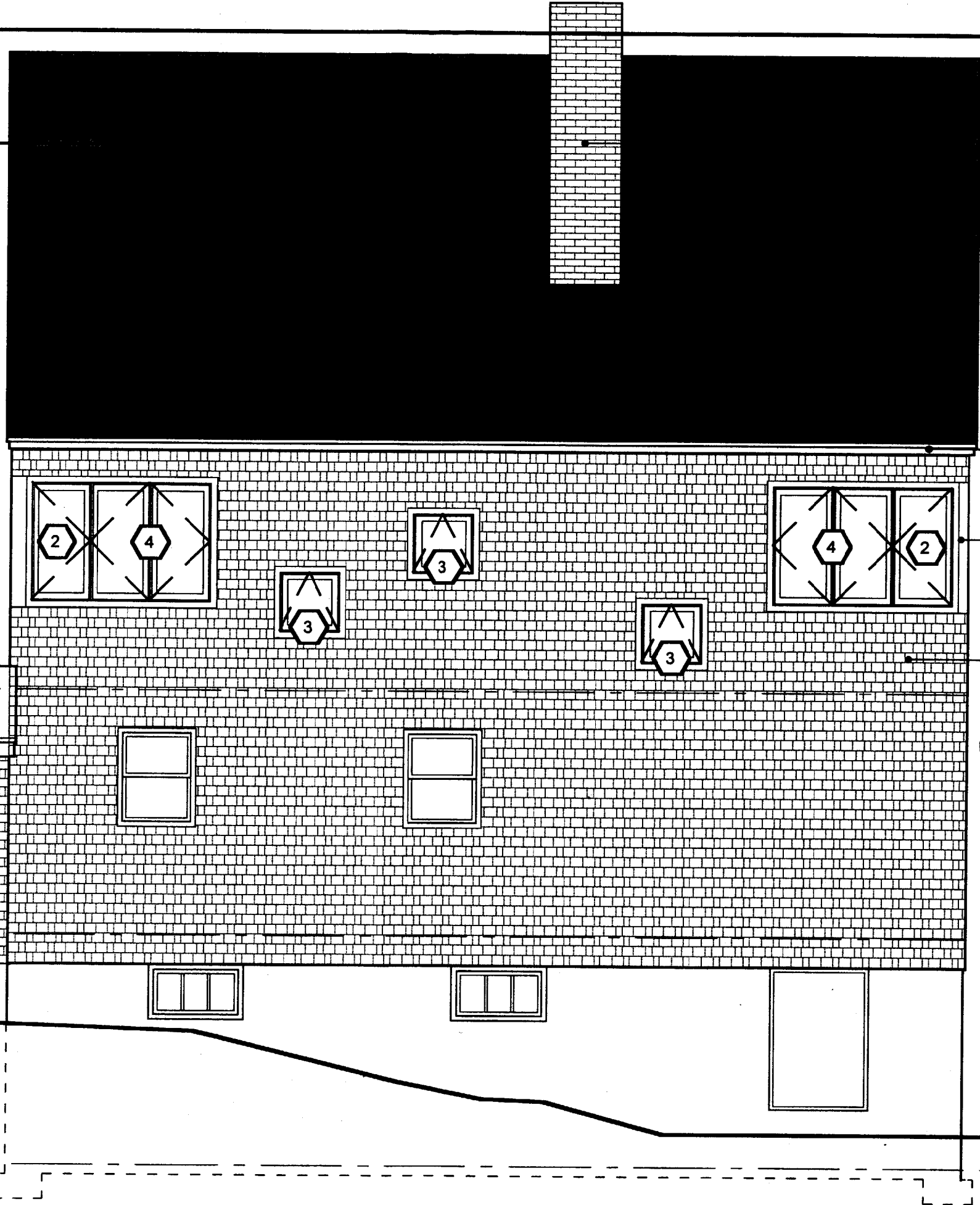
STATUS: PERMIT SET NOT FOR CONSTRUCTION

SCALE:

DATE: MAY 07, 2003

**A-5**

**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



NEW BRICK CHIMNEY

ASPHALT SHINGLES

WD TRIM, PTD

1X3 WD TRIM, PTD

CEDAR SHINGLES

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
**RECEIVED**  
MAY - 7 2003

SECOND FLOOR  
EL: 108'-3 1/2"

FIRST FLOOR  
EL: 100'-0"

BASEMENT  
EL: 92'-3 1/2"

