

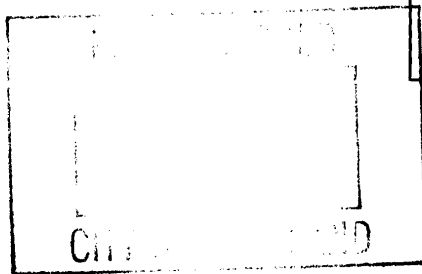
**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |             |                     |
|-----------------------|-------------|---------------------|
| Permit No:<br>08-0755 | Issue Date: | CBL:<br>137 C011001 |
|-----------------------|-------------|---------------------|

|   |                                   |   |                     |
|---|-----------------------------------|---|---------------------|
| Location of Construction:<br>865 FOREST AVE | Owner Name:<br>MARDIGAN STEPHEN E | Owner Address:<br>460 BAXTER BLVD               | Phone:              |
| Business Name:                              | Contractor Name:<br>Jim Messer    | Contractor Address:<br>25 Alice Street Portland | Phone<br>2076321124 |
| Lessee/Buyer's Name                         | Phone:                            | Permit Type:<br>Amendment to Commercial         | Zone:<br>B-2        |

|  |   |   |   |                    |
|--|---|---|---|--------------------|
| Past Use:<br>Commercial / Restaurant,<br>"Mexico Lindo"  | Proposed Use:<br>Commercial / Restaurant, add a 40'<br>x 21' deck | Permit Fee:<br>\$30.00  | Cost of Work:<br>\$30.00  | CEO District:<br>4 |
| Proposed Project Description:<br>add a 40' x 21' deck  |   | FIRE DEPT:<br><input checked="" type="checkbox"/> Approved<br><input type="checkbox"/> Denied | INSPECTION:<br>Use Group <i>Commercial</i> type: <i>SB</i><br><i>IBC 2003</i> |                    |
|  |   | Signature: <i>Greg Carr</i>   | Signature: <i>Jim 7/24/08</i>   |                    |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  |   |   |   |                    |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied |   |   |   |                    |
| Signature: _____ Date: _____   |   |   |   |                    |

|  |   |   |  |  |
|--|---|---|--|--|
| Permit Taken By:<br>ldobson  | Date Applied For:<br>06/25/2008   | <b>Zoning Approval</b>  |  |  |
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.<br>2. Building permits do not include plumbing, septic or electrical work.<br>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input checked="" type="checkbox"/> Site Plan <i>Exemption</i><br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br>Date: _____ | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: _____ | <b>Historic Preservation</b><br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br><i>ABU</i><br>Date: _____ |  |



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

|   |         |      |       |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT                      | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE |         | DATE | PHONE |

**Albair Construction  
Company, Inc.**

10 Alexander Dr.

Cape Elizabeth, ME.  
04107

4/1/09

City of Portland  
Building Inspection  
389 Congress St.  
Portland, ME  
04101

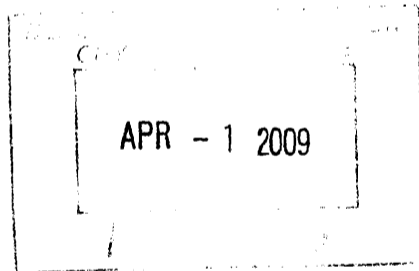
ATT: Jeanie Burke  
RE: Permit #08-0755

At the request of Steve Mardigan, the property owner of 865 Forest Ave., this letter is requesting an extension of a permit for a deck that was issued on 7/30/08. It would be our intent to start construction as soon as possible. Please call with any questions 831-9338. Thank you for your cooperation.

Timothy Albair



*Previous Contractor Trouble - Cold weather  
New contractor ready ASAP. 4/1/09  
per Tim A.  
JBK*





# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis Littell

Inspection Services, Director  
Tammy Munson

April 1, 2009

Steve Mardigan  
460 Baxter Boulevard  
Portland, ME 04102

RE: 865 Forest Avenue  
CBL: 137 C011001 Permit # 08-0755

Dear Mr. Mardigan:

I am in receipt of the letter submitted by Tim Albair of Albair Construction Company, Inc. dated April 1, 2009. This letter is requesting an extension of building permit # 08-0755 to perform work at the above mentioned property. This permit was issued on July 30, 2007 and the International Building Code requires that work commence within 180 days of the approval. This permit has lapsed 62 days beyond the required start date.

I understand that the previous contractor did not work out and cold weather set in making it difficult to proceed with the work on schedule. You have since hired a new contractor (T. Albair) and he has stated that he could start the work as soon as possible.

The International Building Code does allow an extension of time if justifiable cause is demonstrated. This office is granting an extension of the start date of the construction of no more than 60 days from the date of this letter. If the work does not commence, the permit will be considered expired.

It is your responsibility to provide the new contractor with the approved plans and associated documents including all conditions of approval specific to this work. Inspections are to be requested as noted in the approval documents.

Please let me know if you have any questions.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|  |  |   |
|--|--|---|
| Location/Address of Construction: <u>865 Forest Ave</u>  |  |   |
| Total Square Footage of Proposed Structure/Area<br><u>840 sq ft - 2007 Existing</u>  |  | Square Footage of Lot<br><u>843 AC</u>  |
| Tax Assessor's Chart, Block & Lot<br>Chart#      Block#      Lot#<br><br><u>137            C            11</u>   | Applicant * <u>must be owner, Lessee or Buyer</u> *<br>Name <u>Stephen E MARDIGAN</u><br>Address<br>City, State & Zip                          | Telephone:<br><br><u>772 5555</u>   |
| Lessee/DBA (If Applicable)<br><br><u>Mexico Lindo</u>  | Owner (if different from Applicant)<br>Name <u>Stephen E MARDIGAN</u><br>Address <u>460 BAXTER BLVD</u><br>City, State & Zip<br><u>Port Me</u> | Cost Of Work: \$ <u>10,000</u><br>C of O Fee: \$ _____<br>Total Fee: \$ _____ |
| Current legal use (i.e. single family) <u>RESTAURANT LAUNDRY</u><br>If vacant, what was the previous use? _____<br>Proposed Specific use: _____<br>Is property part of a subdivision? <u>NO</u> If yes, please name _____<br>Project description: <u>Renew permit # 070426</u><br><u>WE WOULD LIKE TO ADD A 840 SQ FT DECK TO THE BUILDING. IT WILL BE LOCATED TO THE LEFT OF ENTRANCE</u> |  |   |
| Contractor's name: <u>STEPHEN MARDIGAN</u><br>Address: <u>460 BAXTER BLVD</u><br>City, State & Zip <u>PORTLAND ME</u> Telephone: _____<br>Who should we contact when the permit is ready: <u>STEVE</u> Telephone: <u>772 5555</u><br>Mailing address: _____  |  |   |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6/25/08

This is not a permit; you may not commence ANY work until the permit is issue

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

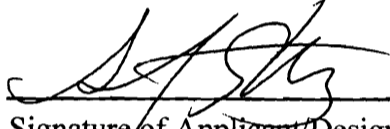
  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Final inspection required at completion of work.**

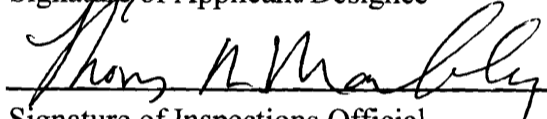
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

7-31-08  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

7/30/08  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |                                 |                     |
|-----------------------|---------------------------------|---------------------|
| Permit No:<br>08-0755 | Date Applied For:<br>06/25/2008 | CBL:<br>137 C011001 |
|-----------------------|---------------------------------|---------------------|

|   |                                   |   |                         |
|---|-----------------------------------|---|-------------------------|
| Location of Construction:<br>865 FOREST AVE | Owner Name:<br>MARDIGAN STEPHEN E | Owner Address:<br>460 BAXTER BLVD               | Phone:                  |
| Business Name:                              | Contractor Name:<br>Jim Messer    | Contractor Address:<br>25 Alice Street Portland | Phone<br>(207) 632-1124 |
| Lessee/Buyer's Name                         | Phone:                            | Permit Type:<br>Amendment to Commercial         |                         |

|  |   |
|--|---|
| Proposed Use:<br>Commercial / Restaurant, add a 40' x 21' deck | Proposed Project Description:<br>add a 40' x 21' deck |
|--|---|

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 07/07/2008

**Note:** Permit #07-0426 was to build a 40' x 21 deck. It was issued 5/18/2007. The deck was never built. This permit is to build the exact same deck. Adequate parking for expanded seating.      **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 07/30/2008

**Note:**      **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 07/09/2008

**Note:**      **Ok to Issue:**

- 1) Means of egress shall remain unobstructed at all times
- 2) A seating diagram shall be provided and approved prior to occupancy.

**Comments:**

7/25/2008-gg: Received partial granted site exemption as of 7/25/08. Filed with plan review (Tammy)

7/7/2008-amachado: Gave site plan exemption to Barbara.

Barbara -  
"The same space (now  
"Mexico Linda" was "Flirt Grill")  
applied for a permit to build  
the same deck 4/20/07. You  
signed off on a partial site  
site plan exemption (2007-0178)  
on 5/18/07. Now the ~~new~~ current  
restaurant has applied to build  
the same exact deck. I  
don't know if it needs a  
new site plan exemption.  
The building permit had  
expired because it's been  
over a year. There is a new  
site plan exemption form

Am



# General Building Permit Application

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|  |   |   |
|--|---|---|
| Location/Address of Construction: <u>865 Forest Ave</u>  |   |   |
| Total Square Footage of Proposed Structure/Area<br><u>840 sq ft - 200 sq ft Existing</u>   |   | Square Footage of Lot<br><u>843 sq ft</u>                                     |
| Tax Assessor's Chart, Block & Lot<br>Chart#      Block#      Lot#<br><br><u>137            C            11</u>   | Applicant * <b>must be owner, Lessee or Buyer*</b><br>Name <u>Stephen E MARDIGAN</u><br>Address _____<br>City, State & Zip _____            | Telephone:<br><br><u>772 5555</u>   |
| Lessee/DBA (If Applicable)<br><br><u>Mexico LINDO</u>  | Owner (if different from Applicant)<br>Name <u>Stephen E MARDIGAN</u><br>Address <u>460 BARTER BLVD</u><br>City, State & Zip <u>Port ME</u> | Cost Of Work: \$ <u>10,000</u><br>C of O Fee: \$ _____<br>Total Fee: \$ _____ |
| Current legal use (i.e. single family) <u>Restaurant Lounge</u><br>If vacant, what was the previous use? _____<br>Proposed Specific use: _____<br>Is property part of a subdivision? <u>No</u> If yes, please name _____<br>Project description: <u>Renew permit # 070426</u><br><u>WE would like to ADD A 840 sq ft deck to the building. It will be located to the left of entrance.</u> |   |   |
| Contractor's name: <u>Stephen Mardigan</u><br>Address: <u>460 BARTER BLVD</u><br>City, State & Zip <u>Portland ME</u> Telephone: _____<br>Who should we contact when the permit is ready: <u>Steve</u> Telephone: <u>772 5555</u><br>Mailing address: _____  |   |   |

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Signature: [Signature] Date: 6/25/08

This is not a permit; you may not commence ANY work until the permit is issued.



Exemption Granted \_\_\_\_\_

Partial Exemption X \_\_\_\_\_

Exemption Denied \_\_\_\_\_

There will be no outside entertainment without first receiving approval from the City for such a business license. Noise shall be kept to ~~at~~ a minimum level from speakers and shall not exceed noise levels of the zone.

Planner's Signature

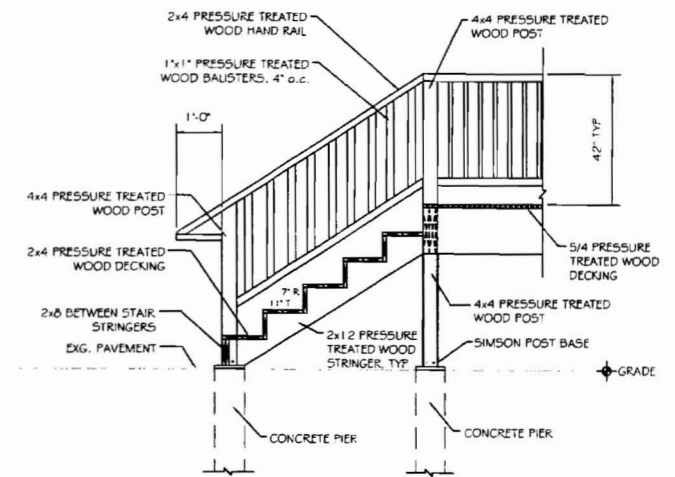
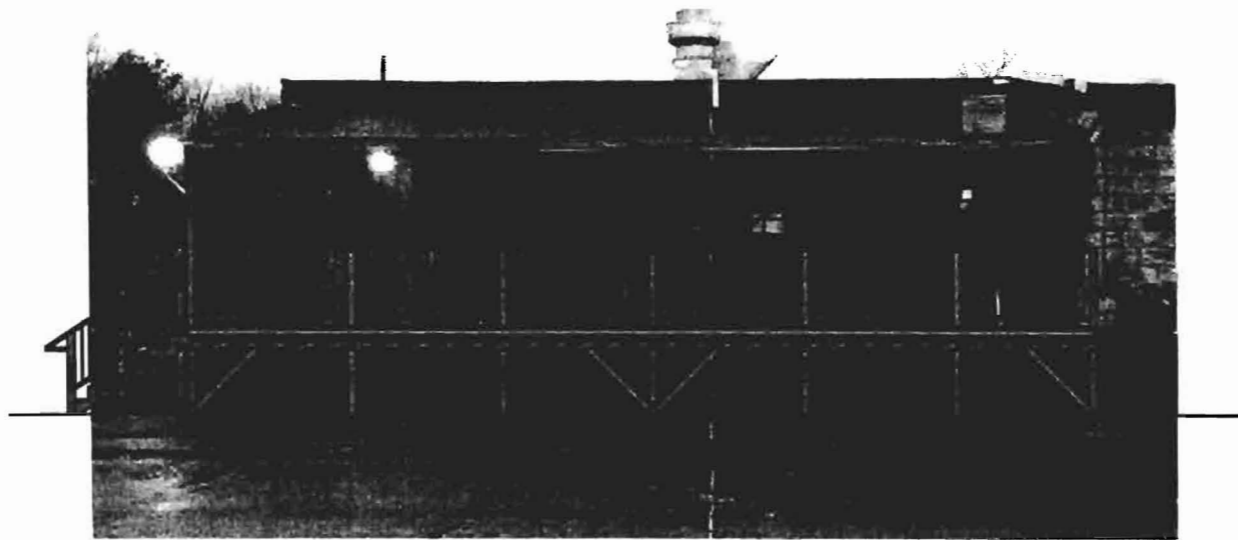
Barbara Barhydt

Date July 18, 2008

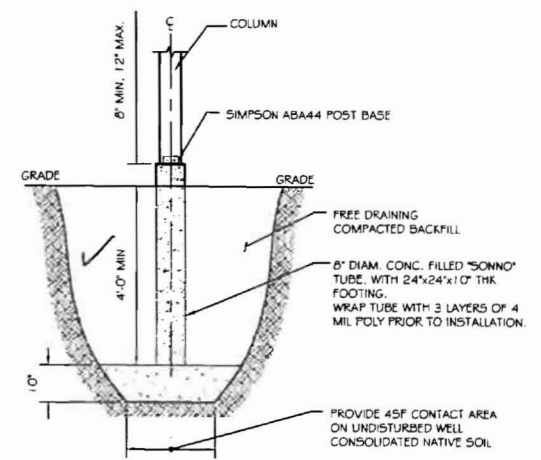
White - Planning Office

Pink - Inspections

Yellow - Applicant

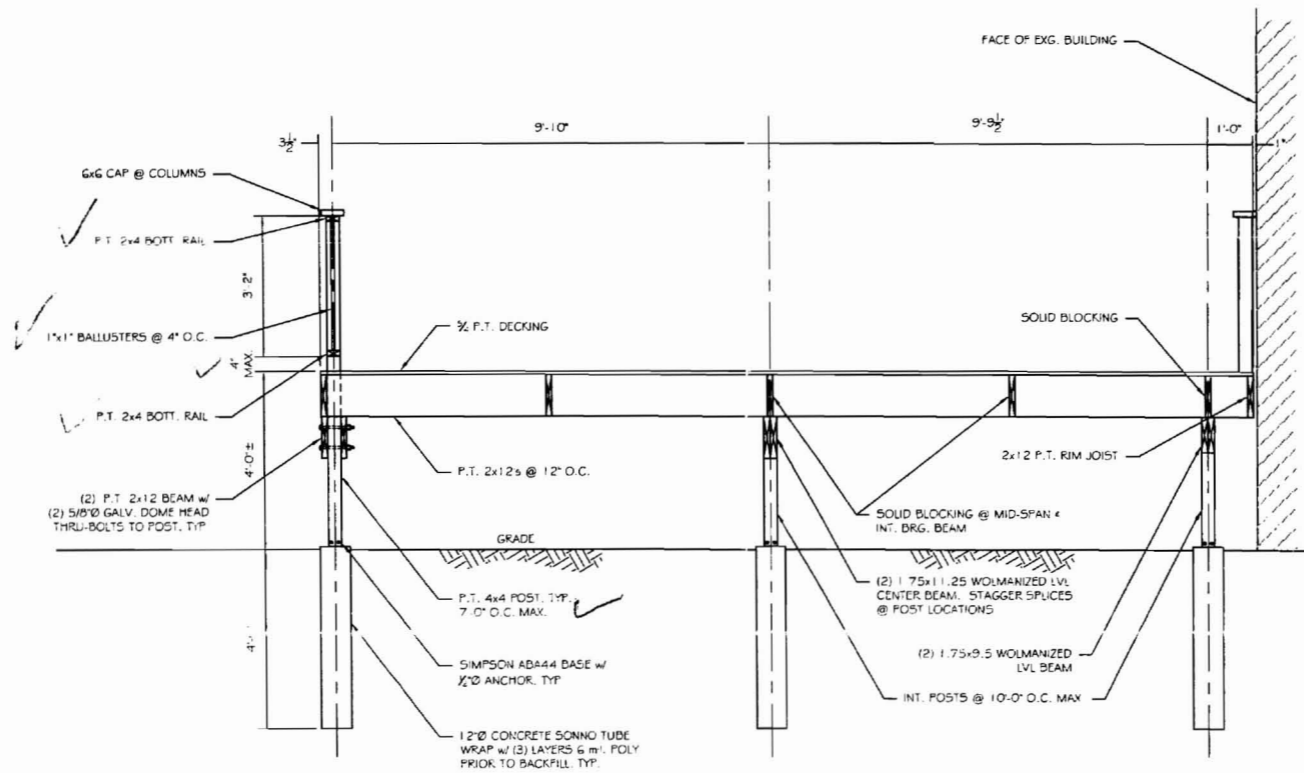


C1 TYPICAL WOOD STAIR AND RAILING DETAIL  
SCALE: NO SCALE



B1 TYPICAL CONCRETE PIER AT COLUMN  
SCALE: NO SCALE

B2 DECK ELEVATION  
SCALE: NO SCALE

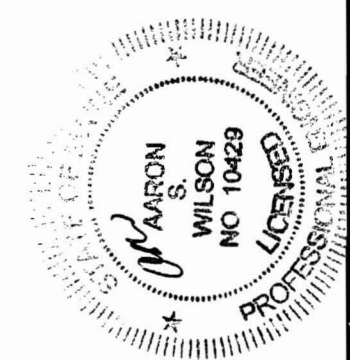


A2 TYPICAL DECK CROSS SECTION  
SCALE: 1/4" = 1'-0"

**ASSOCIATED DESIGN PARTNERS INC.**  
Office: (207) 878-1751  
Fax: (207) 878-1788  
E-Mail: [adp@adpengineering.com](mailto:adp@adpengineering.com)  
80 Leighton Road  
Falmouth, Maine 04105

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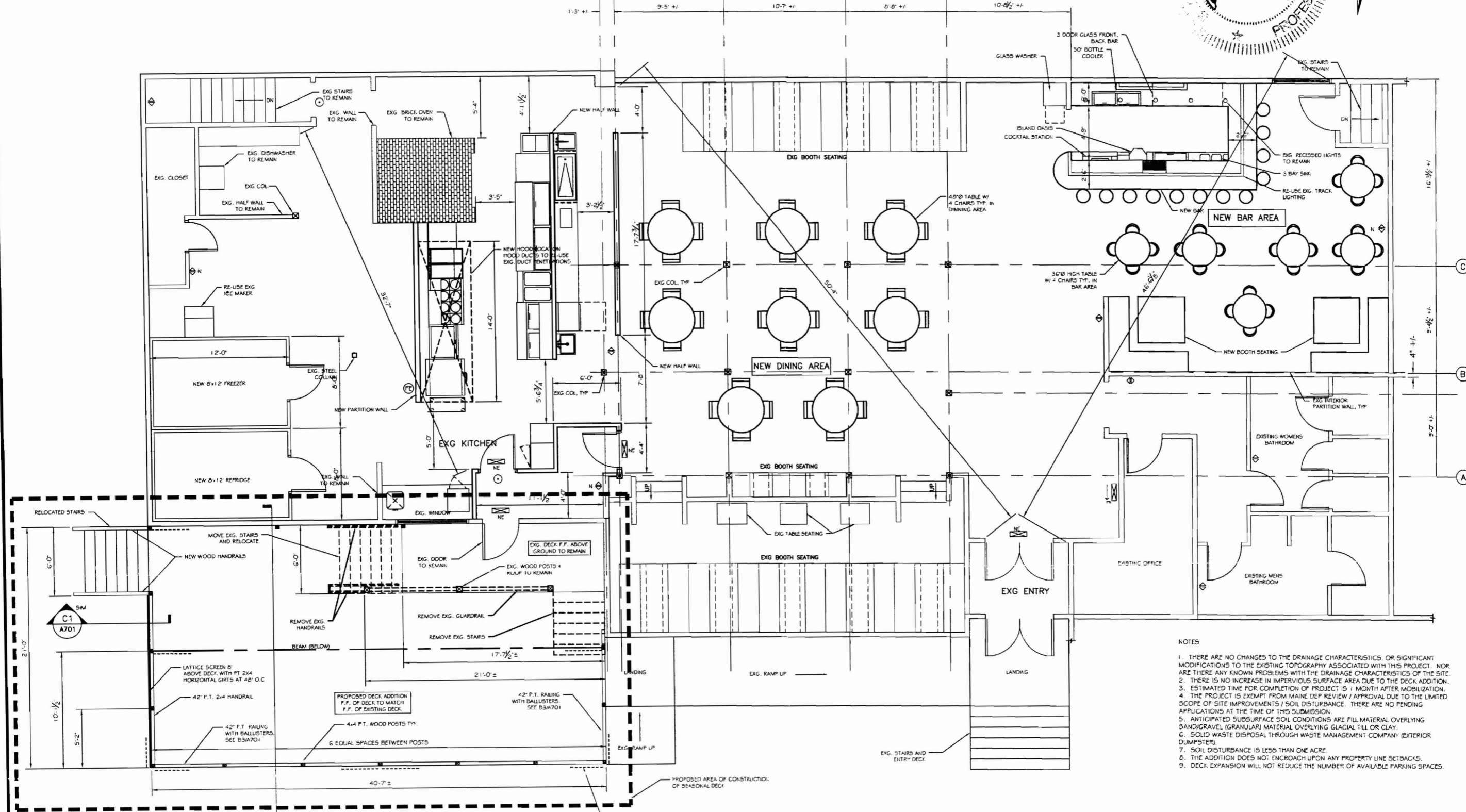
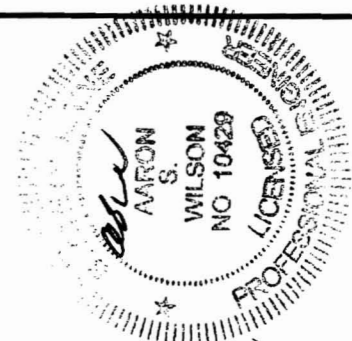
PROJECT: **865 FOREST AVE. PORTLAND, MAINE**  
FOR: LARRY ALLEN  
SHEET TITLE: **STAIR AND RAILING DETAILS ISSUED FOR PERMITTING**



| REVISIONS | DATE |
|-----------|------|
|           |      |
|           |      |
|           |      |
|           |      |

DATE: 04-18-06  
SCALE: 1/4" = 1'-0"  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 07067-A101.DWG  
PROJECT NUMBER: **07067**  
SHEET NO: **A701**





- NOTES
1. THERE ARE NO CHANGES TO THE DRAINAGE CHARACTERISTICS, OR SIGNIFICANT MODIFICATIONS TO THE EXISTING TOPOGRAPHY ASSOCIATED WITH THIS PROJECT. NOR ARE THERE ANY KNOWN PROBLEMS WITH THE DRAINAGE CHARACTERISTICS OF THE SITE.
  2. THERE IS NO INCREASE IN IMPERVIOUS SURFACE AREA DUE TO THE DECK ADDITION.
  3. ESTIMATED TIME FOR COMPLETION OF PROJECT IS 1 MONTH AFTER MOBILIZATION.
  4. THE PROJECT IS EXEMPT FROM MAINE DEP REVIEW / APPROVAL DUE TO THE LIMITED SCOPE OF SITE IMPROVEMENTS / SOIL DISTURBANCE. THERE ARE NO PENDING APPLICATIONS AT THE TIME OF THIS SUBMISSION.
  5. ANTICIPATED SUBSURFACE SOIL CONDITIONS ARE FILL MATERIAL OVERLYING SAND/GRAVEL (GRANULAR) MATERIAL OVERLYING GLACIAL TILL OR CLAY.
  6. SOLID WASTE DISPOSAL THROUGH WASTE MANAGEMENT COMPANY (EXTERIOR DUMPSTER).
  7. SOIL DISTURBANCE IS LESS THAN ONE ACRE.
  8. THE ADDITION DOES NOT ENCROACH UPON ANY PROPERTY LINE SETBACKS.
  9. DECK EXPANSION WILL NOT REDUCE THE NUMBER OF AVAILABLE PARKING SPACES.

DOTTED LINE INDICATES LOCATIONS OF 4x4 DIAG BRAGES. ATTACH TO POST w/ (2) 1/2" LAG SCREWS ATTACH TO BEAM w/ (2) 1/2" THRU BOLTS.

**ASSOCIATED DESIGN PARTNERS INC.**  
 80 Leighton Road  
 Falmouth, Maine 04105  
 Office: (207) 878-1751  
 Fax: (207) 878-1788  
 E-Mail: adp@adpengineering.com

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PROJECT: **865 FOREST AVE. PORTLAND, MAINE**  
 FOR: LARRY ALLEN  
 SHEET TITLE: **PROPOSED SEASONAL DECK ADDITION ISSUED FOR PERMITTING**

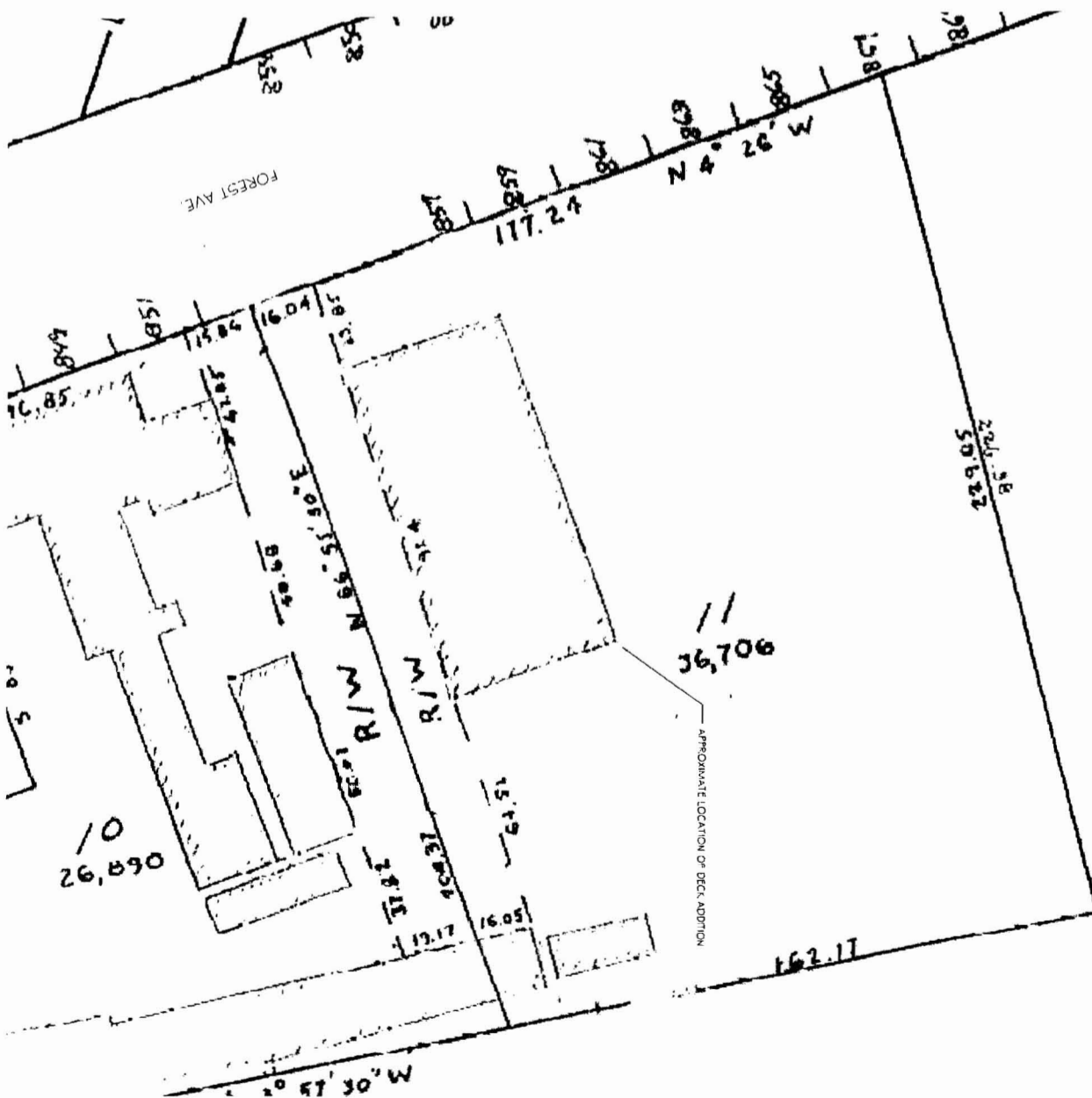
| REVISIONS | DESCRIPTION | DATE |
|-----------|-------------|------|
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|           |             |      |
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|           |             |      |

DATE : 04-18-06  
 SCALE : 1/4" = 1'-0"  
 DESIGN BY: ASW  
 DRAWN BY: RSC  
 FILE #: 07067-A101.DWG  
 PROJECT NUMBER:  
**07067**  
 SHEET NO:  
**A101**



AERIAL PHOTO

200-10' rdg. - S 99' etc  
 side view of 1st - S 10' etc.  
 improve surface etc - same as  
 driveway etc.



TAX MAP PLOT PLAN

NOTE:  
 INFORMATION SHOWN ON THIS PLAN IS DERIVED FROM THE CITY OF  
 PORTLAND TAX MAP AND ASSOCIATED DESIGN PARTNERS, INC. DOES NOT  
 WARRANT OR GUARANTEE IN ANY WAY THE ACCURACY OR COMPLETENESS  
 OF INFORMATION SHOWN ON THIS IS A REPRESENTATIVE REPRESENTATION OF THE  
 TAX MAP AND IS NOT INTENDED TO BE A SURVEY OR ENGINEERING DRAWING.



| REVISIONS |    | DATE        |
|-----------|----|-------------|
| No.       | BY | DESCRIPTION |
|           |    |             |
|           |    |             |
|           |    |             |

PROJECT: **865 FOREST AVE.**  
 PORTLAND, MAINE  
 FOR: GRANT WILSON

SHEET TITLE:  
**SITE AERIAL PHOTO + TAX MAP**

THE DRAWING, DESIGN AND  
 CONSTRUCTION OF THIS PROJECT  
 IS THE PROPERTY OF ASSOCIATED  
 DESIGN PARTNERS, INC. AND IS  
 NOT TO BE REPRODUCED OR  
 TRANSMITTED IN ANY FORM OR  
 BY ANY MEANS, ELECTRONIC OR  
 MECHANICAL, INCLUDING  
 PHOTOCOPYING, RECORDING,  
 OR BY ANY INFORMATION  
 STORAGE AND RETRIEVAL  
 SYSTEM, WITHOUT THE  
 WRITTEN PERMISSION OF  
 ASSOCIATED DESIGN  
 PARTNERS, INC.

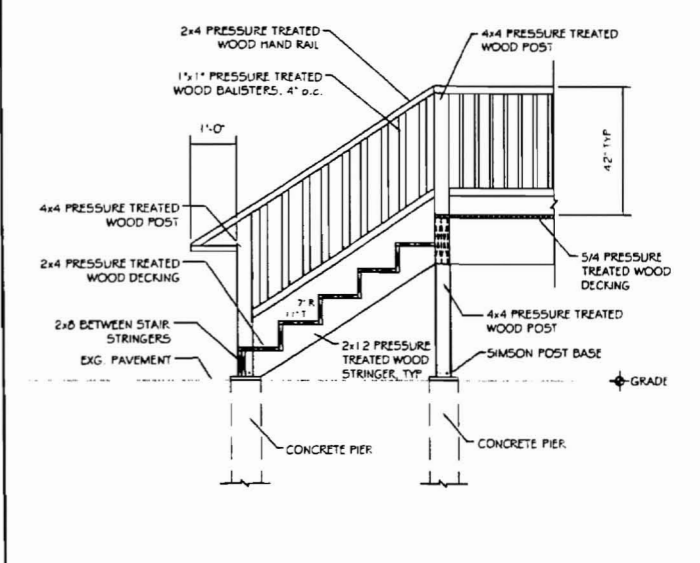
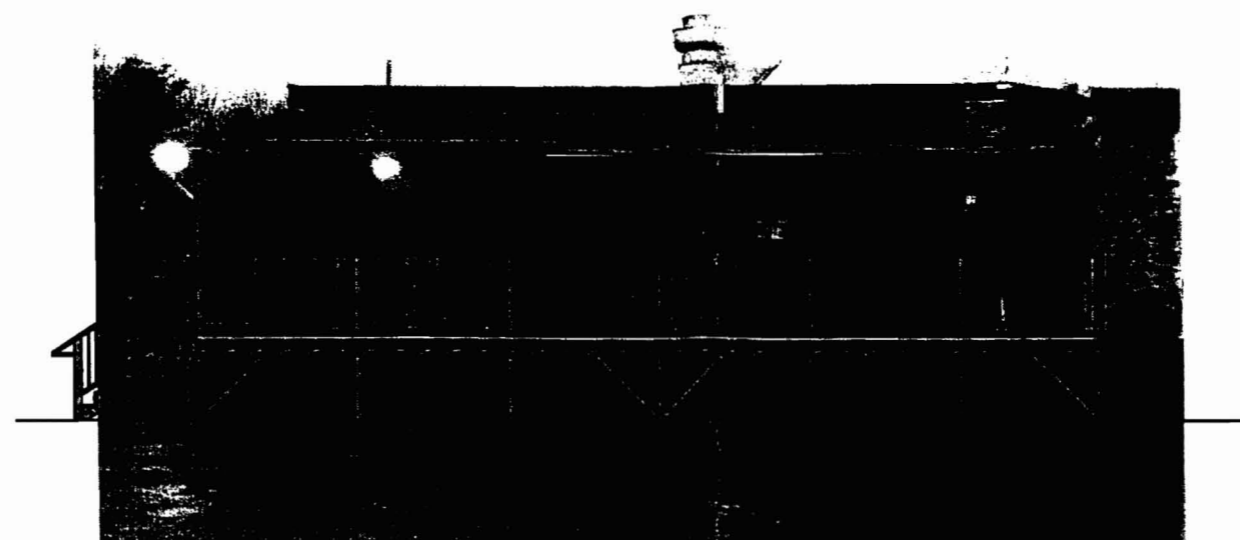
**ASSOCIATED DESIGN PARTNERS INC.**

80 Leighton Road Office: (207) 878-1751  
 Falmouth, Maine 04105 Fax: (207) 878-1788  
 E-Mail: [adm@adpengineering.com](mailto:adm@adpengineering.com)

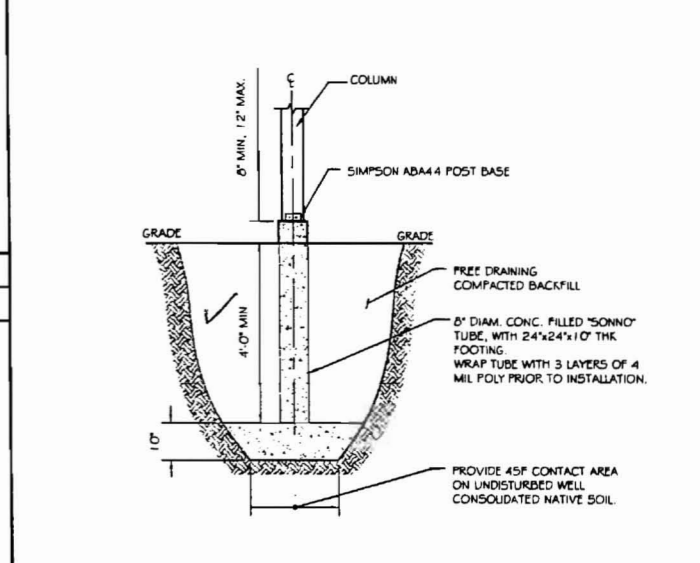
SHEET NO.  
**C101**

PROJECT NUMBER  
**0706**

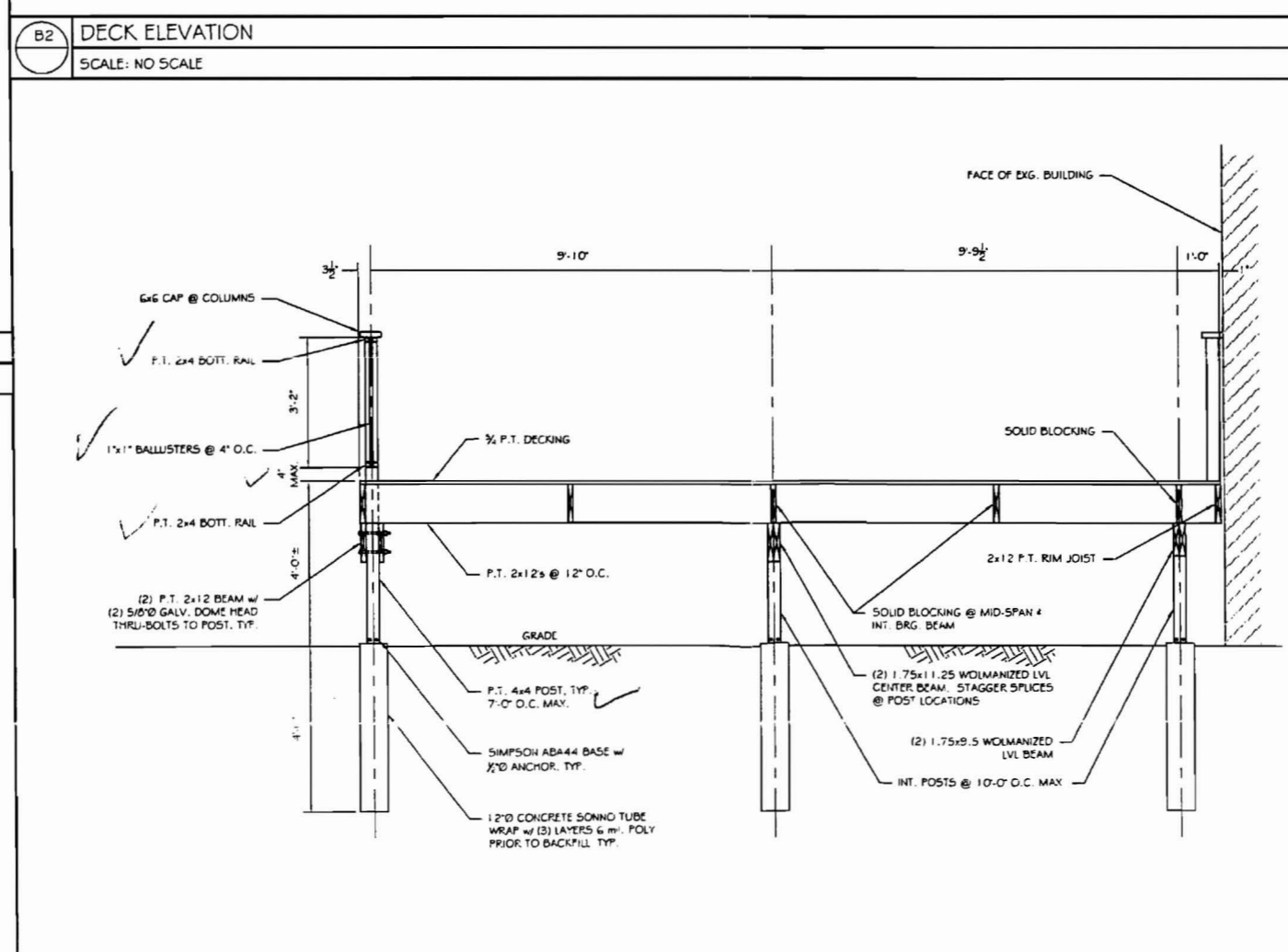
DATE: 04-09-06  
 SCALE: 1/200  
 DESIGN BY: ASW  
 DRAWN BY: SSC  
 FILE # 0706-A401.MXD



C1 TYPICAL WOOD STAIR AND RAILING DETAIL  
SCALE: NO SCALE



B1 TYPICAL CONCRETE PIER AT COLUMN  
SCALE: NO SCALE



A2 TYPICAL DECK CROSS SECTION  
SCALE: 1/4" = 1'-0"



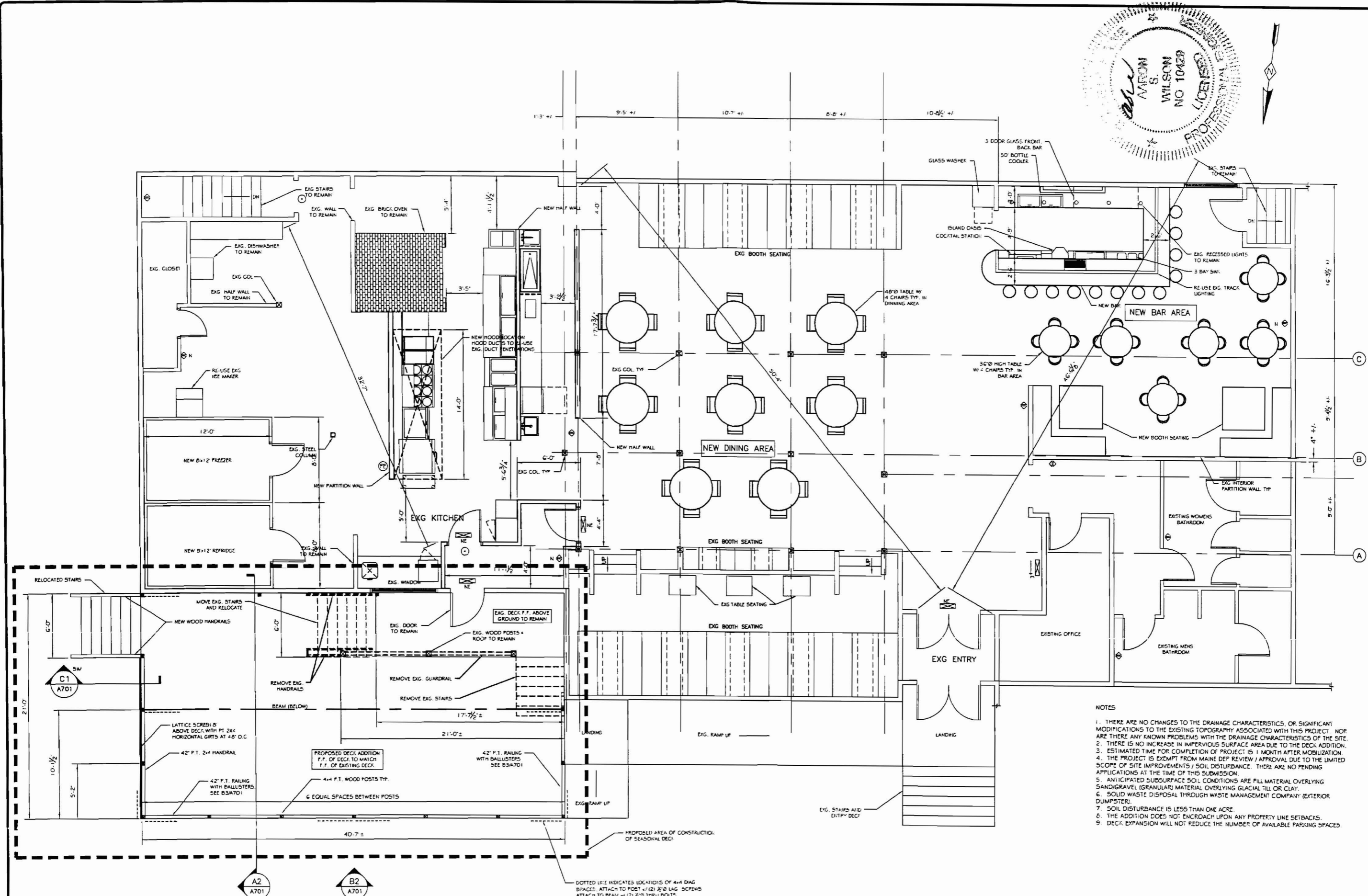
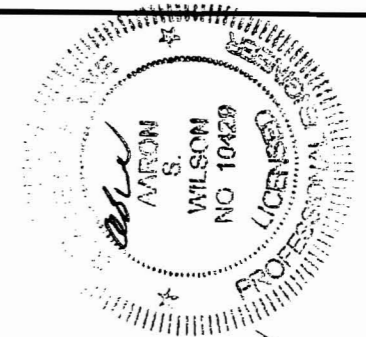
**ASSOCIATED DESIGN PARTNERS INC.**  
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PROJECT: **865 FOREST AVE. PORTLAND, MAINE**  
FOR: **LARRY ALLEN**  
SHEET TITLE: **STAIR AND RAILING DETAILS**

| REVISIONS | DESCRIPTION | DATE |
|-----------|-------------|------|
| No.       | BY          |      |
| 1         |             |      |
| 2         |             |      |

DATE: 04-18-06  
SCALE: 1/4" = 1'-0"  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 07067-A101.DWG  
PROJECT NUMBER: **0706**  
SHEET NO: **A70**



- NOTES
1. THERE ARE NO CHANGES TO THE DRAINAGE CHARACTERISTICS, OR SIGNIFICANT MODIFICATIONS TO THE EXISTING TOPOGRAPHY ASSOCIATED WITH THIS PROJECT. NOR ARE THERE ANY KNOWN PROBLEMS WITH THE DRAINAGE CHARACTERISTICS OF THE SITE.
  2. THERE IS NO INCREASE IN IMPERVIOUS SURFACE AREA DUE TO THE DECK ADDITION.
  3. ESTIMATED TIME FOR COMPLETION OF PROJECT IS 1 MONTH AFTER MOBILIZATION.
  4. THE PROJECT IS EXEMPT FROM MAINE DEP REVIEW / APPROVAL DUE TO THE LIMITED SCOPE OF SITE IMPROVEMENTS / SOIL DISTURBANCE. THERE ARE NO PENDING APPLICATIONS AT THE TIME OF THIS SUBMISSION.
  5. ANTICIPATED SUBSURFACE SOIL CONDITIONS ARE FILL MATERIAL OVERLYING SAND/GRAVEL (GRANULAR) MATERIAL OVERLYING GLACIAL TILL OR CLAY.
  6. SOLID WASTE DISPOSAL THROUGH WASTE MANAGEMENT COMPANY (EXTERIOR DUMPSTER).
  7. SOIL DISTURBANCE IS LESS THAN ONE ACRE.
  8. THE ADDITION DOES NOT ENCRUCH UPON ANY PROPERTY LINE SETBACKS.
  9. DECK EXPANSION WILL NOT REDUCE THE NUMBER OF AVAILABLE PARKING SPACES.

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PROJECT: **865 FOREST AVE. PORTLAND, MAINE**  
 FOR: LARRY ALLEN  
 SHEET TITLE: **PROPOSED SEASONAL DECK ADDITION**

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
|           |      |             |
|           |      |             |
|           |      |             |

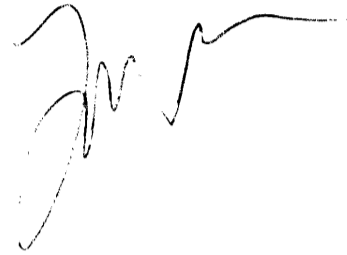
DATE: 04-18-06  
 SCALE: 1/4" = 1'-0"  
 DESIGN BY: ASW  
 DRAWN BY: RSC  
 FILE #: 07067-A101.DWG  
 PROJECT NUMBER: **0706**  
 SHEET NO.: **A101**

4/1/09 Granted Extension for 60 days  
To start construction. JMB  
See letter

05/08/09 Footing/Substructure  
Not ready for inspt. JMB

5/11/09 - checked post holes/soil Bore -  
all OK to pour.

06/28/09 Deck okay.  
needs handrails



9/23/09 Annual  
inspected OK  
close permit SMA