

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that DIOCESAN BUREAU OF HOUSING

Located At 880 FOREST

Job ID: 2011-02-440-ALTCOMM

CBL: 136 - - E - 005 - 001 - - - -

has permission to Replace the ext skin/envelope & roof, upgrade insulation and HVAC & install a new entry vestibule/canopy provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

J. M. B. per B.W.

Fire Prevention Officer

Jeanne Banta 3/15/11

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR**

PERMIT ISSUED

MAR 15

City of Portland

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-02-440-ALTCOMM	Date Applied: 2/17/2011	CBL: 136 - - E - 005 - 001 - - - - -	
Location of Construction: 880 FOREST	Owner Name: BUREAU OF HOUSING DIOCESAN	Owner Address: 880 FOREST AVE PORTLAND, ME - MAINE 04103	Phone:
Business Name:	Contractor Name: Barton, Mike	Contractor Address: Wright-Ryan 10 DANFORTH ST, PORTLAND, MAINE 04101	Phone: 773-3625
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Deering Pavillion : 200 residential unit	Proposed Use: Same: 200 residential units - to add new exterior skin - new roof - windows and new vestibule	Cost of Work: 3,054,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <i>w/ conditions</i> <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-2 Type: I IBC-2009
Proposed Project Description: 880 Forest Ave - exterior treatments		Signature: <i>[Signature]</i> (58) Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>ok with conditions</i> <i>5/23/11</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

PERMIT ISSUED

MAR 15

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
		City of Portland	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks
 2. Close in prior to insulation or drywall
 3. Final inspection including stamped letter for the structural components

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.

PERMIT ISSUED

15

City of Portland



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-02-440-ALTCOMM

Located At: 880 FOREST

CBL: 136 - - E - 005 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain 200 residential dwelling units. Any change of use shall require a separate permit application for review and approval.
3. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
4. Separate permits are required for fire alarm and fire suppression systems.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Any cutting and welding done will require a Hot Work Permit from Fire Department.
3. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
4. A separate Fire Alarm Permit is required.
5. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
6. Fire alarm system requires a wireless master box connection per city ordinance. Masterbox design and installation shall be as approved by City Electrical Division.
7. The sprinkler system shall be installed in accordance with NFPA 13.
8. The Standpipe system shall be installed in accordance with NFPA 14.
9. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
10. A separate Suppression System Permit is required.
11. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
12. Fire department connection type and location shall be approved in writing by fire prevention bureau.
13. The Fire Department will require knox locking caps on all Fire Department Connections on the exterior of the building.
14. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
15. Non-combustible construction of this structure requires all construction to be Non-combustible.
16. A single source supplier should be used for all through penetrations.

17. Hardwired Carbon Monoxide and photoelectric smoke alarms with battery back up are required in the dwelling units.
18. Application requires State Fire Marshal approval.
19. All means of egress to remain accessible at all times.
20. Fire extinguishers are required. Installation per NFPA 10.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. An inspection of the installation of the steel and concrete, structural anchoring and welding shall be conducted by a licensed engineer and a letter with his/her certification shall be submitted to this office stating compliance with the approved plans by the final inspection or CO.
5. All glazing in hazardous locations per Section 2406.4 shall meet the requirements of safety glazing materials in Sec. 2406

PERMIT ISSUED

WY 15

City of Portland

Job Summary Report
Job ID: 2011-02-440-ALTCOMM

*200 units with 2 variances
 for height & parking
 in "G" Drive*

Report generated on Feb 22, 2011 11:15:01 AM

Job Type: Adds/Alter Remodel Only Non-Res & NonHskp
Job Description: 880 Forest Ave
Job Year: 2011
Building Job Status Code: In Review
Pin Value: 677
Tenant Name:
Job Application Date:
Public Building Flag: N
Tenant Number:
Estimated Value: 3,054,000
Square Footage:
Related Parties: BUREAU OF DIOCESAN *Deering Pavillion Remodeling* *Property Owner*
 Wright Ryan Construction - Mike Barton *GENERAL CONTRACTOR*

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
Certificate of Occupancy Fee	\$75.00		\$75.00	2/17/11	1360	\$75.00		\$75.00	\$0.00
Job Valuation Fees	\$30,560.00		\$30,560.00	2/17/11	1360	\$30,560.00		\$30,560.00	\$0.00

Location ID: 20104

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
D23430	136 E 005 001		M				-70.289474	43.678011

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				880 FOREST AVENUE NORTH

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
BENEVOLENT & CHARITABLE		NOT APPLICABLE	<i>R-6</i>				DISTRICT 7	DEERING-ROSEMONT

Structure Details

Structure: 200 unit Deering Pavillion

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Mutli-Family 5+ Building	0			880 FOREST AVENUE NORTH

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value

in Que



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>880 FOREST AVE PORTLAND, ME 04103</u>		
Total Square Footage of Proposed ^{EXISTING} Structure/Area <u>132,396 (12,036 PER FLOOR)</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>136</u> Block# <u>E</u> Lot# <u>5</u>		Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>WRIGHT-RYAN CONSTRUCTION, INC.</u> Address <u>CRAIG HILL</u> <u>10 DANFORTH ST.</u> City, State & Zip <u>PORTLAND, ME 04101</u>
Lessee/DBA (If Applicable) <u>DEERING PAVILION</u> <u>880 FOREST AVE</u> <u>PORTLAND, ME 04103</u>		Owner (if different from Applicant) Name <u>DIOCESAN BUREAU OF HOUSING</u> <u>ROMAN CATHOLIC DIOCESE OF PORTLAND</u> Address <u>510 OCEAN AVE</u> <u>P.O. BOX 11559</u> City, State & Zip <u>PORTLAND, ME 04104</u>
		Cost Of Work: \$ <u>3,053,328.00</u> C of O Fee: \$ <u>76.00</u> Total Fee: \$ <u>30,635.00</u>
Current legal use (i.e. single family) <u>ELDERLY HOUSING</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>TO REMAIN THE SAME</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>1 EXTERIOR SKIN/ENVELOPE UPGRADE (NEW ROOF, INSULATED METAL WITH PANELS, EIFS WALL SYSTEMS, WINDOWS, METAL TRIM PACKAGE)</u> <u>2 SPRINKLER UPGRADE ENTIRE BUILDING</u> <u>3 FIRE ALARM UPGRADE</u> <u>4 NEW VESTIBULE CONSTRUCTION</u>		
Contractor's name: <u>WRIGHT-RYAN CONSTRUCTION, INC.</u>		
Address: <u>10 DANFORTH ST.</u>		
City, State & Zip <u>PORTLAND, ME 04101</u>		Telephone: <u>207-773-3625</u>
Who should we contact when the permit is ready: <u>CRAIG HILL</u>		Telephone: <u>207-650-8089</u>
Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 12/3/10

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED
FEB 17 2011
Dept. of Building Inspections
City of Portland Maine



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bears their seal; you will need the City of Portland forms for the Certificate of Design, Certificate of Design Application and Accessibility Building Code Certificate.

- W/A SEE ATTACHED EMAIL* A statement of special inspections as required per Chapter 17 of the IBC 2003
i.e.: http://www.acec.org/coalitions/CASE/case1004/statement_of_si.doc
- Cross sections w/ framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- W/A* Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are also required if original plans are larger than 11" x 17". *(.PDF)*
- W/A* Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- PLANS* The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant and the project architect. *(ATTACHED AND ALL SHOWN ON PLANS)*
- Proposed use of structure (NFPA and IBC classification) *SEE DESIGN APPLICATION AS WELL*
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure. *SEE SPEC ATTACHED*
- Separate plans shall be submitted for
 - a) Suppression system *(TO BE DONE ONCE DESIGNED) BY SUBCONTRACTOR*
 - b) Detection System (separate permit is required) *EXISTING*
- A separate Life Safety Plan must include:
 - MA EXISTING* a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- MA EXISTING* Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

PROJECT DIRECTORY

CWS Architects

Ben Walter

Architect

434 Cumberland Avenue
Portland, ME 04101-2325

Phone: 207 774-4441
Fax: 207 774-4016

Diocesan Bureau of Housing

James Somma

Owner

P.O. Box 11559
Portland, ME 04104

Phone: 207-773-6471
Fax:

Wright-Ryan Construction Inc

Craig Hill

General Contractor

10 Danforth Street
Portland, ME 04101

Phone: 207-773-3625 x26
Fax: 207-773-5173



Certificate of Design Application

From Designer: CWS Architects

Date: February 8, 2011

Job Name: Deering Pavilion Renovations

Address of Construction: 880 Forest Ave.

Portland, ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) R2

Type of Construction Type I

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 ~~IBC~~ IBC

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) N/A

Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations
Completed Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
<u>N/A</u>	<u>N/A</u>

Wind loads (1603.1.4, 1609)

 Design option utilized (1609.1.1, 1609.6)

100 MPH Basic wind speed (1809.3)

II, Iw = 1.0 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)

B Wind exposure category (1609.4)

± 0.18 Internal pressure coefficient (ASCE 7)

See S2 Component and cladding pressures (1609.1.1, 1609.6.2.2)

N/A Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Exempt Design option utilized (1614.1)

Exempt Seismic use group ("Category")

Exempt Spectral response coefficients, SDs & SD1 (1615.1)

 Site class (1615.1.5)

N/A Live load reduction

N/A Roof live loads (1603.1.2, 1607.11)

42 PSF Roof snow loads (1603.7.3, 1608)

60 PSF Ground snow load, P_g (1603.2)

42 PSF If $P_g > 10$ psf, flat-roof snow load P_f

1.0 If $P_g > 10$ psf, snow exposure factor, E

1.0 If $P_g > 10$ psf, snow load importance factor, I_s

1.0 Roof thermal factor, C_t (1603.4)

N/A Sloped roof snowload, P_s (1603.4)

Exempt Seismic design category (1616.3)

Exempt Basic seismic force resisting system (1617.6.2)

Exempt Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)

 Analysis procedure (1616.6, 1617.5)

Exempt Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

N/A Partition loads (1607.5)

N/A Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: February 8, 2011

From: CWS Architects

These plans and / or specifications covering construction work on:

Deering Pavilion Renovations

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

Title: President

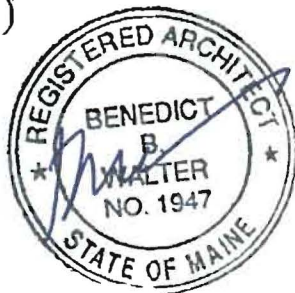
Firm: CWS Architects

Address: 434 Cumberland Ave.

Portland, ME 04101

Phone: 207-774-4441

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov




Accessibility Building Code Certificate

Designer: Ben Walter - CWS Architects

Address of Project: 880 Forest Ave. / Portland, ME 04103

Nature of Project: Renovating the roof, the sprinkler system and
the entry vestibule; replacing the windows
and adding an insulation skin.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: 

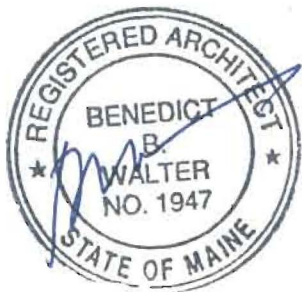
Title: President

Firm: CWS Architects

Address: 434 Cumberland Ave.
Portland, ME 04101

Phone: 207-774-4441

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

SECTION 21 13 13

AUTOMATIC FIRE PROTECTION

PART 1 GENERAL

1.1 DESCRIPTION OF WORK

- A. The work covered by this Section of the specifications includes the furnishing of labor, materials, equipment, transportation, permits, inspections and incidentals and the performing of operations required to design, install and test modifications to the existing 'life-safety' sprinkler system to improve it to a NFPA13, pressurized, fully supervised, wet or dry pipe fire protection system including combined standpipe/sprinkler system for full building protection in accordance with NFPA, IBC, and the Owner's insurance underwriter. Areas subject to freezing shall have a dry pipe system, dry pendent or sidewall heads, or glycol-and-water loop per NFPA.
- B. The sprinkler systems design shall be based on NFPA13 requirements.
- C. Visit the site and examine existing conditions prior to submitting bid.
- D. The sprinkler contractor shall be responsible for verifying that the existing fire pump is sufficient to supply the proposed NFPA13 combined sprinkler and standpipe system.

1.2 RELATED DOCUMENTS

- A. The drawings and the specifications including Section 23 05 00 "Supplemental Mechanical General Requirements" are hereby made a part of the work of this section.

1.3 QUALIFICATIONS

- A. The Fire Protection Work shall be performed by a qualified Contractor primarily engaged in the design and installation of Fire Protection Systems. The fire protection system design shall be performed under the direction of, and sealed by, a professional engineer registered in the State of Maine or with NICET Level III (minimum) Certification.
- B. Welding qualifications of individuals installing welded piping shall be certified by the National Certified Welding Bureau for the type(s) of weld(s) proposed for use in piping assembly.

1.4 SUBMITTALS

- A. Items for which the submittal requirements of section 23 05 00, Supplemental Mechanical General Requirements, apply are as Follows:
 - 1. Hydrant flow test.
 - 2. System components.
 - 3. Hydraulic calculations.
 - 4. Piping layout, details and control diagram.
 - 5. Flushing and testing records.
 - 6. Certificate of installation.
 - 7. Copy of Fire Protection Contractors License.
 - 8. Welding certificates of individual welding technicians.
 - 9. Sprinkler heads.
 - 10. Alarm valve(s).
 - 11. Fire department connection(s).
 - 12. Firestopping materials and methods.

2.4 BACKFLOW PREVENTER

- A. Provide AMES MODEL 2000.

2.5 PIPING SYSTEM IDENTIFICATION

- A. Piping system and valve identification and color coding shall be in accordance with ANSI.

2.6 SPRINKLER SYSTEM ZONING

- A. The building shall have area zone alarms to connect to the building fire alarm panel as indicated on the drawings (twelve (12) total zones). Each floor (level) shall be a separate sprinkler system zone. Each zone alarm shall consist of a flow switch, isolation valve with tamper switch and other components per NFPA.

PART 3 EXECUTION

3.1 PIPING LAYOUT AND DESIGN

- A. System requirements, installation requirements, design, plans, and calculations: Conform to NFPA 13, Installation of Sprinkler Systems.
- B. Sprinkler piping shall be run concealed above ceilings in occupied areas. Piping in other areas may be run exposed. Piping shall not be exposed in occupied spaces unless indicated on the drawings.
- C. Pipe penetrations through walls and floors shall be in accordance with Section 23 05 00 - Supplemental Mechanical General Requirements. Traverse points of piping shall be escutcheoned with split chrome floor and ceiling plates and spring anchors, where visible to occupancy. Penetrations through walls shall be sleeved in accordance with Section 23 05 00. Sleeves shall be provided by the Fire Protection Contractor.
- D. Coordinate design and layout with building structure and building systems. The work shown in the contract documents has precedence for space requirements. Work of other trades may be modified or moved only with permission of the trade involved. Costs associated with modifications or relocations shall be the same as for "Substitutions" Section 23 05 00.
- E. Architect shall review proposed system layout and reserve the right to relocate heads, substitute head system and in general review final layout for components visible in occupied spaces.

3.2 SYSTEM ACCEPTANCE

- A. Approval, flushing, hydrostatic testing, instructions, and certificates of installation: Conform to NFPA 13, Installation of Sprinkler Systems.
- B. Disinfect the water piping in accordance with AWWA C601. Fill the piping systems with solution containing a minimum of 50 parts per million of available chlorine and allow solution to stand for minimum of 24 hours. Repeat disinfection if chlorine residual is less than 10 parts per million after 24 hours. Flush the solution from the systems with clean water until maximum residual chlorine contents is not greater than 0.2 parts per million.
- C. Closing in Work:
 - 1. General: Cover up or enclose work after it has been properly and completely reviewed.

2. No additional cost to the Owner will be allowed for uncovering and recovering, work that is covered or enclosed prior to required review and acceptance.
- D. Cleanup and Corrosion Prevention:
1. Upon completion of the work thoroughly clean and flush piping systems to the sewer with water.
 2. Piping and equipment shall be thoroughly cleaned. Dirt, dust, and debris shall be removed and the premises left in a clean and neat condition.
 3. Before uncovered piping is permitted to be concealed, corrosion and rust shall be wire brushed and cleaned and in the case of iron products, a coat of approved protective paint applied to these surfaces. When corrosion is from the effects of hot solder paste, the areas shall be cleaned and polished and a wash of bicarbonate of soda and water used to neutralize the acid condition.
- E. Instructions: On completion of the project, provide a technician familiar with the system to thoroughly instruct the Owner's representative in the care and operation of the system. The total period of instruction shall not exceed four (4) hours. The time of instruction shall be arranged with the Owner.
- F. Warranty: For a period of one (1) year after completion of the installation repair or replace any defective materials or workmanship. Upon completion of the installation, the system shall be turned over to the Owner fully inspected and tested, and in operational condition.

3.3 FIRESTOPPING

- A. Firestopping shall be performed in accordance with Specification Section 07 84 00 "Firestopping". All penetrations of fire-rated assemblies including walls and floors by mechanical system components (piping, ductwork, conduits, etc.) shall be firestopped as specified.

* END OF SECTION *

From: [Mike Barton](#)
To: [Ben Walter; Nathan Merrill;](#)
CC: [Dave Douglass; Cordelia Pitman;](#)
Subject: RE: Deering Pavilion
Date: Monday, May 24, 2010 3:54:01 PM
Attachments:

10-4.

Michael Barton, LEED AP
Preconstruction Manager
Wright-Ryan Construction, Inc.
10 Danforth St
Portland, ME 04101
(207) 773-3625 T
(207) 773-5173 F
(207) 318-4231 C
<http://www.wright-ryan.com>

From: Ben Walter [mailto:bwalter@cwsarch.com]
Sent: Monday, May 24, 2010 3:27 PM
To: Nathan Merrill
Cc: Dave Douglass; Mike Barton; Cordelia Pitman
Subject: RE: Deering Pavilion

Thanks Nathan:

Mike: By copy of this email, you have been informed. Please acknowledge.

Ben

Ben Walter AIA, President
CWS Architects | Portland, Maine
Maine Licensed Architect
www.cwsarch.com
T: 207-774-4441

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C: 207-232-3348
bwalter@cwsarch.com

From: Nathan Merrill [<mailto:Nathan@beckerstructural.com>]
Sent: Monday, May 24, 2010 1:34 PM
To: Ben Walter
Cc: Dave Douglass
Subject: Deering Pavilion

Ben,
I spoke with Jeanie Bourke on Friday and based on the scope of the project as described over the phone, she was comfortable with not proceeding with a Statement of Special Inspections. In lieu of a Statement, she is willing to accept a signed affidavit from BSE stating that the canopy was built per our drawings and specifications upon completion and submission for C of O. That having been said, we included a list on our general notes sheet outlining submittal requirements in addition to what is laid out in the specs. Also, we feel it is appropriate to make WR aware that special attention will be paid to verifying in-field welder qualifications during erection. Welders should have documents and proper identification on their person so that we (or testing agency) may verify credentials. We plan on performing 2 visits for the canopy alone (1-foundation, 2-superstructure). Please let me know your thoughts with regards to this information. Thanks.

Nate

Nathan R. Merrill
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