JESSE THOMPSON  
ARCHITECT  
PORTLAND, ME

42 HARTLEY ST  
PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

**A-6**

STATUS: PERMIT SET NOT FOR CONSTRUCTION

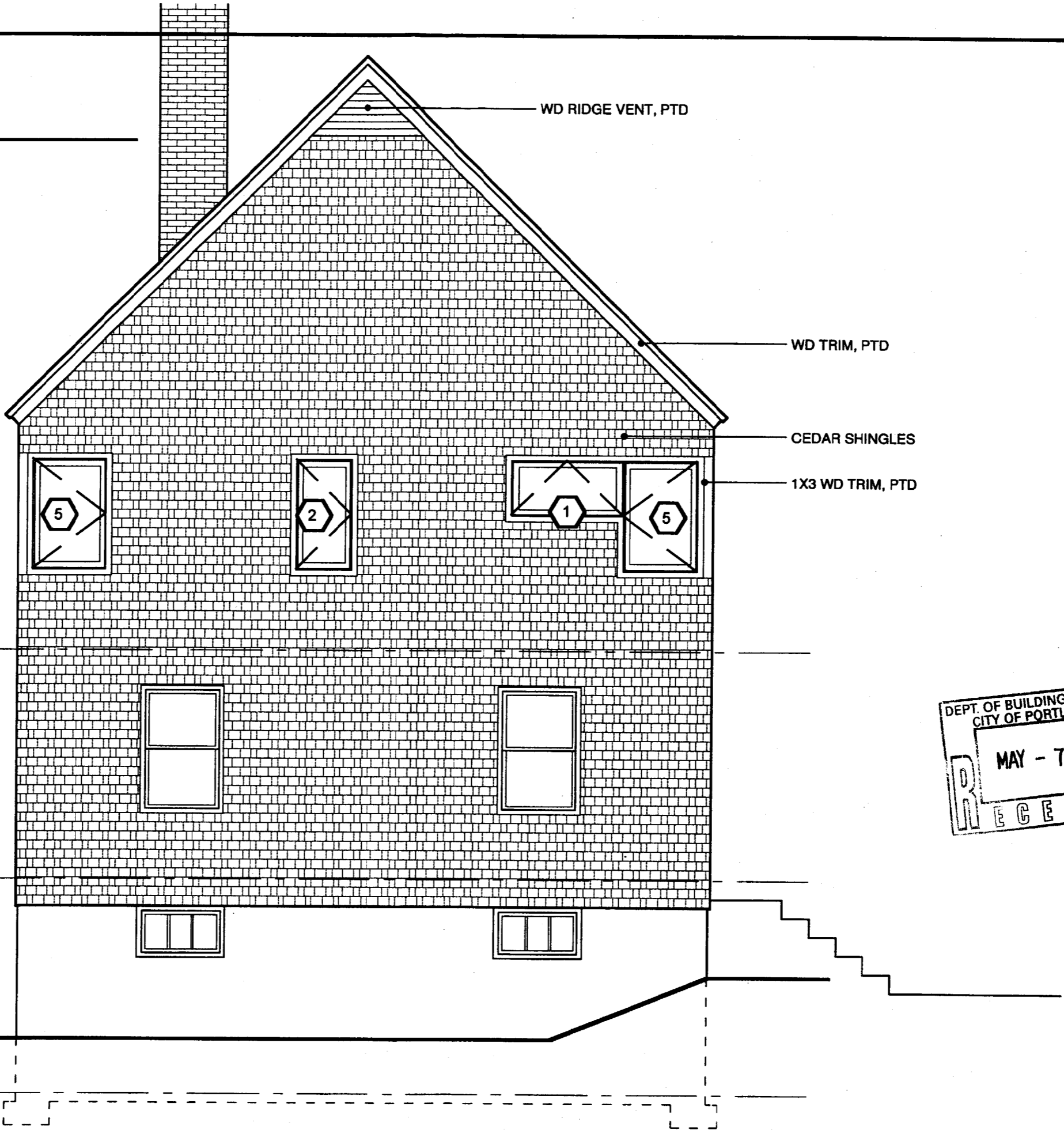
SCALE:

DATE: MAY 07, 2003

1

# EAST ELEVATION

SCALE: 1/4" = 1'-0"



SECOND FLOOR  
EL: 108'-3 1/2"

FIRST FLOOR  
EL: 100'-0"

BASEMENT  
EL: 92'-3 1/2"

WD RIDGE VENT, PTD

WD TRIM, PTD

CEDAR SHINGLES

1X3 WD TRIM, PTD

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAY - 7 2003  
RECEIVED

JESSE THOMPSON  
ARCHITECT  
PORTLAND, ME

42 HARTLEY ST  
PORTLAND, ME

## SULKA-MEISTER / HEWES HOUSE

# A-7

STATUS: PERMIT SET NOT FOR CONSTRUCTION

SCALE:

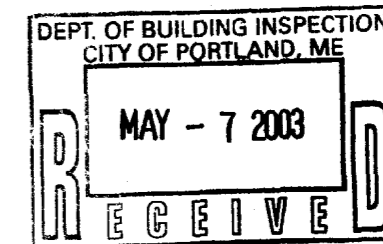
DATE: MAY 07, 2003

## WINDOW SCHEDULE

WINDOW NO.	MFR	TYPE - OPERATION	MODEL NO.	GLAZING	R.O.		NOTES
					WIDTH	HEIGHT	
1	DF	VINYL - AWNING	--	LOW E, INSUL	48"	24"	
2	DF	VINYL - CASEMENT	--	LOW E, INSUL	24"	48"	
3	DF	VINYL - AWNING	--	LOW E, INSUL	24"	24"	
4	DF	VINYL - (2) CASEMENT	--	LOW E, INSUL	48"	48"	
5	DF	VINYL - CASEMENT	--	LOW E, INSUL	32"	48"	EGRESS WINDOW
<del>6</del>	<del>DF</del>	<del>VINYL PICTURE</del>	<del>--</del>	<del>LOW E, INSUL</del>	<del>4' 0 1/2"</del>	<del>5' 0 0/0"</del>	
<del>7</del>	<del>DF</del>	<del>VINYL CASEMENT</del>	<del>--</del>	<del>LOW E, INSUL</del>	<del>4' 0 1/2"</del>	<del>4' 0 1/2"</del>	

## DOOR SCHEDULE

DOOR NO.	MFR	MODEL NO.	STYLE	DOOR				THICKNESS	NOTES
				WIDTH	HEIGHT	MATERIAL	ELEV.		
1			EXTERIOR W/ SIDELIGHT	3'-0"	6'-8"	WOOD		1 3/4"	
2			EXTERIOR	3'-0"	6'-8"	WOOD/GLASS		1 3/4"	
3			EXTERIOR	2'-6"	6'-8"	WOOD/GLASS		1 3/4"	
4			INTERIOR	2'-6"	6'-8"	WOOD		1 3/8"	
5			INTERIOR	2'-4"	6'-8"	WOOD		1 3/8"	
6			INTERIOR	1'-6"	6'-8"	WOOD		1 3/8"	
7			CLOSET PAIR	(2) 2'-6"	6'-8"	WOOD		1 3/8"	
8			CLOSET PAIR	(2) 2'-0"	6'-8"	WOOD		1 3/8"	
9			CLOSET PAIR	(2) 1'-6"	6'-8"	WOOD		1 3/8"	



## FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING FINISH	CEILING HEIGHT	NOTES
001	OFFICE						
002	UTILITIES						
003	PLAYROOM						
004	STORAGE						
101	STUDY						
102	LIVING ROOM						
103	BATHROOM						
104	KITCHEN						
105	DINING ROOM						
106	PANTRY	LINOLEUM	WD, PTD	GYP BD, PTD	GYP BD, PTD	8'-0"	
107	MUDROOM	LINOLEUM	WD, PTD	GYP BD, PTD	GYP BD, PTD	8'-0"	
201	BEDROOM	WOOD	WD, PTD	GYP BD, PTD	GYP BD, PTD	8'-0"	
202	BEDROOM	WOOD	WD, PTD	GYP BD, PTD	GYP BD, PTD	8'-0"	
203	BEDROOM	WOOD	WD, PTD	GYP BD, PTD	GYP BD, PTD	8'-0"	
204	BATHROOM	LINOLEUM	TILE	TILE / GWP	GYP BD, PTD	8'-0"	
205	HALLWAY	WOOD	WD, PTD	GYP BD, PTD	GYP BD, PTD	8'-0"	

JESSE THOMPSON  
ARCHITECT  
PORTLAND, ME

42 HARTLEY ST  
PORTLAND, ME

**SULKA-MEISTER / HEWES HOUSE**

STATUS: PERMIT SET NOT FOR CONSTRUCTION

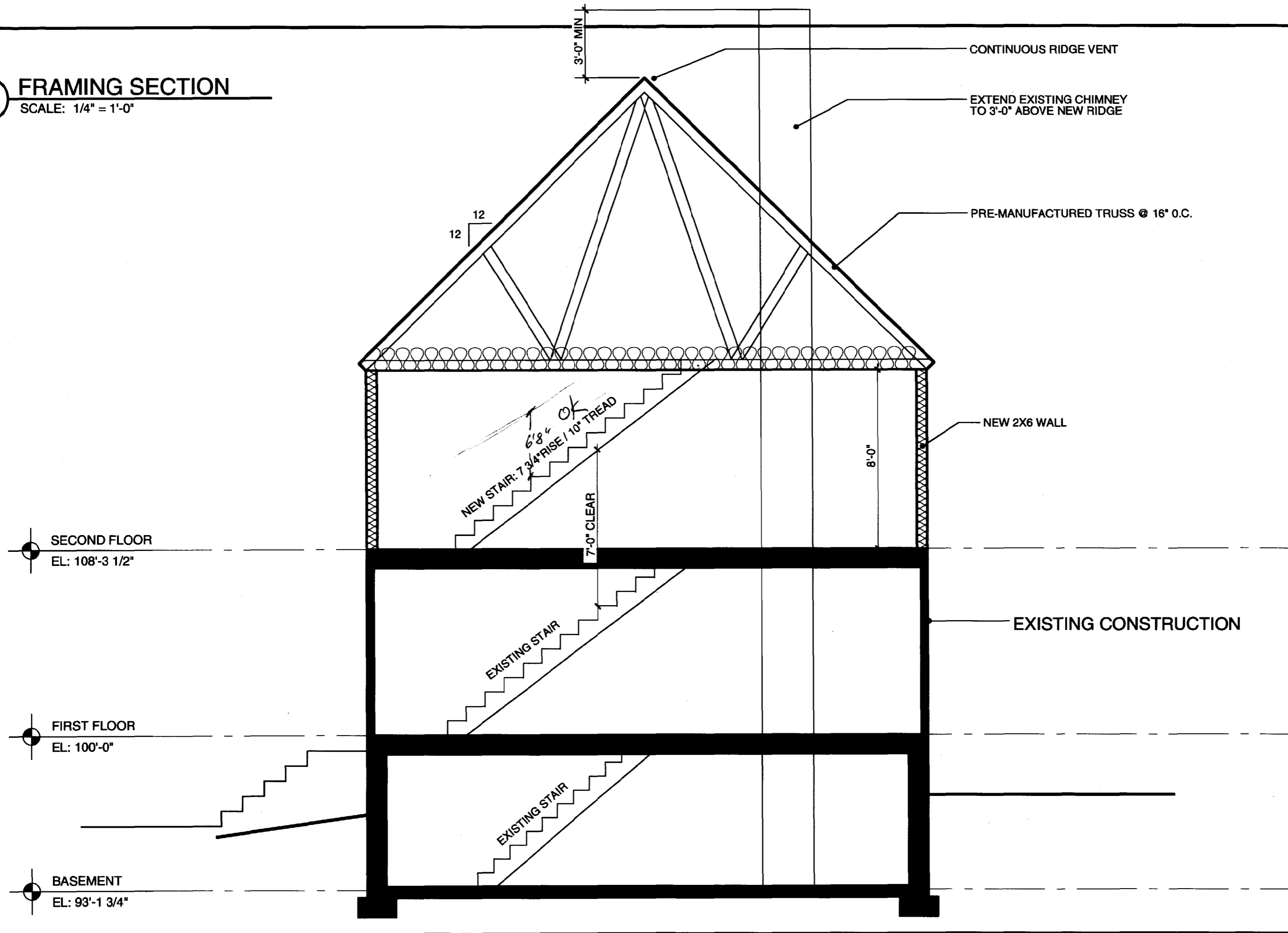
SCALE:

DATE: MAY 07, 2003

**A-8**



**1 FRAMING SECTION**  
SCALE: 1/4" = 1'-0"



JESSE THOMPSON  
33 CONCORD ST  
PORTLAND, ME  
04103  
207.761.1111

**SULKA-MEISTER / HEWES HOUSE**  
42 HARTLEY ST  
PORTLAND, ME

DATE: MARCH 24, 2003    SCALE: 1/4" = 1'-0"    STATUS: PERMIT SET    NOT FOR CONSTRUCTION

**A-9**



# CITY OF PORTLAND, MAINE

Department of Building Inspections

May 1

20 03

Received from Laurence Hewes

Location of Work 42 Hartley

Cost of Construction \$ 45,000.

Permit Fee \$ 338.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 137-F-4

Check #: 1929

Total Collected \$ 338.00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy