

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BU **PERMIT** ION

Permit Number: 090910

PERMIT ISSUED  
[Stamp area]

This is to certify that MARDIGAN STEPHEN E / Architect for Const

has permission to Reframing Section of roof on existing building

AT 865 FOREST AVE

C 137 C011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

Carne Banke 9/1/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

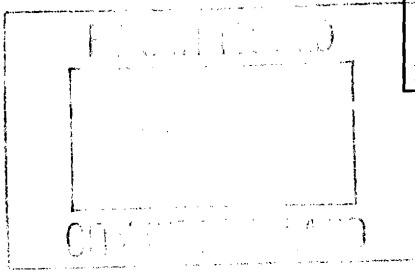
**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0910	Issue Date:	CBL: 137 C011001
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Location of Construction: 865 FOREST AVE	Owner Name: MARDIGAN STEPHEN E	Owner Address: 460 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Albair Construction /Tim	Contractor Address: 10 Alexander Drive Cape Elizabeth	Phone: 2078319338
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2

Past Use: Commercial	Proposed Use: Commercial - Reframing Section of roof on existing building <i>restaurant "mexico Lmdo"</i> <i>new clerestory &amp; new dormers</i>	Permit Fee: \$470.00	Cost of Work: \$45,000.00	CEO District: 4
Proposed Project Description: Reframing Section of roof on existing building		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: A-2 Type: SB FBI-2003 Signature: <i>JMB 9/1/09</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 08/21/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption given to PLANNING Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/25/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0910	Date Applied For: 08/21/2009	CBL: 137 C011001
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Location of Construction: 865 FOREST AVE	Owner Name: MARDIGAN STEPHEN E	Owner Address: 460 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Albair Construction /Tim	Contractor Address: 10 Alexander Drive Cape Elizabeth	Phone (207) 831-9338
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Restaurant -Reframing Section of roof on existing building - new clerestory & 6 new dormers	Proposed Project Description: Reframing Section of roof on existing building- new clerestory and 6 new dormers
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 08/25/2009

**Note:**      **Ok to Issue:**

- 1) This permit is not to add a new story, only 6 dormers and clerestory as shown.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/01/2009

**Note:**      **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 08/26/2009

**Note:**      **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) All construction shall comply with NFPA 101

**Comments:**

8/25/2009-mes: This needs a site plan review for new construction - I will make out a site plan exemption. Height looks way under 45'.

8/28/2009-gg: received granted site plan exemption as of 8/28/09. Filed with permit. /gg

9/1/2009-jmb: Spoke with Tim A. About access to new attic, he verified there are existing rooftop units and there will probably be some lighting inthe dormers. He may put access from the gable end or one of the dormers.



# General Building Permit Application

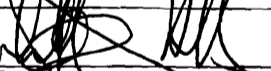
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>865 Forest Ave.</u>		
Total Square Footage of Proposed Structure/Area <u>3750 #</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>137</u> Block# <u>C</u> Lot# <u>011</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Steve Mardigan</u> Address <u>460 Baxter Blvd.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone:
Lessee/DBA (If Applicable)  <u>AUG 21 2009</u>	Owner (if different from Applicant) Name <u>Steve Mardigan</u> Address <u>460 <del>Forest Ave.</del> Baxter Blvd.</u> City, State & Zip <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>45,000.-</u> C of O Fee: \$ _____ Total Fee: \$ <u>470.00</u>
Current legal use (i.e. single family) <u>Commercial</u> <sup>MULTI USE</sup> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>same</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Reframing section of roof on existing building</u>		
Contractor's name: <u>Albair Construction / Timothy Albair</u> Address: <u>10 Alexander Dr.</u> City, State & Zip <u>Cape Elizabeth, ME 04107</u> Telephone: _____ Who should we contact when the permit is ready: <u>Tim</u> Telephone: <u>851-9338</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 8/19/09

This is not a permit; you may not commence ANY work until the permit is issue



# Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: Roof Replacement

PROJECT ADDRESS: 865 Forest Ave

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

Reframe Roof w/new rafters & sheathing

AUG 28 2009

CHART/BLOCK/LOT: 137-C-011

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: Steve Mardigan

Address: 460 Baxter Bldg  
Portland, ME

Zip Code: 04103

Work #: \_\_\_\_\_

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### CONSULTANT/AGENT

Name: Allair Construction

Address: 10 Alexander Dr.  
Cape Elizabeth, ME

Zip Code: 04107

Work #: 831 9338

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: \_\_\_\_\_

RECEIVED

AUG 21 2009

City of Portland  
Planning Division

#### Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>Y</u>	<u>yes - no footprint expansion</u>
b) Are there any new buildings, additions, or demolitions?	<u>N</u>	<u>no</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>N</u>	<u>yes - OK</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>no</u>
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	<u>yes BPS OK</u>
f) Do the curbs and sidewalks comply with ADA?	<u>Y</u>	<u>yes " "</u>
g) Is there any additional parking?	<u>N</u>	<u>no</u>
h) Is there an increase in traffic?	<u>N</u>	<u>lg plg lot existing</u>
i) Are there any known stormwater problems?	<u>N</u>	<u>no</u>
j) Does sufficient property screening exist?	<u>Y</u>	<u>not applicable</u>
k) Are there adequate utilities?	<u>Y</u>	<u>not applicable</u>

#### Planning Division Use Only

Exemption Granted  Partial Exemption  Exemption Denied

Subject to there being no 2nd floor added in at the corner level.

Planner's Signature Jan Maser

Date 8-26-09

~ Original - Planning Division ~

~ Copy - Inspections Division and Applicant ~

PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: EXEMPTIONS FROM SITE PLAN REVIEW

**Sec. 14-523. Approval required.**

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
  - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
  - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
  - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
  - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
  - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
  - g. There are no evident deficiencies in existing screening from adjoining properties; and
  - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

**IMPORTANT NOTICE TO APPLICANT**

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

**Planning Barbara Barhydt**

8/26/09

Exemption for 865 Forest Avenue

1. Subject to there being no 2<sup>nd</sup> floor added in at the dormer level.



# PORTLAND MAINE

Planning Division  
Jean Fraser, Planner

8-26-09.

Re: Appl. for Exemption  
865 Forest Ave  
(Roof replacement)

Discussed at Dev Rev 8-26-09  
Marge Schmuckel confirmed OK  
re zoning; no other issues  
identified as within existing  
foot print. \*

Eric + Inspections have been  
dealing with construction  
issues.

JF.

\* Marge S. confirmed that plans etc  
they have / her discussions w/ applicant  
showed no introduction of another  
floor. She + I agreed to condition the  
exemption to cover this.





8-26-09.

Spoke to Marge re whether the dormers + clear-storey were going to facilitate / accompany a new 2nd floor (which would inc. capacity → more traffic → not be an exemption).

Marge confirmed that submissions she had received / discussions (same plans as in exemption appl) did not include another floor + were just to make lower level more attractive. Condition included just to make this clear  
JA.



# Certificate of Design Application

From Designer: Bruce W. MacLeod, PE  
 Date: 8/20/09  
 Job Name: Re-roof Project  
 Address of Construction: 865 Forest Ave.

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) M  
 Type of Construction IV unprotected  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No  
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

### Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)  
90 Basic wind speed (1809.3)  
III, Iw=1.0 Building category and wind importance Factor,  $I_w$   
B Wind exposure category (1609.4)  
+/-0.18 Internal pressure coefficient (ASCE 7)  
 \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)  
 \_\_\_\_\_ Seismic use group ("Category")  
 \_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_I$  (1615.1)  
 \_\_\_\_\_ Site class (1615.1.5)

\_\_\_\_\_ Live load reduction  
 \_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)  
42 psf Roof snow loads (1603.7.3, 1608)  
60 psf Ground snow load,  $P_g$  (1608.2)  
42 psf If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
1.0 Roof thermal factor,  $C_t$  (1608.4)  
 \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
B Seismic design category (1616.3)  
Masonry shear walls Basic seismic force resisting system (1617.6.2)  
existing Response modification coefficient,  $R$ , and  
 \_\_\_\_\_ deflection amplification factor,  $C_d$  (1617.6.2)  
 \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
 \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)  
**Flood loads (1803.1.6, 1612)**  
 \_\_\_\_\_ Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure  
**Other loads**  
 \_\_\_\_\_ Concentrated loads (1607.4)  
 \_\_\_\_\_ Partition loads (1607.5)  
 \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
 1607.12, 1607.13, 1610, 1611, 2404)



## Certificate of Design

Date:

8 August 20, 2009

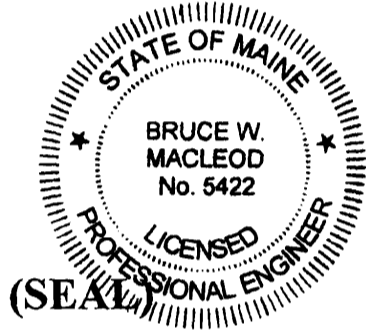
From:

Bruce W. MacLeod

These plans and / or specifications covering construction work on:

Re-Roofing existing building at 865 Forest Ave

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature:

Bruce W. MacLeod

Title:

Professional

Firm:

MacLeod Structural Engineers, PA

Address:

404 Main Street

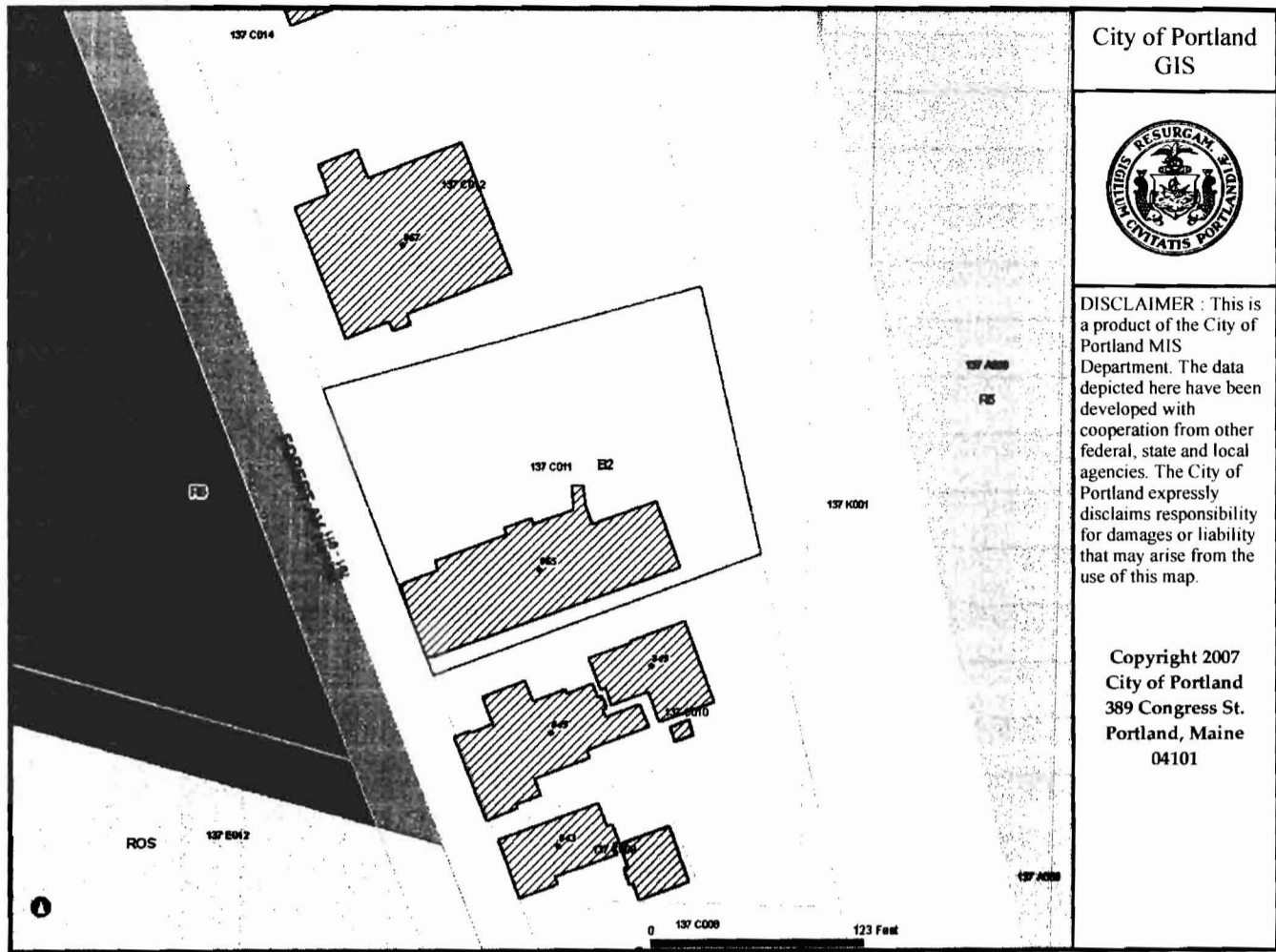
Gorham, Me 04038

Phone:

839-0980

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)





City of Portland  
GIS



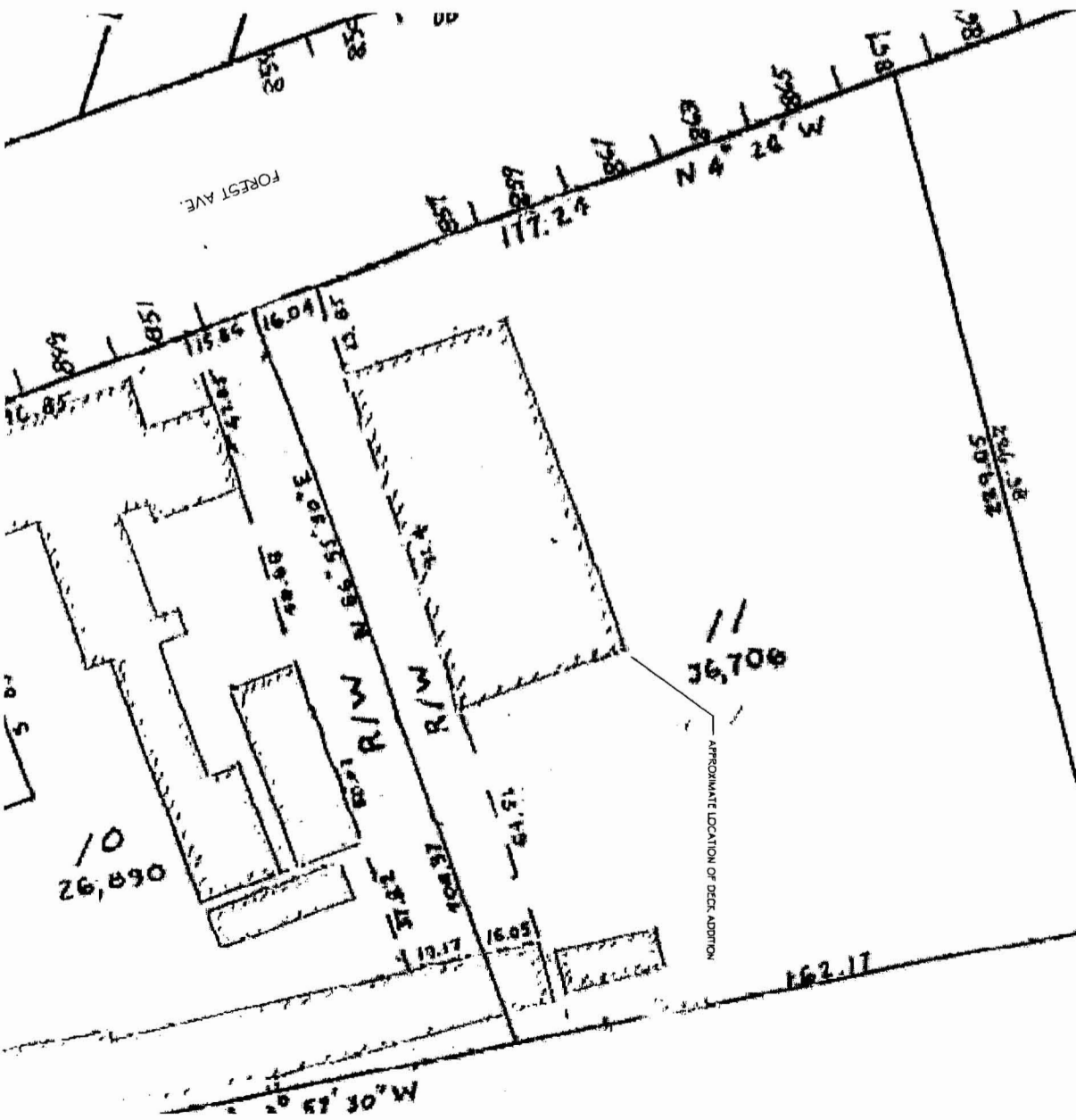
DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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City of Portland  
389 Congress St.  
Portland, Maine  
04101



AERIAL PHOTO

near 10' ramp - 59.9 alc  
 side - near 27.1' - 85.0 alc.  
 impervious surface ok - going over  
 and having measurement.



TAX MAP PLOT PLAN

NOTE:  
 INFORMATION DEPICTED ON THIS PLAN IS DERIVED FROM THE CITY OF  
 PORTLAND TAX MAP AND ASSOCIATED DESIGN PARTNERS, INC. DOES NOT  
 WARRANT OR GUARANTEE IN ANY WAY THE ACCURACY OR COMPLETENESS  
 OF INFORMATION DEPICTED. THIS IS A SCHEMATIC REPRESENTATION OF THE  
 BUILDING AND LOT CONFIGURATION AND IS NOT A BOUNDARY SURVEY.

43566



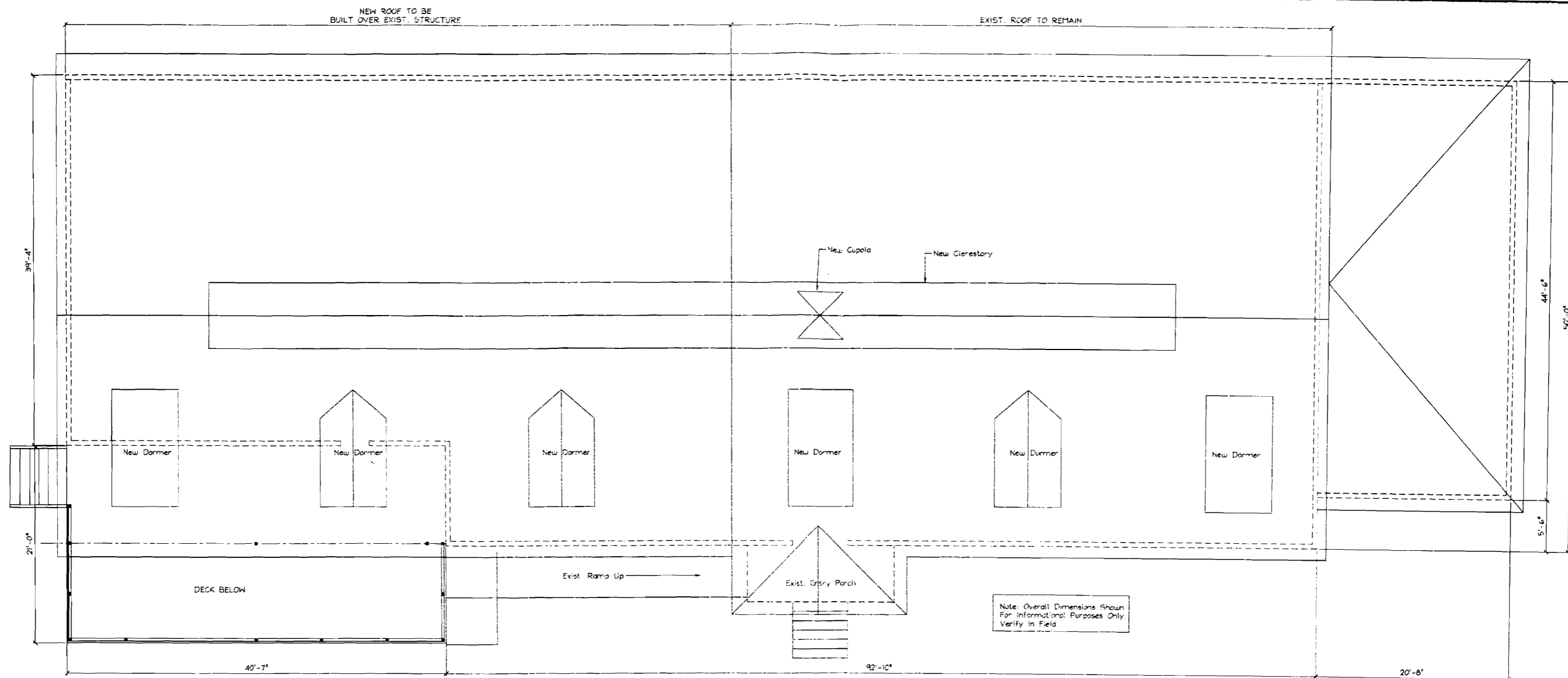
DATE: 04-08-06  
 SCALE: 1:200  
 DESIGN BY: ASW  
 DRAWN BY: BEC  
 FILE # 07067-A10.DWG  
 PROJECT NUMBER:  
 07067  
 SHEET NO:  
 C101

No.	BY	REVISIONS DESCRIPTION	DATE
1			
2			
3			

PROJECT: 865 FOREST AVE.  
 PORTLAND, MAINE  
 FOR: GRANT WILSON  
 SHEET TITLE:  
 SITE AERIAL PHOTO + TAX MAP  
 ISSUED FOR PERMITTING

**ASSOCIATED DESIGN PARTNERS INC.**  
 80 Leighton Road Falmouth, Maine 04105  
 Office: (207) 878-1751  
 Fax: (207) 878-1788  
 E-Mail: adp@adpengineering.com

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**ROOF PLAN**

SCALE: 3/16" = 1'-0"

**WOOD FRAMING NOTES:**

- STRUCTURAL LUMBER: SOUTHERN YELLOW PINE NO1/NO2 OR BETTER  
PRESSURE TREATED  
Fb = 975 PSI Fv = 175 PSI  
Fc = 1450 PSI E = 1400000 PSI
- MANUFACTURED LUMBER: BOISE CASCADE VERSA-LAM 2.0 3100  
Fb = 3100 PSI Fv = 285 PSI  
Fc = 3000 PSI E = 2000000 PSI
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BUILDING CODE, 1996 EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD ROOF DECK:  
PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE:  
8d NAILS @ 6" o.c. ALONG PANEL EDGES  
8d NAILS @ 8" o.c. ALONG INTERMEDIATE MEMBERS
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER.

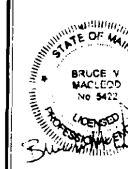
**STRUCTURAL DESIGN CRITERIA:**

- BUILDING CODE: 2006 EDITION OF THE INTERNATIONAL BUILDING CODE
- DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:  
DESIGN WIND SPEED = 90 MPH  
BUILDING EXPOSURE CATEGORY = B
- DESIGN WIND LOADS - COMPONENTS AND CLADDING:  
EXPOSURE CATEGORY = C
- SNOW:  
GROUND SNOW LOAD = 60 PSF  
IMPORTANCE FACTOR, I = 1.0  
EXPOSURE FACTOR, Ce = 1.0  
FLAT ROOF SNOW LOAD = 42 PSF
- ROOF DEAD LOAD = 15 PSF
- FLOOR LOAD:  
LIVE LOAD - RESTAURANT = 100 PSF  
DEAD LOAD = 10 PSF
- DESIGN SEISMIC CRITERIA:  
SEISMIC DESIGN CATEGORY = B

#	DATE	DESCRIPTION
1	7/20/09	General floor framing
2	8/7/09	General revisions

865 FOREST AVE.

**MacLeod**  
Structural Engineering



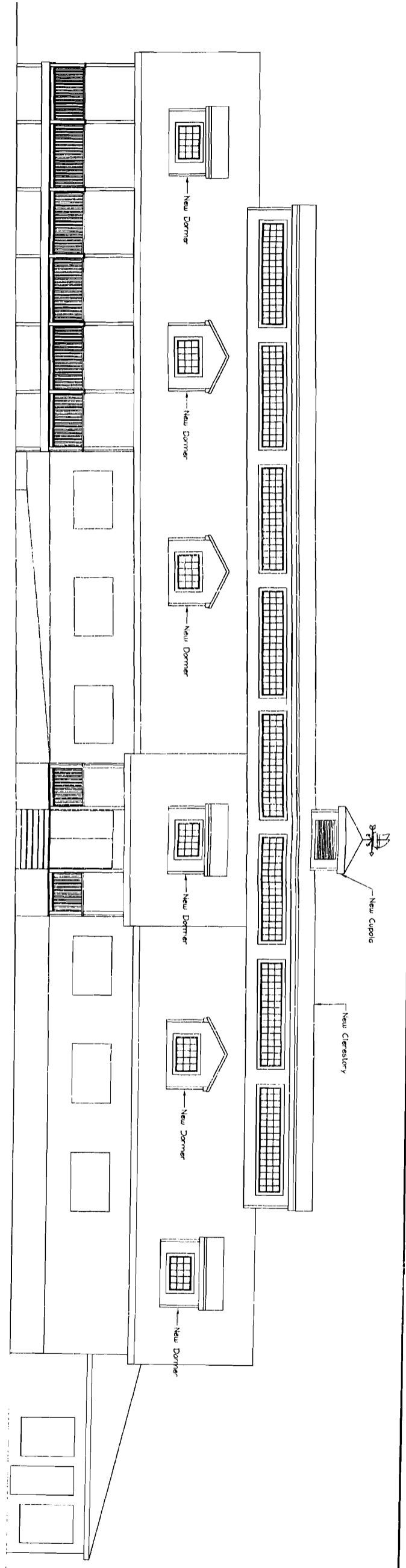
THIS DRAWING IS:  
 Submitted For Permittance  
 Date: 8/7/09  
 This Drawing Shall Be Considered "Contract Document" Only  
 Whenever The Engineer's Seal Or Signature Is Shown Be Considered "Progress Sheet" - Not For Construction

CHKD BY: BVM  
 DATE: 8/18/09  
 SCALE: AS NOTED  
 PROJ. NO: 2009-1

SHEET TITLE

ROOF PLAN & NOTES

51 OF



FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

CURRENT REVISION		
#	DATE	DESCRIPTION
1	7/29/09	GRADED ROOF FRAMES
2	8/7/09	GENERAL REVISIONS

865 FOREST AVE.

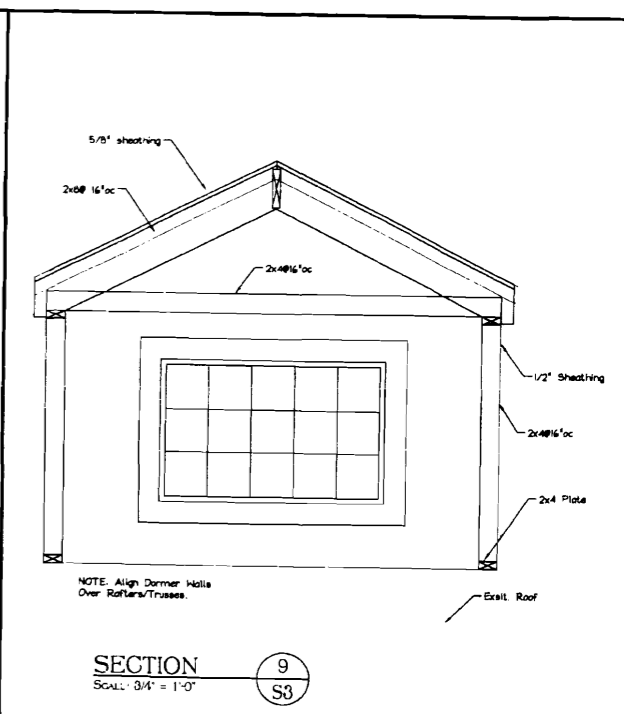
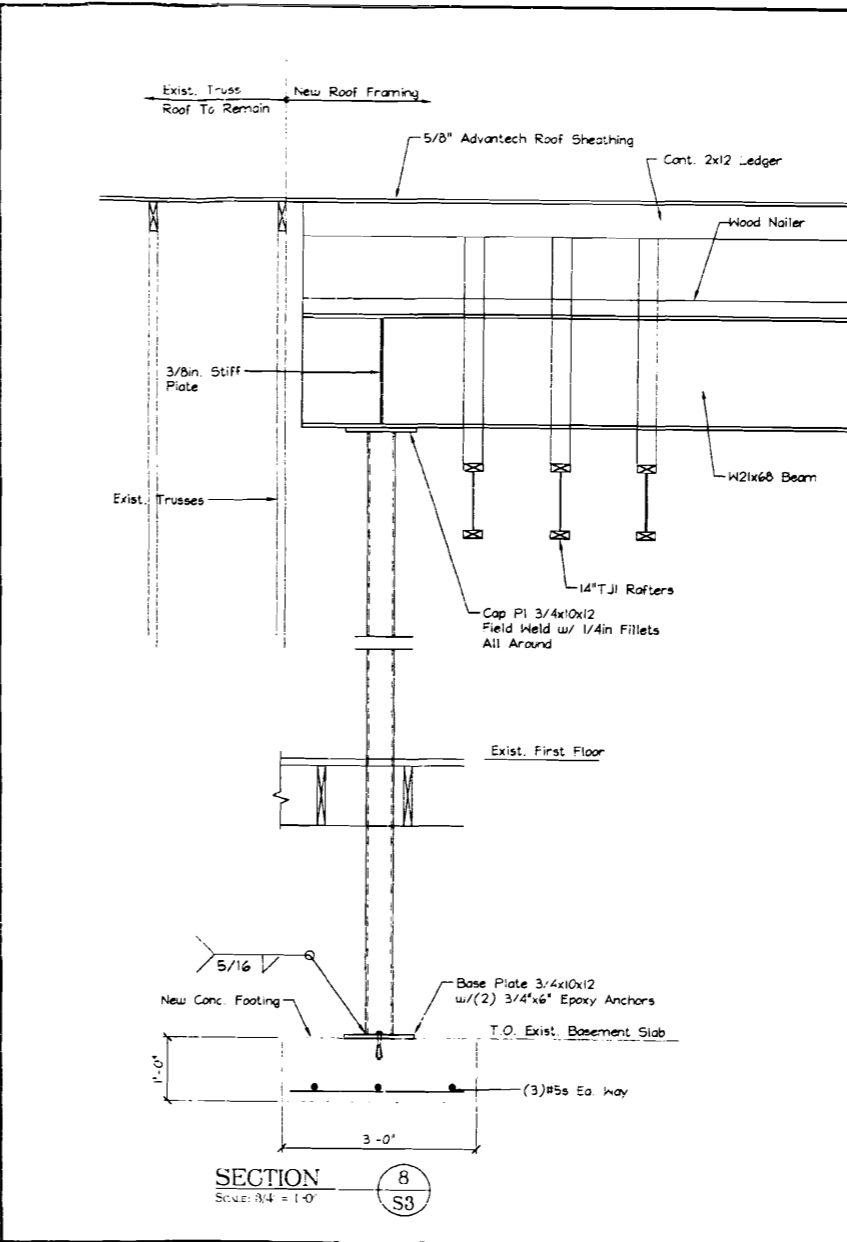
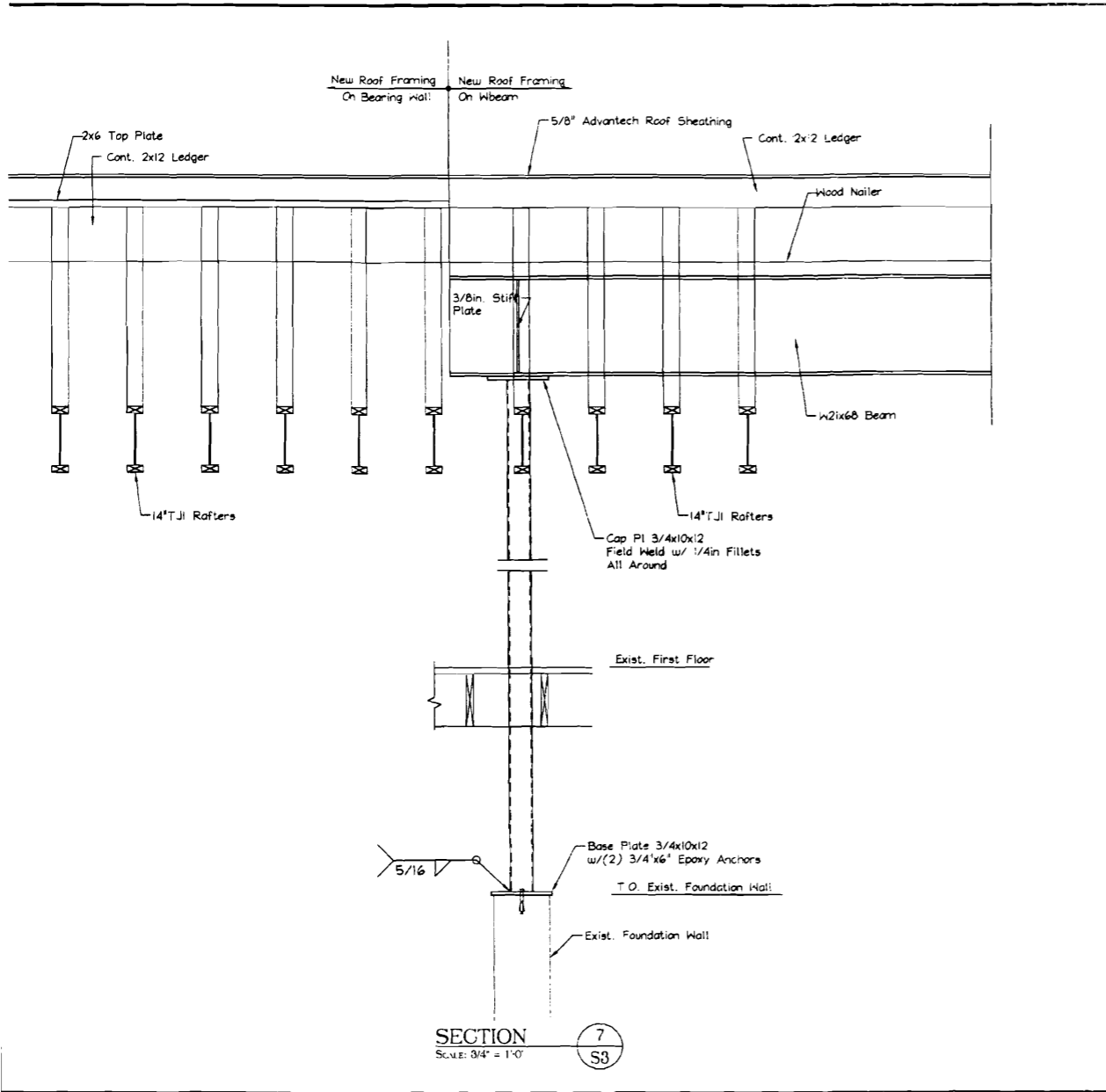
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DATE: 8/7/09  
DRAWN BY: BVM  
CHECKED BY: BVM  
SCALE: AS SHOWN  
PROJECT NO: 2009-  
SHEET TTTT  
ELEVATION  
S2 OF





CURRENT REVISION	
NO.	DESCRIPTION
1	7/25/09
2	8/7/09

865 FOREST AVE.



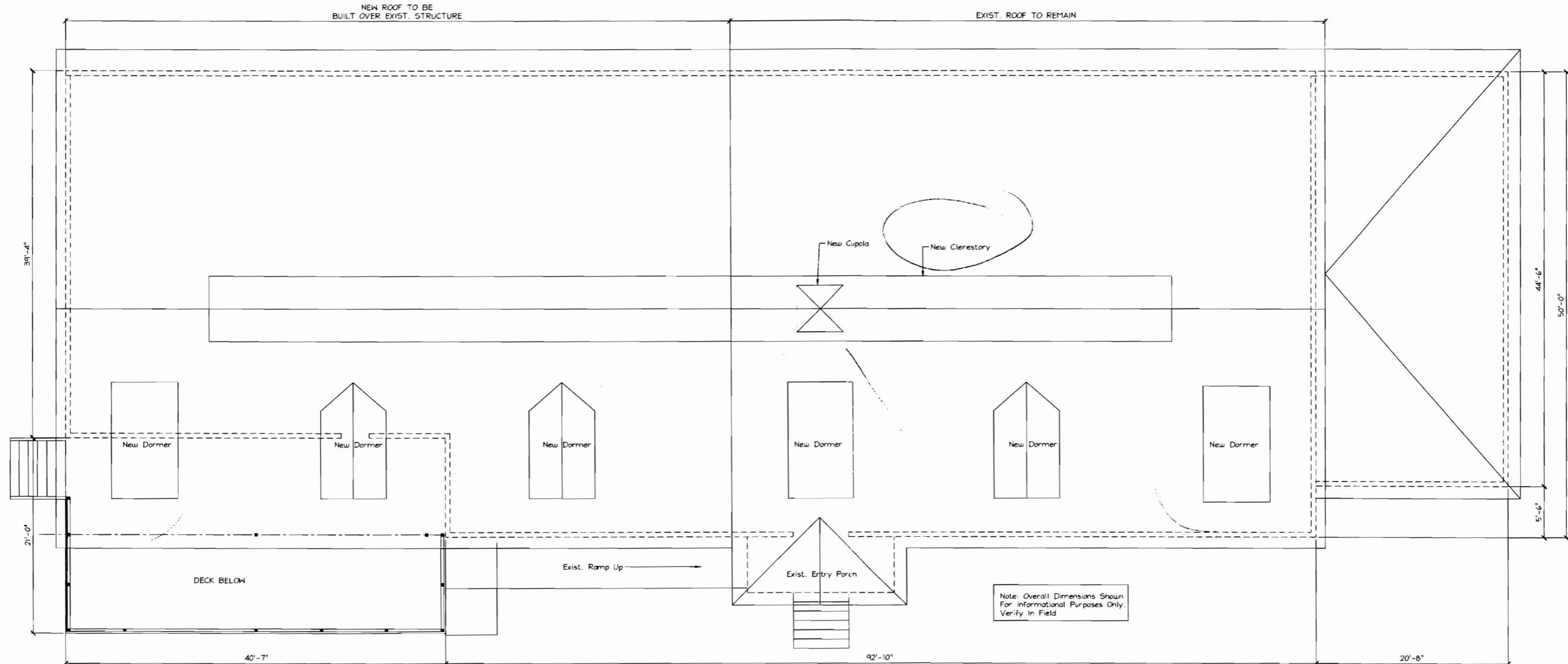
THIS DRAWING IS  
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 DATE: 8/7/09  
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DRN BY: BVM  
 CHKD BY: BVM  
 DATE: 5/18/09  
 SCALE: As Noted  
 PROJ. NO: 2009-

SHEET TITI

BUILDING SECTIONS





**ROOF PLAN**  
 SCALE: 3/16" = 1'-0"

**WOOD FRAMING NOTES:**

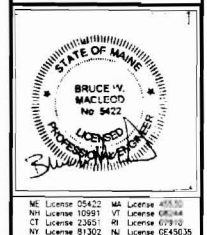
- STRUCTURAL LUMBER: SOUTHERN YELLOW PINE NO1/NO2 OR BETTER  
 PRESSURE TREATED  
 $F_b = 975 \text{ PSI}$   $F_v = 175 \text{ PSI}$   
 $F_c = 1450 \text{ PSI}$   $E = 1400000 \text{ PSI}$
- MANUFACTURED LUMBER: BOISE CASCADE VERSA-LAM 2.0 3100  
 $F_b = 3100 \text{ PSI}$   $F_v = 285 \text{ PSI}$   
 $F_c = 3000 \text{ PSI}$   $E = 2000000 \text{ PSI}$
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BUILDING CODE, 1996 EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD ROOF DECK:  
 PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE;  
 8d NAILS @ 6" o.c. ALONG PANEL EDGES  
 8d NAILS @ 8" o.c. ALONG INTERMEDIATE MEMBERS
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER.

**STRUCTURAL DESIGN CRITERIA:**

- BUILDING CODE: 2006 EDITION OF THE INTERNATIONAL BUILDING CODE
- DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:  
 DESIGN WIND SPEED = 90 MPH  
 BUILDING EXPOSURE CATEGORY = B
- DESIGN WIND LOADS - COMPONENTS AND CLADDING:  
 EXPOSURE CATEGORY = C
- SNOW:  
 GROUND SNOW LOAD = 60 PSF  
 IMPORTANCE FACTOR, I = 1.0  
 EXPOSURE FACTOR,  $C_e$  = 1.0  
 FLAT ROOF SNOW LOAD = 42 PSF
- ROOF DEAD LOAD = 15 PSF
- FLOOR LOAD  
 LIVE LOAD - RESTAURANT = 100 PSF  
 DEAD LOAD = 10 PSF
- DESIGN SEISMIC CRITERIA:  
 SEISMIC DESIGN CATEGORY = B

#	DATE	DESCRIPTION
1	7/28/08	Custom Roof Plan
2	8/7/08	General Revisions

8665 FOREST AVE.  
 NEW ROOF

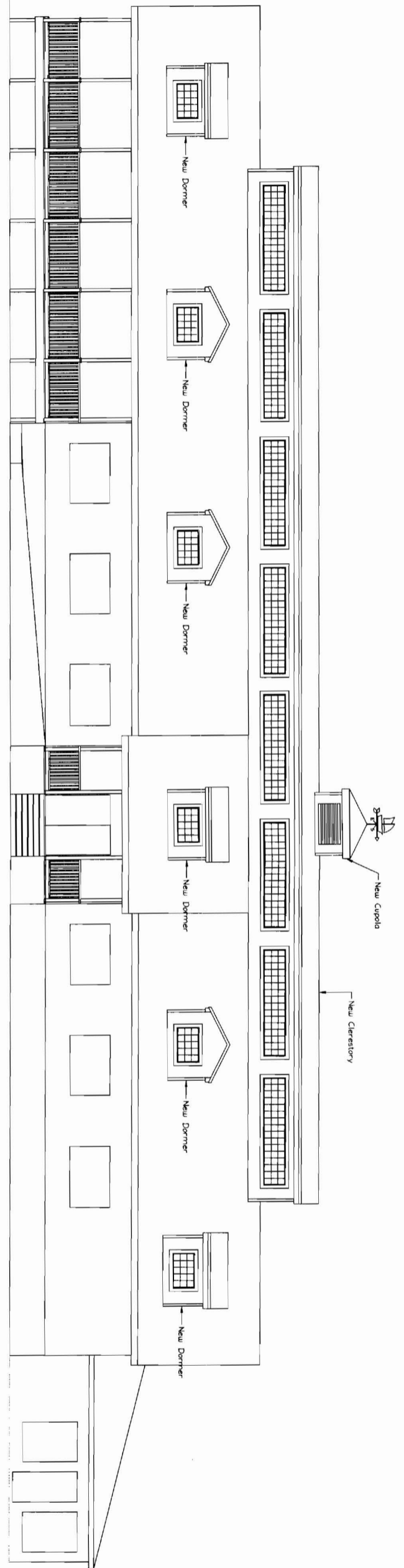


**THIS DRAWING IS ISSUED**  
 Submitted For Permit  
 Date: 8/7/08

DRN BY: BWM  
 CHKD BY: BWM  
 DATE: 5/18/09  
 SCALE: As Noted  
 PROJ. NO: 2009-167

**SHEET TITLE:**  
 ROOF PLAN & NOTES

S1 OF



**FRONT ELEVATION**

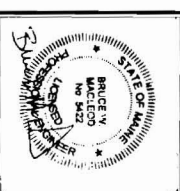
SCALE: 3/16" = 1'-0"

CURRENT REVISION		
#	DATE	DESCRIPTION
1	7/29/09	Completed Floor Planing
2	8/7/09	General Revisions

865 FOREST AVE.  
NEW ROOF

PORTLAND MAINE

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Structural Engineers, PA

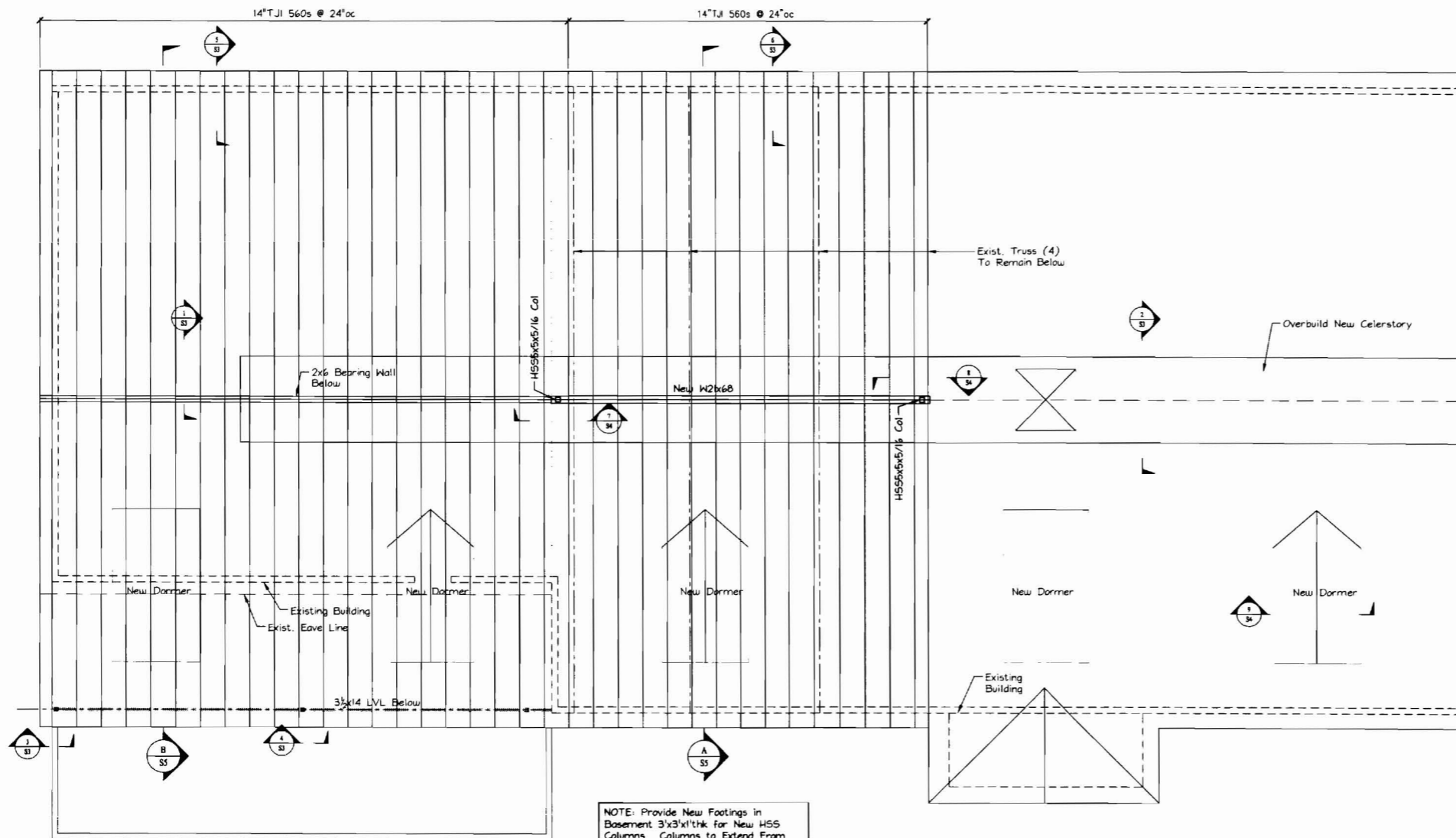


**THIS DRAWING IS ISSUED**  
 2 Submitted For Permit  
 Date: 8/7/09

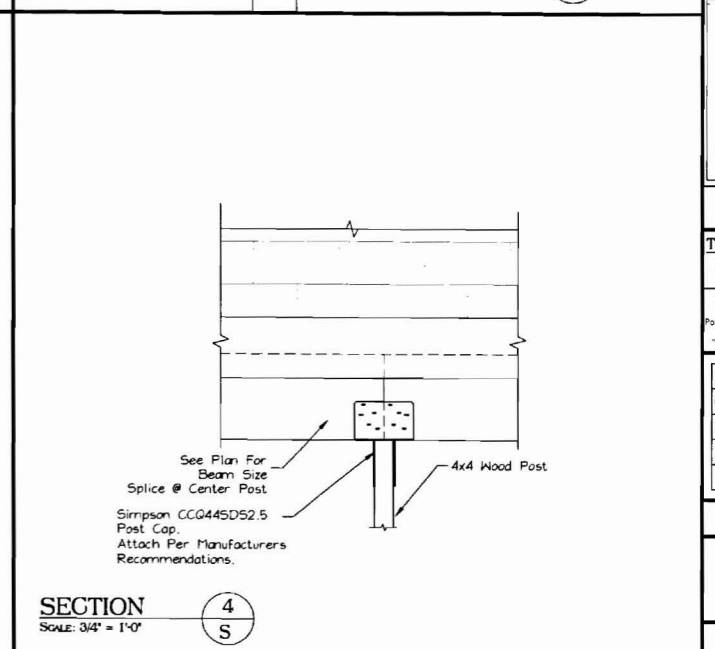
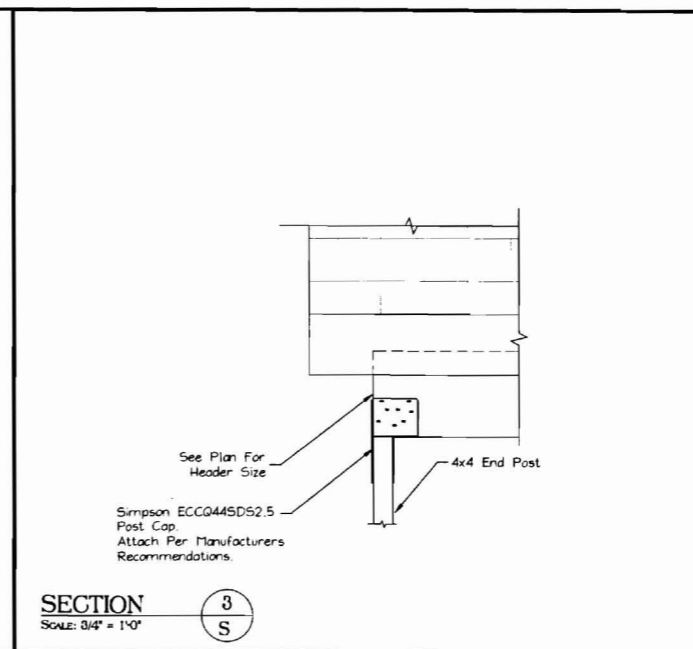
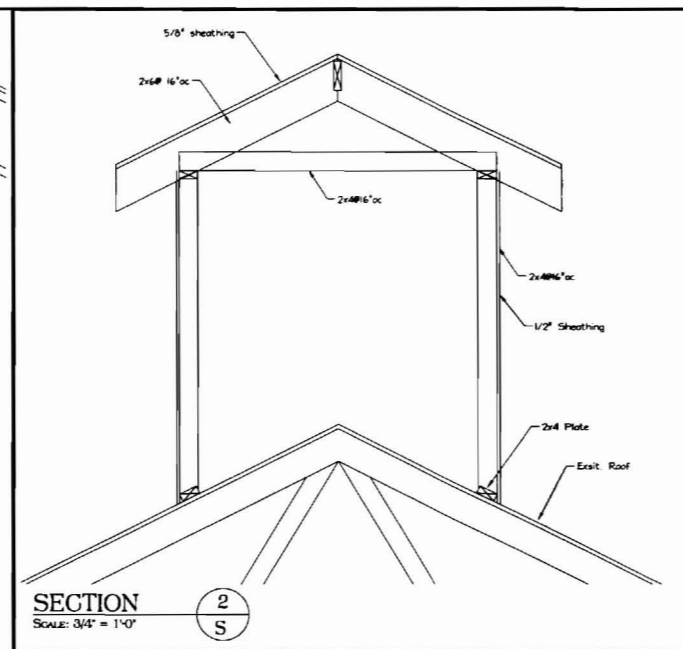
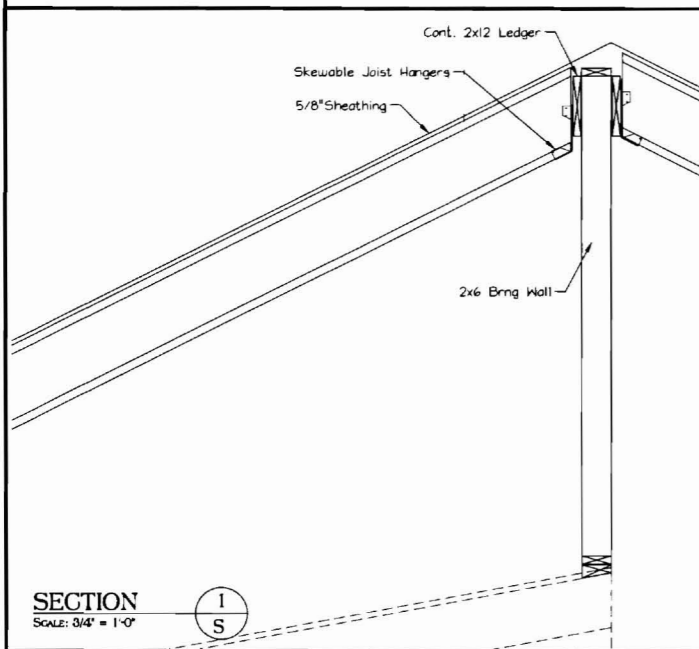
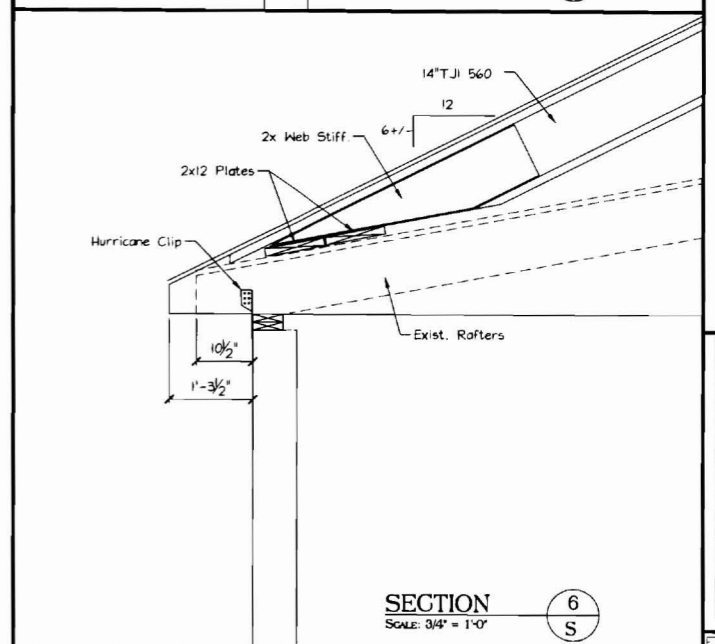
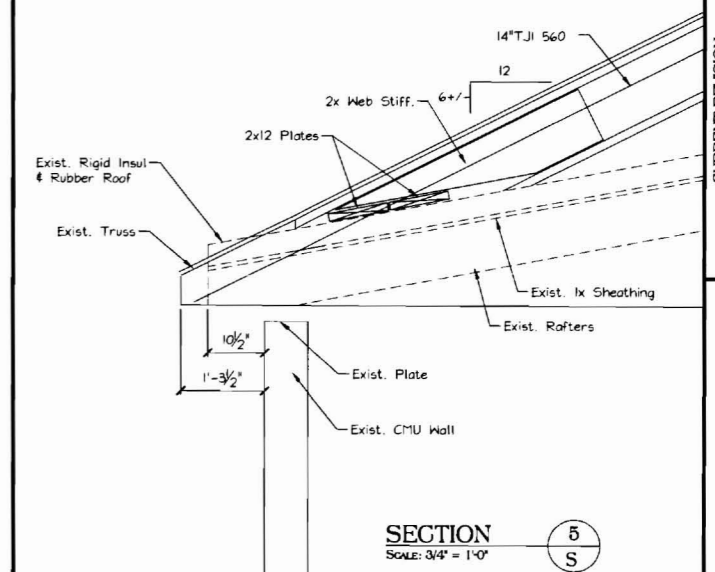
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 Contract Document Only When It  
 Accompany A Permit Issued By The  
 Department of Planning & Construction  
 Projects Only - Not For Construction

DRN BY: BMM  
 CHECK BY: BMM  
 DATE: 8/18/09  
 SCALE: AS NOTED  
 PROJ. NO: 2009-167

SHEET TITLE:  
 ELEVATIONS  
 S2 OF



**ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

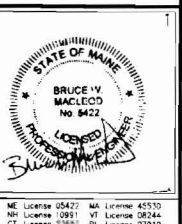


CURRENT REVISION	
DATE	DESCRIPTION
7/28/09	General Roof Framing
8/7/09	General Revisions

865 FOREST AVE.  
NEW ROOF

PORTLAND  
MAINE

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Structural Engineers, PA

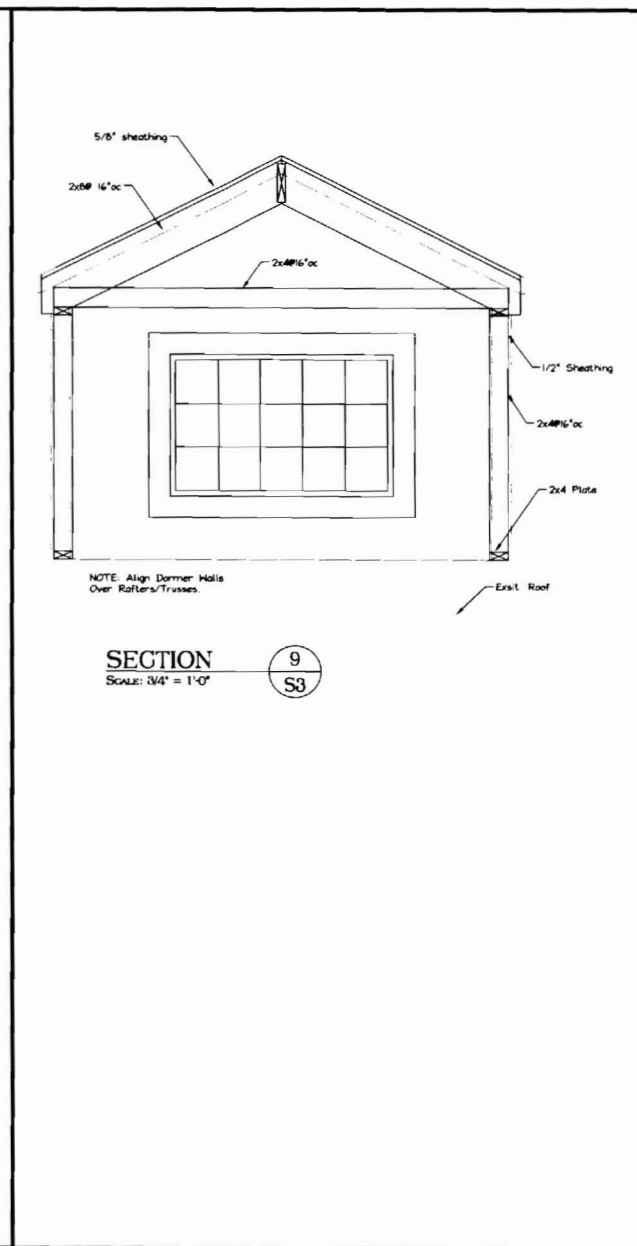
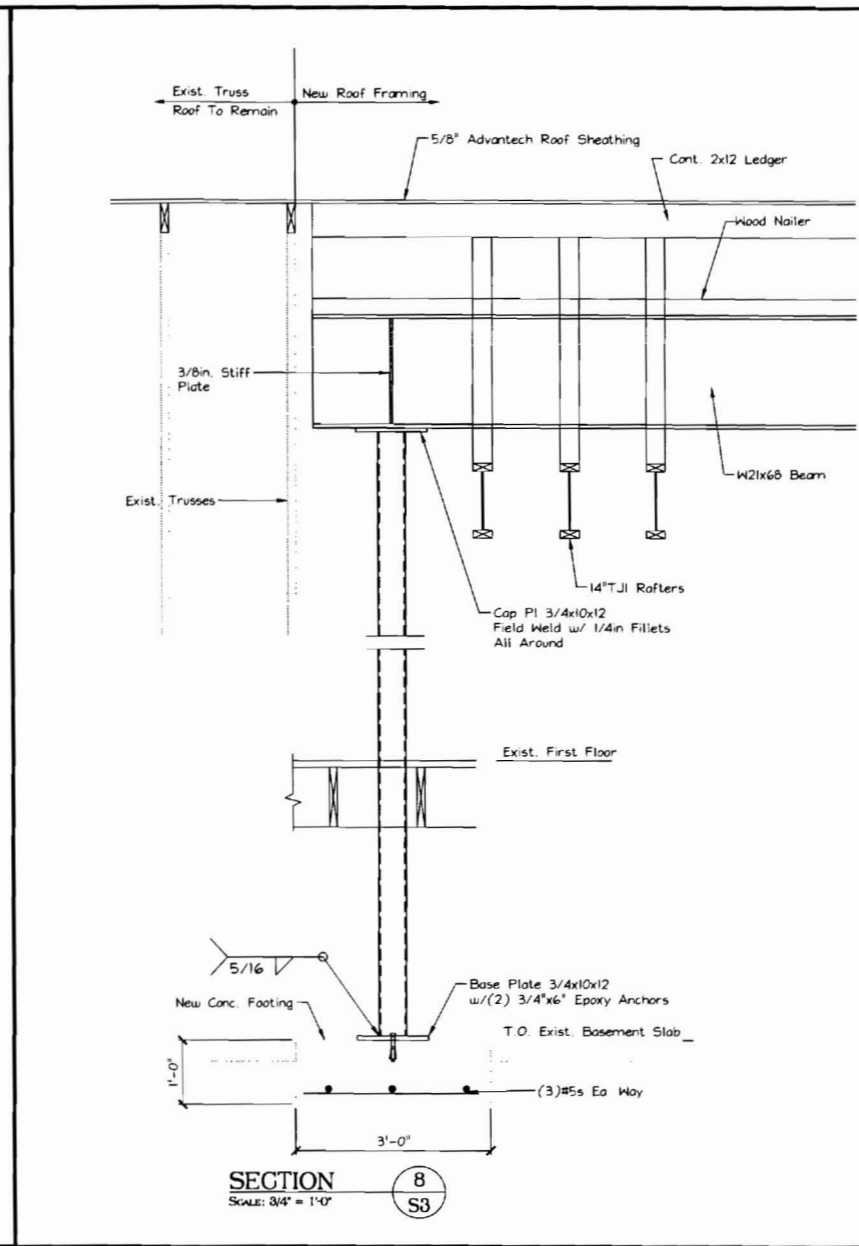
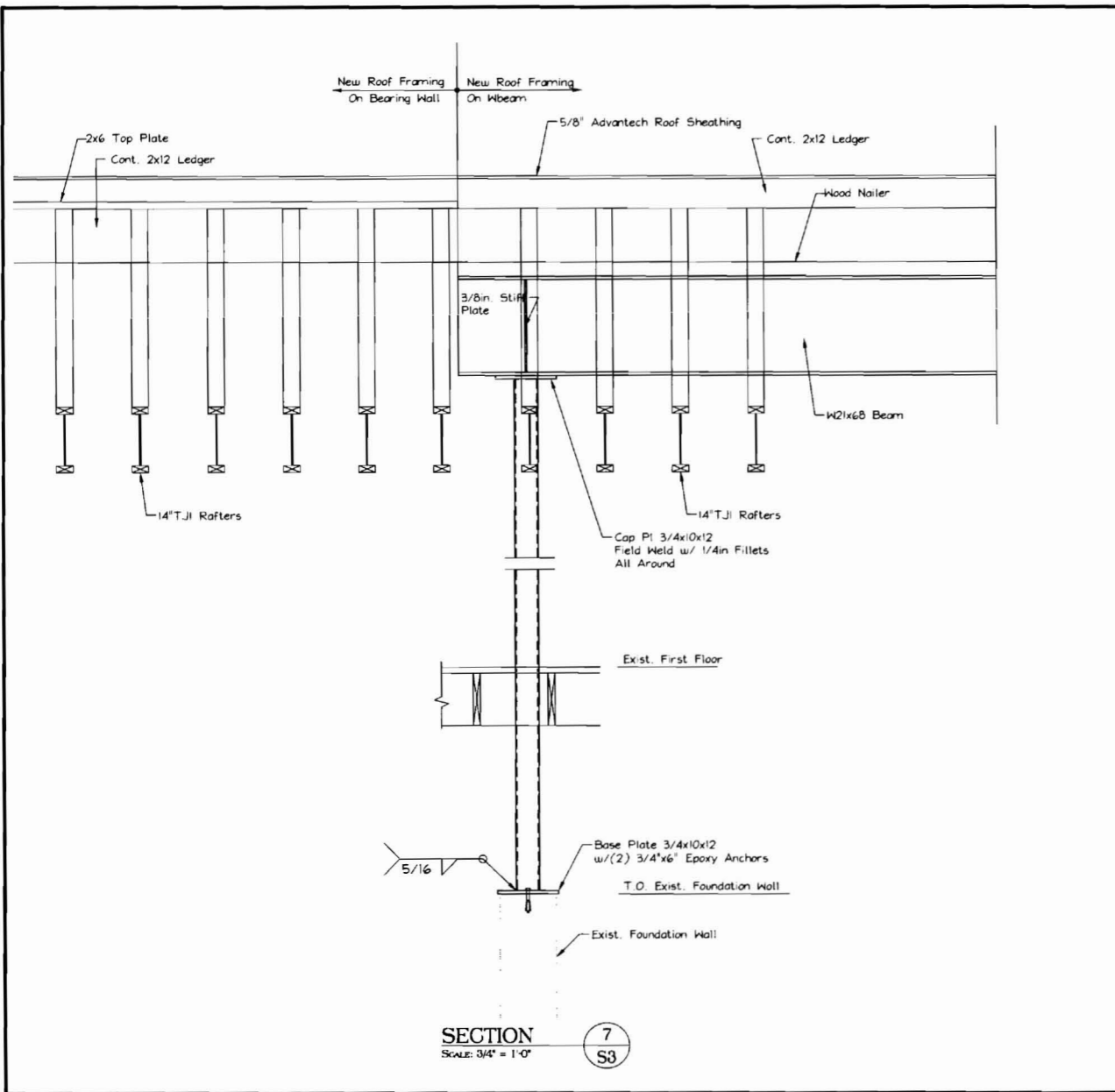


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DRN BY: BWM  
CHKD BY: BWM  
DATE: 5/18/09  
SCALE: As Noted  
PROJ. NO: 2009-167

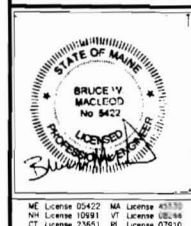
**SHEET TITLE:**  
ROOF FRAMING DETAILS  
S3 OF



CURRENT REVISION	
#	DESCRIPTION
1	Checked Roof Framing
2	Complete Revisions

865 FOREST AVE.  
NEW ROOF

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Submitted For Paper  
Date: 6/7/09

DRN BY: BWM  
CHKD BY: BWM  
DATE: 5/18/09  
SCALE: As Noted  
PROJ. NO: 2009-167

SHEET TITLE:

BUILDING SECTIONS

S4 OF

