

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080755

PERMIT ISSUED
JUL 30 2008
CITY OF PORTLAND

This is to certify that MARDIGAN STEPHEN E / Messner

has permission to add a 40' x 21' deck

AT 865 FOREST AVE

137 C011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cassel

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas H. Mahley 7/30/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

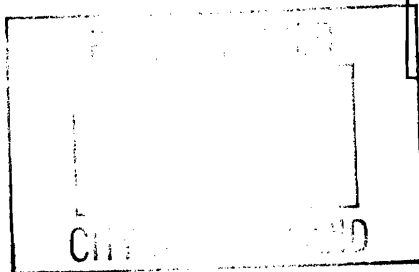
Permit No: 08-0755	Issue Date:	CBL: 137 C011001
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Location of Construction: 865 FOREST AVE	Owner Name: MARDIGAN STEPHEN E	Owner Address: 460 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Jim Messer	Contractor Address: 25 Alice Street Portland	Phone 2076321124
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B-2

Past Use: Commercial / Restaurant, "Mexico Lindo"	Proposed Use: Commercial / Restaurant, add a 40' x 21' deck	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 4
Proposed Project Description: add a 40' x 21' deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group Commercial Type: 5B IBC 2003	
		Signature: <i>Greg Cass</i>		Signature: <i>Jim 7/30/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 06/25/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Exception</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i>
	Date: _____	Date: _____	Date: _____



CERTIFICATION


I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

4/1/09 Granted Extension for 60 days
To start construction. JMB
See letter

05/08/09 Footing/Retbacks
Not ready for Inspt. JMB

5/11/09 - checked post holes/set Backs -
all OK to pour.

06/28/09 Deck okay. 
needs horizontal ~~rod~~

9/23/09 Standard
installed for
close pinner SML

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0755	Date Applied For: 06/25/2008	CBL: 137 C011001
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Location of Construction: 865 FOREST AVE	Owner Name: MARDIGAN STEPHEN E	Owner Address: 460 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Jim Messer	Contractor Address: 25 Alice Street Portland	Phone: (207) 632-1124
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commercial / Restaurant, add a 40' x 21' deck	Proposed Project Description: add a 40' x 21' deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/07/2008

Note: Permit #07-0426 was to build a 40' x 21' deck. It was issued 5/18/2007. The deck was never built. This permit is to build the exact same deck. Adequate parking for expanded seating. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/30/2008

Note: **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 07/09/2008

Note: **Ok to Issue:**

- 1) Means of egress shall remain unobstructed at all times
2) A seating diagram shall be provided and approved prior to occupancy.

Comments:

7/25/2008-gg: Received partial granted site exemption as of 7/25/08. Filed with plan review (Tammy)

7/7/2008-amachado: Gave site plan exemption to Barbara.



General Building Permit Application

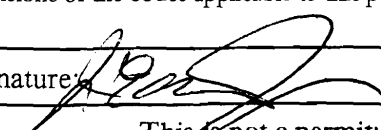
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>865 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area <u>840 sq ft - 200 sq ft Existing</u>		Square Footage of Lot <u>843 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>137 C 11</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>Stephen E MARDIGAN</u> Address _____ City, State & Zip _____	Telephone: <u>772 5555</u>
Lessee/DBA (If Applicable) <u>Mexico Lindo</u>	Owner (if different from Applicant) Name <u>Stephen E MARDIGAN</u> Address <u>460 BAXTER BLVD</u> City, State & Zip <u>Port Me</u>	Cost Of Work: \$ <u>10,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Restaurant Lounge</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>No</u> If yes, please name <u>070426</u> Project description: <u>Renew permit # WE would like to add a 840 sq ft deck to the building. It will be located to the left of entrance</u>		
Contractor's name: <u>Stephen MARDIGAN</u> Address: <u>460 BAXTER BLVD</u> City, State & Zip <u>Portland ME</u> Telephone: _____ Who should we contact when the permit is ready: <u>Steve</u> Telephone: <u>772 5555</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 6/25/08

This is not a permit; you may not commence ANY work until the permit is issued.



2008-0111

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant Stephen Maddigan

Application Date 7/2/08

Applicant's Mailing Address 460 Baxter Blvd Portland ME

Project Name/Description outside deck building "Mexico Linda"

Consultant/Agent/Phone Number 772-5515

Address of Proposed Site 865 Forest Ave

CBL: 137 C 011

Description of Proposed Development:

build 40'7" x 21' deck on left back side of building to the left of the entrance

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>deck addition</u>	<input checked="" type="checkbox"/>
<u>40 x 21</u>	<u>Existing deck 9' x 7'40' - expansion</u>
<u>No</u>	
<u>Yes</u>	
<u>Yes</u>	
<u>Yes</u>	
<u>N/A</u>	
<u>N/A</u>	

a) Within Existing Structures; No New Buildings, Demolitions or Additions

b) Footprint Increase Less Than 500 Sq. Ft.

c) No New Curb Cuts, Driveways, Parking Areas

d) Curbs and Sidewalks in Sound Condition/Comply with ADA

e) No Additional Parking/ No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

h) Adequate Utilities

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUL 25 2008
RECEIVED

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

There will be no outside entertainment without first receiving approval from the City for such a business license. Noise shall be kept to a maximum level from speakers and shall not exceed noise levels of the zone.

Planner's Signature Barbara Barhydt

Date July 18, 2008

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

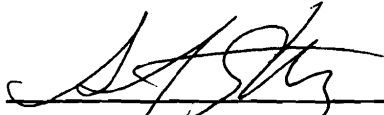
Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

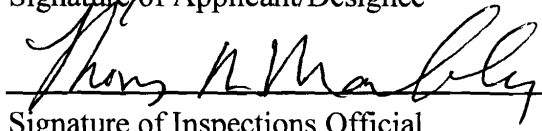
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

7-31-08

Date



Signature of Inspections Official

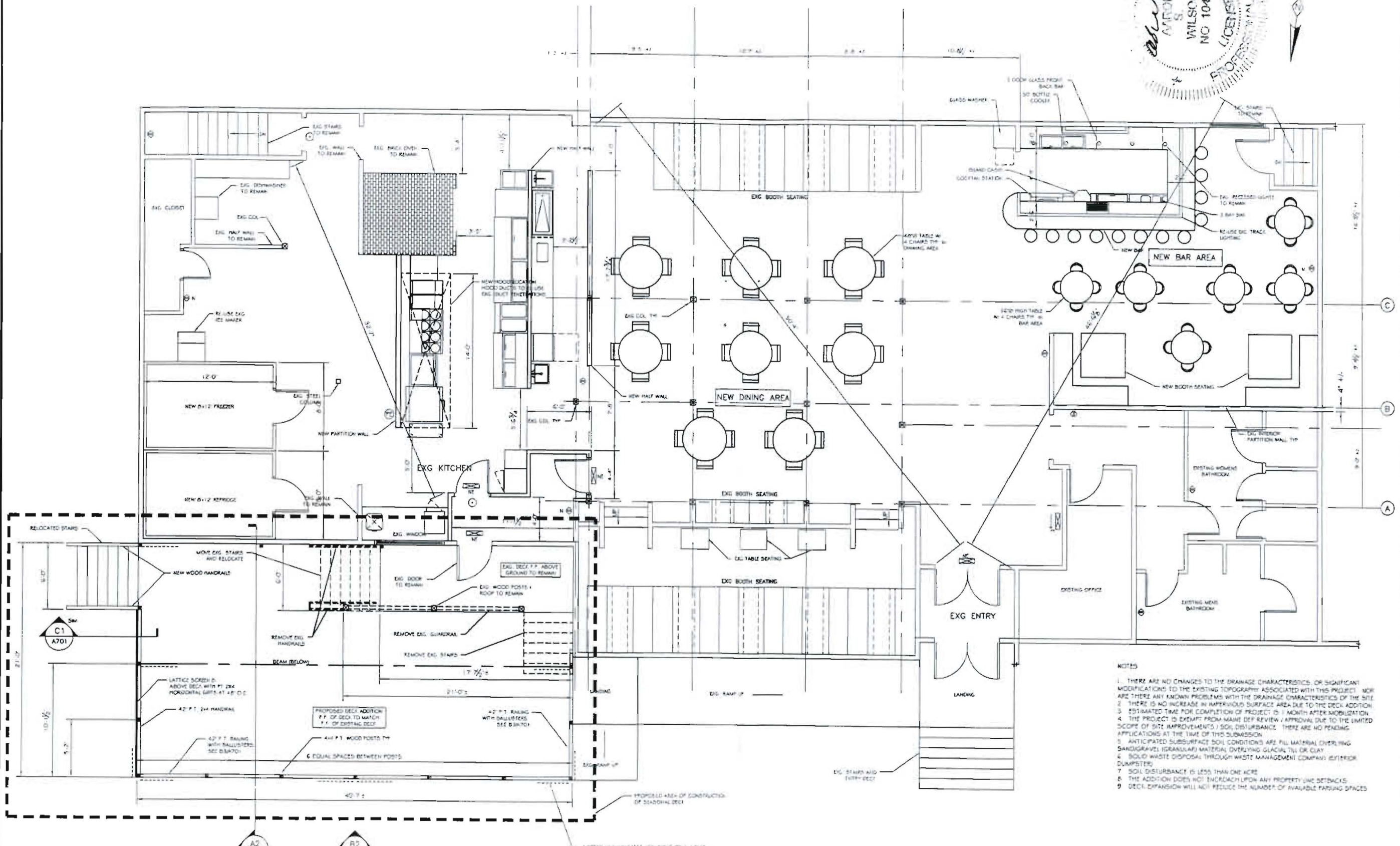
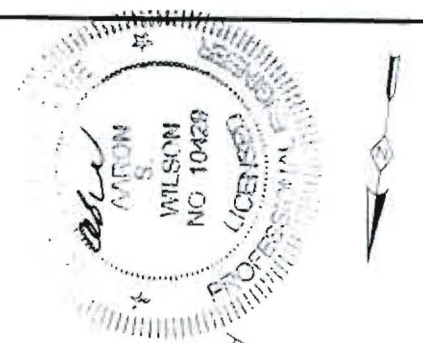
7/30/08

Date

Barbara-

"~~PA~~ The same space (now
"Mexico Lindo" was "Flirts Grill")
applied for a permit to build
the same deck 4/20/07. You
signed off on a partial ~~site~~
site plan exemption (2007-0078)
on 5/8/07. Now the ~~new~~ current
restaurant has applied to build
the same exact deck. I
don't know if it needs a
new site plan exemption.
The building permit had
expired because it's been
over a year. Here is a new
site plan exemption form

Am



- NOTES
1. THERE ARE NO CHANGES TO THE DRAINAGE CHARACTERISTICS, OR SIGNIFICANT MODIFICATIONS TO THE EXISTING TOPOGRAPHY ASSOCIATED WITH THIS PROJECT. NOR ARE THERE ANY KNOWN PROBLEMS WITH THE DRAINAGE CHARACTERISTICS OF THE SITE.
 2. THERE IS NO INCREASE IN IMPERVIOUS SURFACE AREA DUE TO THE DECK ADDITION.
 3. ESTIMATED TIME FOR COMPLETION OF PROJECT IS 1 MONTH AFTER MOBILIZATION.
 4. THE PROJECT IS EXEMPT FROM MAINE DEP REVIEW / APPROVAL DUE TO THE LIMITED SCOPE OF SITE IMPROVEMENTS / SOIL DISTURBANCE. THERE ARE NO PENDING APPLICATIONS AT THE TIME OF THIS SUBMISSION.
 5. ANTICIPATED SUBSURFACE SOIL CONDITIONS ARE FILL MATERIAL OVERLYING SAND/GRAVEL (DRAINABLE MATERIAL OVERLYING GLACIAL TILL OR CLAY).
 6. SOLID WASTE DISPOSAL THROUGH WASTE MANAGEMENT COMPANY (OUTSIDE DUMPSTER).
 7. SOIL DISTURBANCE IS LESS THAN ONE ACRE.
 8. THE ADDITION DOES NOT ENDEAVOR UPON ANY PROPERTY LINE SETBACKS.
 9. DECK EXPANSION WILL NOT REDUCE THE NUMBER OF AVAILABLE PARKING SPACES.

ASSOCIATED DESIGN PARTNERS INC.
 Office (207) 878-1751
 Fax (207) 878-1788
 E-Mail: adp@adpengineering.com
 80 Leighton Road
 Falmouth, Maine 04105

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PROJECT: **865 FOREST AVE. PORTLAND, MAINE**
 FOR: LARRY ALLEN
 SHEET TITLE: **PROPOSED SEASONAL DECK ADDITION ISSUED FOR PERMITTING**

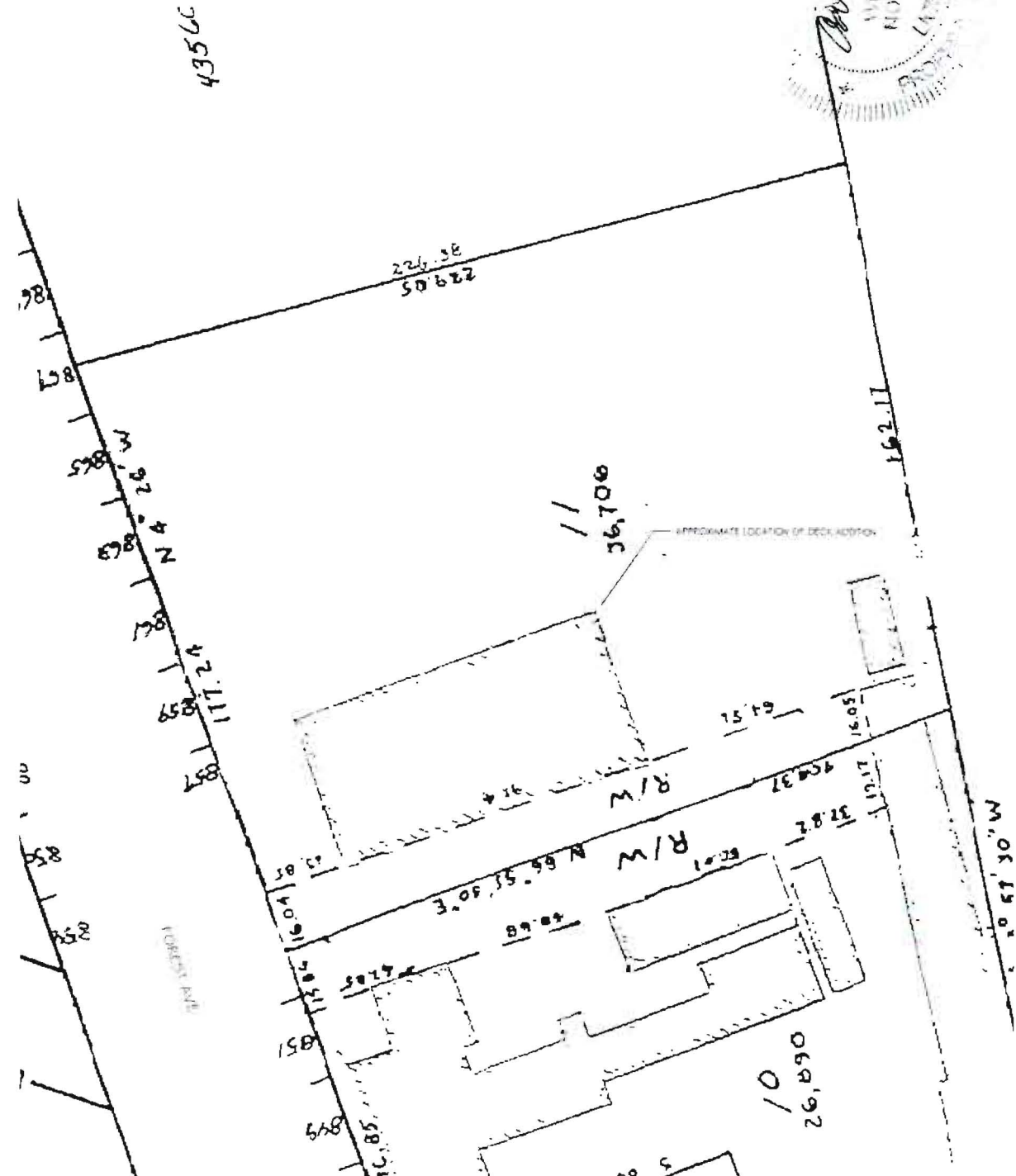
NO.	BY	DATE
1	ASW	
2	ASW	
3	ASW	
4	ASW	

DATE: 04-18-06
 SCALE: 1/4" = 1'-0"
 DESIGN BY: ASW
 DRAWN BY: RSC
 FILE # 07067-A101.DWG
 PROJECT NUMBER: **07067**
 SHEET NO.: **A101**



AERIAL PHOTO

222-10' rdy = 50' 9" o/c
 side road width = 51' 6" o/c
 driveway width = 10' 0" o/c



TAX MAP PLOT PLAN

NOTE:
 INFORMATION SHOWN ON THIS PLAN IS DERIVED FROM THE CITY OF
 PORTLAND TAX MAP AND INDICATED RECORD PARTS. NO SOLE AND
 ASSUMED TO BE CORRECT AS SHOWN. THE ACCURACY OF THE
 INFORMATION SHOWN HEREON IS NOT GUARANTEED BY THE
 ENGINEER. THE ENGINEER IS NOT RESPONSIBLE FOR ANY
 ERRORS OR OMISSIONS.



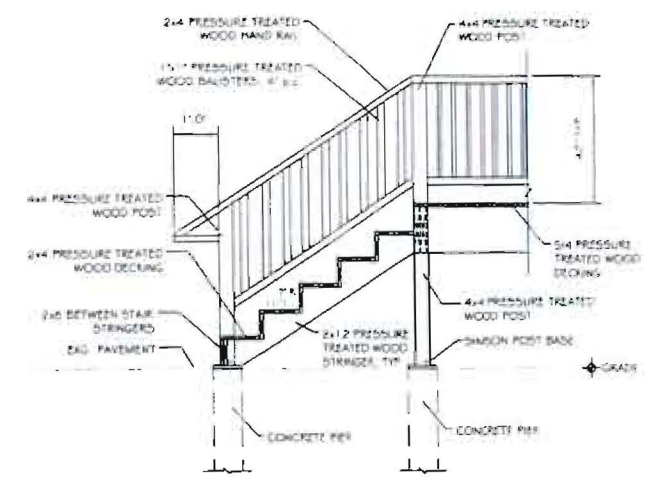
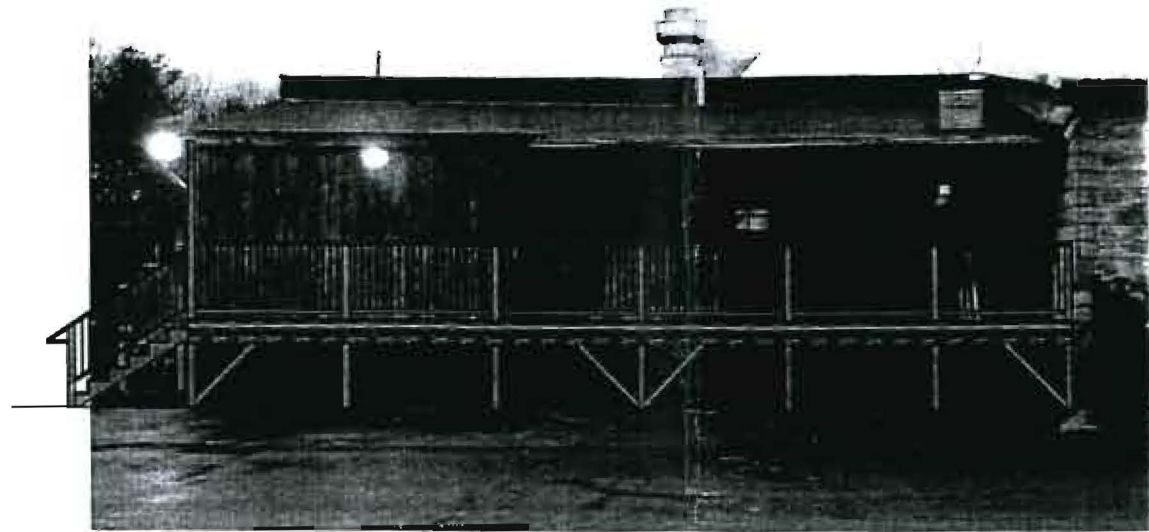
ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Falmouth, Maine 04105
 Office (207) 878-1751
 Fax (207) 878-1788
 E-Mail: addr@designpartnersinc.com

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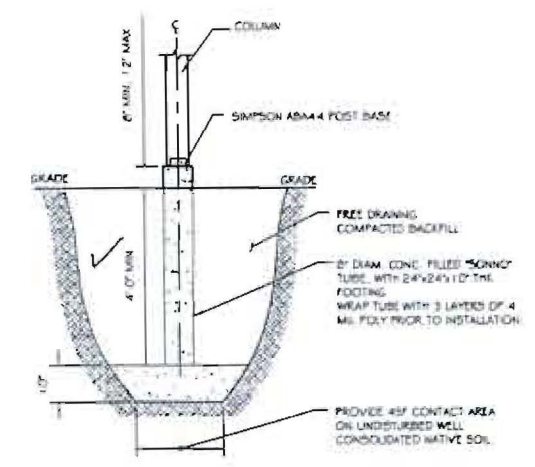
PROJECT: **865 FOREST AVE. PORTLAND, MAINE FOR GRANT WILSON**
 SHEET TITLE: **SITE AERIAL PHOTO + TAX MAP ISSUED FOR PERMITTING**

NO	BY	REVISIONS	DESCRIPTION	DATE
1				
2				
3				
4				

DATE: 04-09-06
 SCALE: 1/200
 DESIGN BY: ASW
 DRAWN BY: RSC
 FILE # 07067-4101.DWG
 PROJECT NUMBER: **07067**
 SHEET NO: **0101**

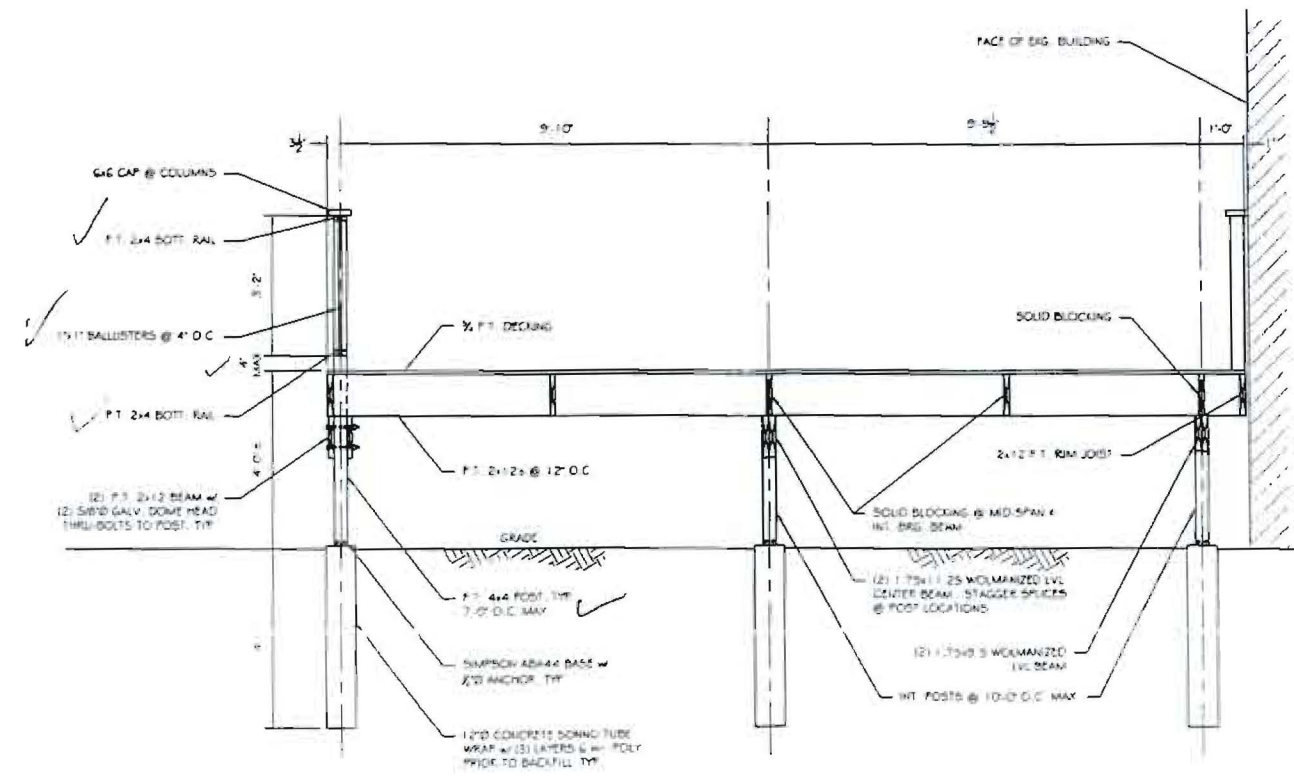


C1 TYPICAL WOOD STAIR AND RAILING DETAIL
SCALE: NO SCALE



B1 TYPICAL CONCRETE PIER AT COLUMN
SCALE: NO SCALE

B2 DECK ELEVATION
SCALE: NO SCALE

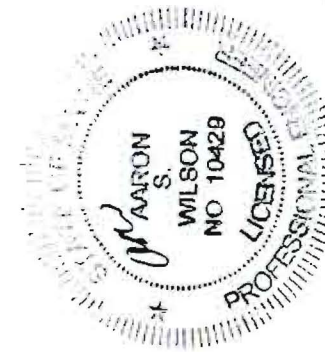


A2 TYPICAL DECK CROSS SECTION
SCALE: 1/4" = 1'-0"

ASSOCIATED DESIGN PARTNERS INC.
Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com
80 Leighton Road
Falmouth, Maine 04105

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PROJECT: 865 FOREST AVE.
PORTLAND, MAINE
FOR: LARRY ALLEN
SHEET TITLE: STAIR AND RAILING DETAILS
ISSUED FOR PERMITTING



REVISIONS	DATE

DATE: 04-18-06
SCALE: 1/4" = 1'-0"
DESIGN BY: ASW
DRAWN BY: RSC
FILE #: 07067-A101.DWG
PROJECT NUMBER:
07067
SHEET NO.:
A701



CITY OF PORTLAND, MAINE

Department of Building Inspections

6-25-08

Received from

Jim Messer

Location of Work

865 Forest Ave

Cost of Construction \$ _____

Permit Fee \$ 30

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 137-C-11

Check #: [Signature]

Total Collected \$ 30

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy