

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND**BUILDING INSPECTION****PERMIT**Please Read
Application And
Notes, If Any,
Attached

Permit Number: 080875

This is to certify that KAHN NATAN D & ORLY GAGAL-KAHN/James Steinbhas permission to Renovations and additions to east and second floorAT 61 HARTLEY ST

CITY OF PORTLAND 136 D001001

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

8/24/08 *Chet N*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

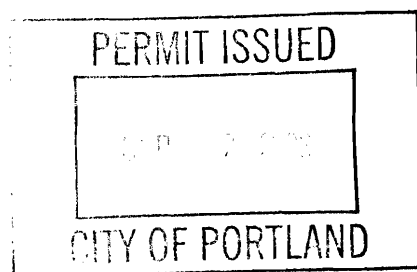
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0875	Issue Date: 8/24/08	CBL: 136 D001001
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Location of Construction: 61 HARTLEY ST	Owner Name: KAHN NATAN D & ORLY HAGG	Owner Address: 61 HARTLEY ST	Phone: 207-874-7813
Business Name:	Contractor Name: James Steinburg	Contractor Address: 4 South Street Cape Elizabeth	Phone: 2077303091
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Renovations and additions to first and second floors; one story addn (339sf) w 8'x15.5' roof deck	Permit Fee: \$870.00	Cost of Work: \$85,000.00	CEO District: 4
Proposed Project Description: Renovations and additions to first and second floors; one story addn (339sf) w 8'x15.5' roof deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRL-2003	
		Signature: _____ Date: 8/24/08		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Imd	Date Applied For: 07/15/2008	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
		Date: 8/15/08 <i>APR</i>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0875	Date Applied For: 07/15/2008	CBL: 136 D001001
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Location of Construction: 61 HARTLEY ST	Owner Name: KAHN NATAN D & ORLY HAGG	Owner Address: 61 HARTLEY ST	Phone: 207-874-7813
Business Name:	Contractor Name: James Steinburg	Contractor Address: 4 South Street Cape Elizabeth	Phone (207) 730-3091
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - one story addition (339 sf) with 8' x 15.5' roof deck & renovations and to first and second floors	Proposed Project Description: one story addition (339 sf) with 8' x 15.5' roof deck & renovations to first and second floors
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/05/2008**Note:** Spoke to the contractor the existing deck on the rear of th house is being removed as part of the project. **Ok to Issue:** ☒

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 08/26/2008**Note:** **Ok to Issue:** ☒

- 1) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.

Comments:

8/11/2008-tmm: Called and emailed builder - need alot more info - see email w/permit for list

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a “Stop Work Order” and “Stop Work Order Release” will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 Hartley St.</u>		
Total Square Footage of Proposed Structure/Area <u>800 sqft.</u>		Square Footage of Lot <u>10,000 sqft.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Natan Kamm</u> Address <u>61 Hartley St.</u> City, State & Zip <u>Portland, ME.</u>	Telephone: <u>874-7813</u>
Lessee/DBA (If Applicable) <u>JUL 15 2008</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>85,000</u> ? C of O Fee: \$ _____ ? Total Fee: \$ <u>85,000</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Expansion of kitchen, additional mud room and living room. Front entrance porch with a deck built on roof. Remodel kitchen and part of existing dining room. Accessible stairs down to basement. Upstairs add bathroom</u> (new porch on side.)		
Contractor's name: <u>James Stenberg</u> Address: <u>4 South St.</u> City, State & Zip: <u>Cape Elizabeth, ME. 04107</u> Telephone: _____ Who should we contact when the permit is ready: <u>Contractor</u> Telephone: <u>730-3091</u> Mailing address: <u>4 South St. Cape Elizabeth, ME. 04107</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

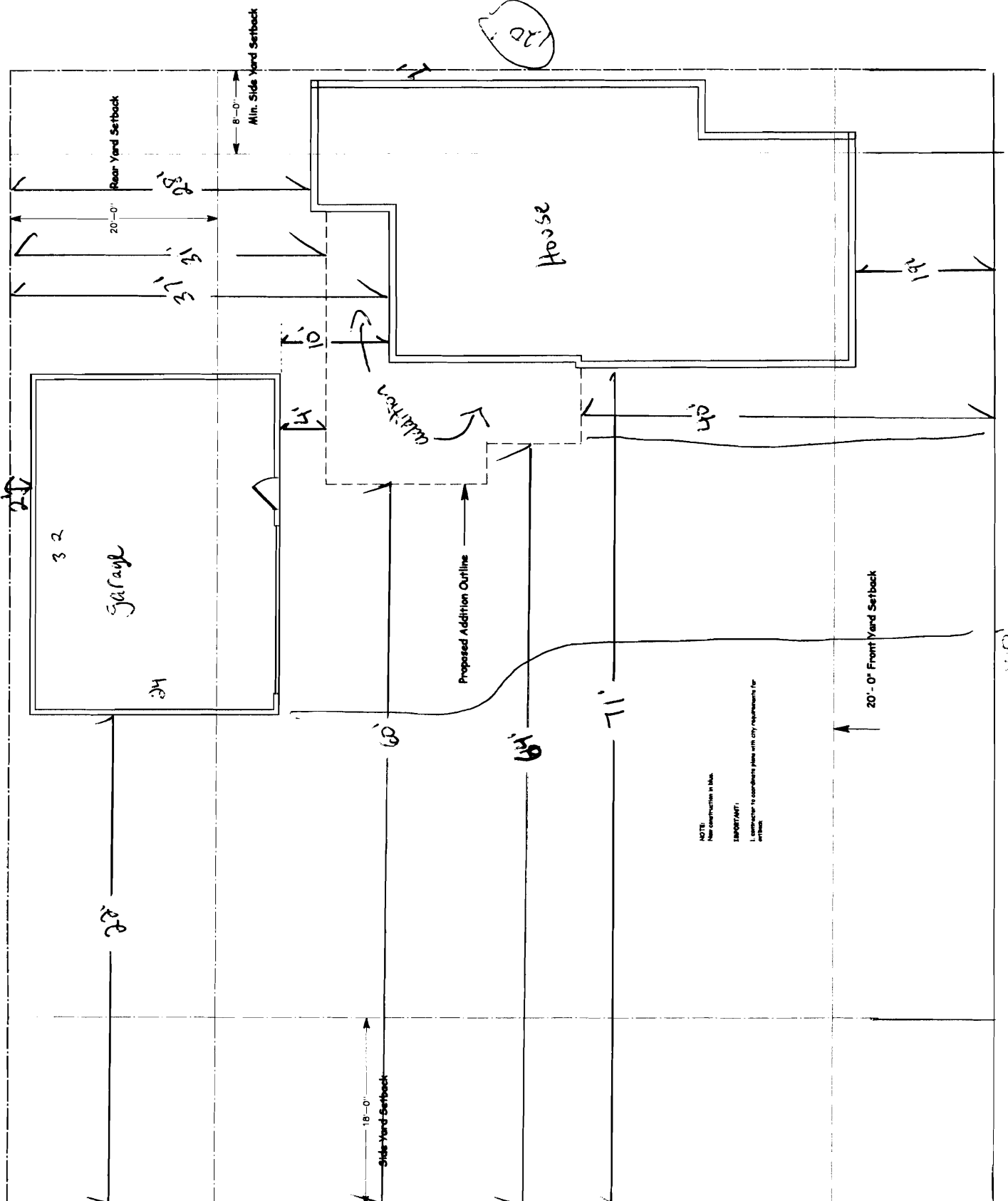
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Natan David Kamm

Date: 7/14/08

This is not a permit; you may not commence ANY work until the permit is issued.

[Signature]



NOTE:
New construction to be
constructed in accordance with city requirements for
setbacks.

61 Huntley St.

120' 18'

Applicant: 61 Hartley St

Address: Natan Kahn

Date: 8/5/08

C-B-L: 136-D-201

permit # 08-0875

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1925

Zone Location - R-5

Interior or corner lot - interior

Proposed Use/Work - one story addition on left rear of house w/ deck over part of it.

Sevage Disposal -

Lot Street Frontage -

Front Yard - 20' min. - 40' given

Rear Yard - 20' min. - 31' given

Side Yard - 8' min. - ~~OK~~ right OK
left 60' given

Projections -

Width of Lot -

Height -

Lot Area - ~~6,300~~ 10,000

Lot Coverage Impervious Surface - 40% = 4,000

Area per Family - ~~3,300~~ 3,300

Off-street Parking -

Loading Bays -

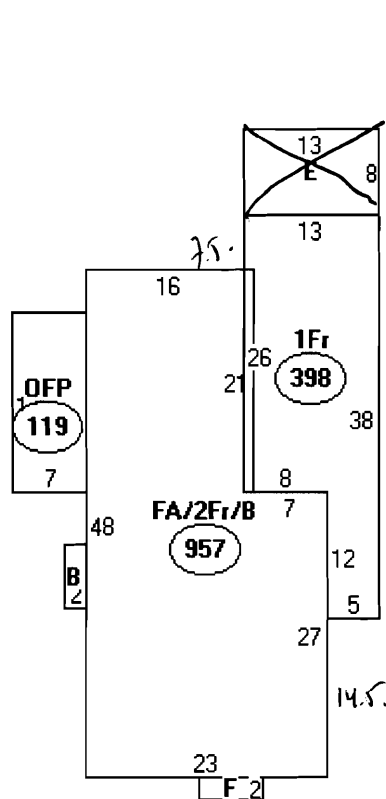
Site Plan -

Shoreland Zoning/ Stream Protection - N/A

Flood Plains -

existing - 1498
garage - 768
addition - 338.63

2604.63



being removed
no then

Descriptor/Area

A: FA/2Fr/B
957 sqft

B: FBAY
12 sqft

C: OFF
119 sqft

D: 1Fr
398 sqft

E: WD
104 sqft

F: 2FBAY
12 sqft

1498 existing

same?

proposed 338.63

garage - 24x32 = 768

2604.63



Schedule Inspection		Add	Find	Print Permit	Print C of O	Print Insp	Invoicing	Taxes	
Prmt		Text93		20098		Constr Type	New	Num1	8
Permit Nbr	08-0875	Location of Construction		61	HARTLEY ST		Appl. Date		
Status	Hold	Permit Type		Additions - Dwellings		Issue Date			
CBL	136 D001001	District Nbr		4	Estimated Cost	\$85,000.00	Date Closed		

Comment Date	Comment	Add	Delete	Save	P
08/11/2008	Called and emailed builder - need alot more info - see email w/permit for list				
Name		tmm	Follow Up Date		Completed

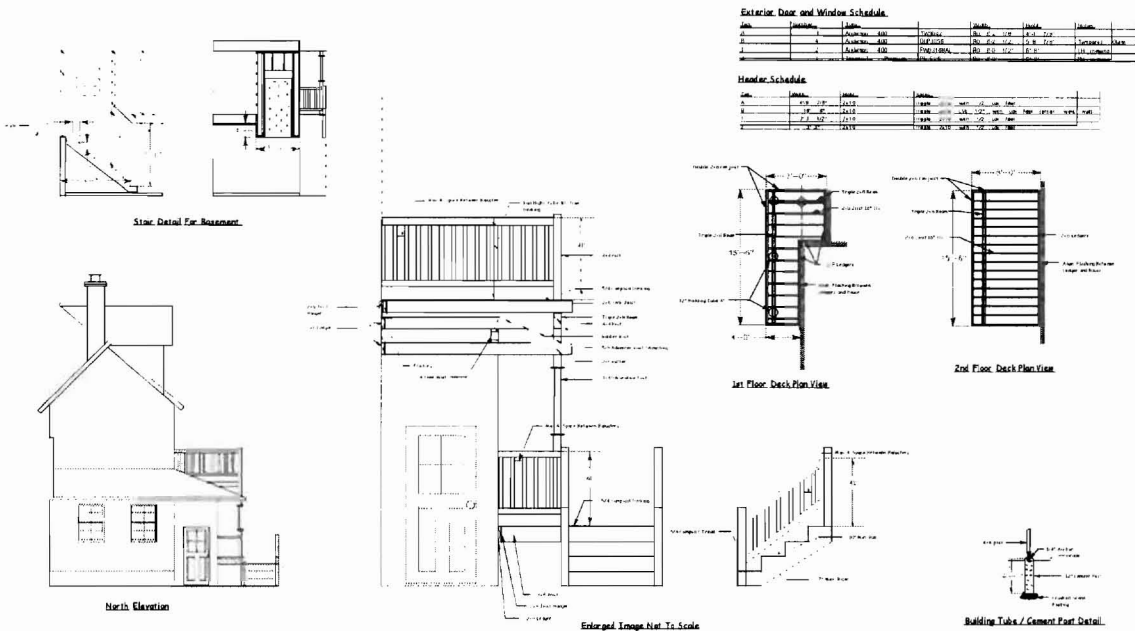
CreatedBy	lmd	CreateDate	07/17/2008	ModBy	tmm	ModDate	08/11
		Time	9:04 AM			Time	10:

From: Norman Jewett <normanjewett@yahoo.com>
To: Tammy Munson <TMM@portlandmaine.gov>
Date: 8/14/2008 9:03:09 PM
Subject: Re: Kahns House

Hi Tammy. I'm responding to your email. Every element should be reflected on the attached PDF files.
Please call with any questions.

Thank you
Norm Jewett

1. Damp-proofing on basement and anchor bolt size and spacing. ✓
-Exterior Foundation waterproofing (eco-flex or like product) 3/4" anchor bolts 8' apart (see foundation plan) ✓
2. Birds eye framing view of deck, first floor addition, 2nd floor roof deck ✓
-(see deck details plan)
3. Stair detail for basement ✓
-(see deck details plan)
4. Framing detail of new opening for basement (cross section showing stair details, headroom and framing) ✓
- (see deck details plan)
5. Ist floor addition and roof deck framing - birds eye views ✓
- (see deck details plan)
6. Header schedule for windows and doors and any structural openings ✓
- (see header schedule on deck details plan)
7. Tube depth and carrying beam size for deck ✓
- (see deck details plan)
8. 2nd floor - sturctural work? exisiting bedroom? Provide dimensions for bathroom including headroom
- There is very little sturctural work, any changes are noted in blue on the plans. The existing headroom is 7'06". All windows on the 2nd floor are existing.
9. Is existing family room becoming a bedroom? ✓
- existing family room will become a play room ✓
10. Guardrail height on stairs and deck ✓
- 41" on both guardrail and stairs (see deck details plan)
11. Tempered glass locations. ✓
- Window B will be tempered glass (see door and window schedule)



Norm Jewett
Phone: 522-4520 Email: normjewett@yahoo.com

Carpentry

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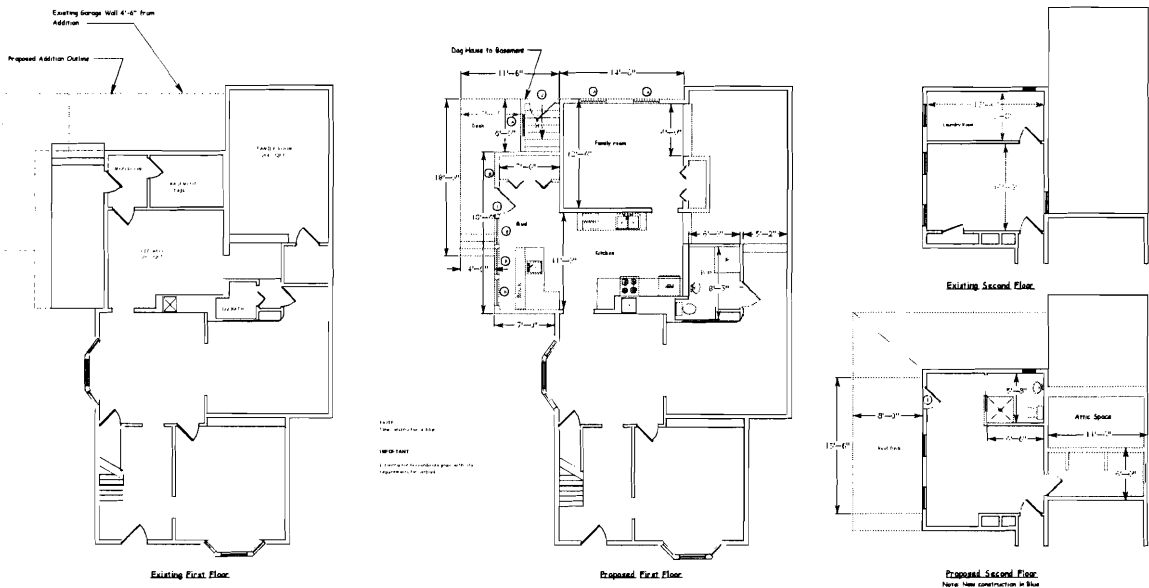
Kahn House Residence

scale 1/4" = 1'

Date 6/26/08

Deck Details And Door & Window Schedule

Drawing 2 of 3

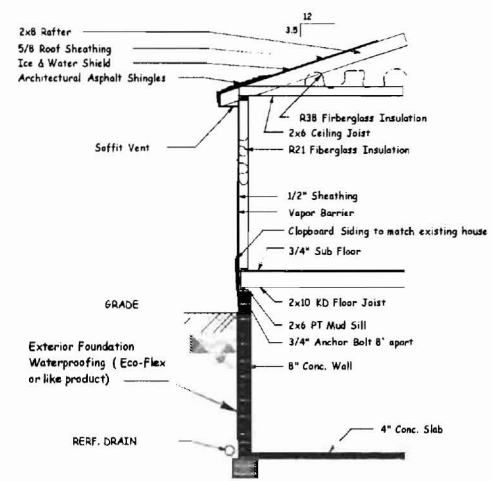
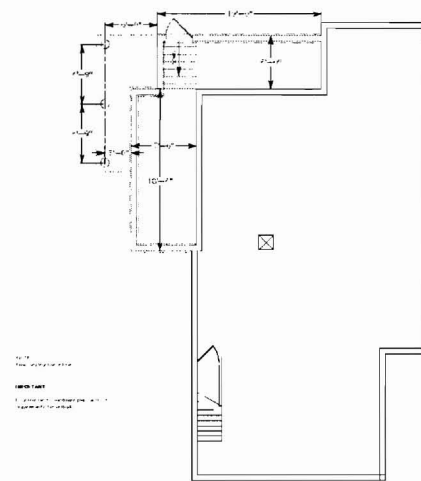


Norm Jewett Carpentry
Phone: 922-4520 Email: normjewe11@yahoo.com

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Kahn House Residence
scale 1/8" = 1'
Date 6/26/08

Floor Plans
Drawing 1 of 3



2

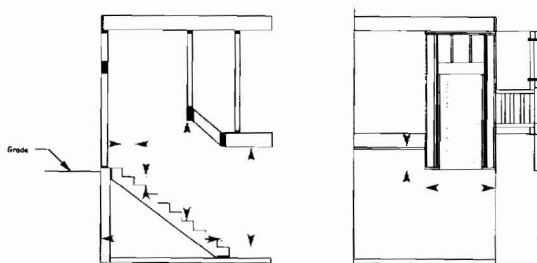
Norm Jewett *Carpentry*
Phone: 522-4520 Email: normanjewett@yahoo.com

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Kahn House Residence

scale 1/4" = 1' Section Plans
Date: 6/26/08 Drawing 3 of 3

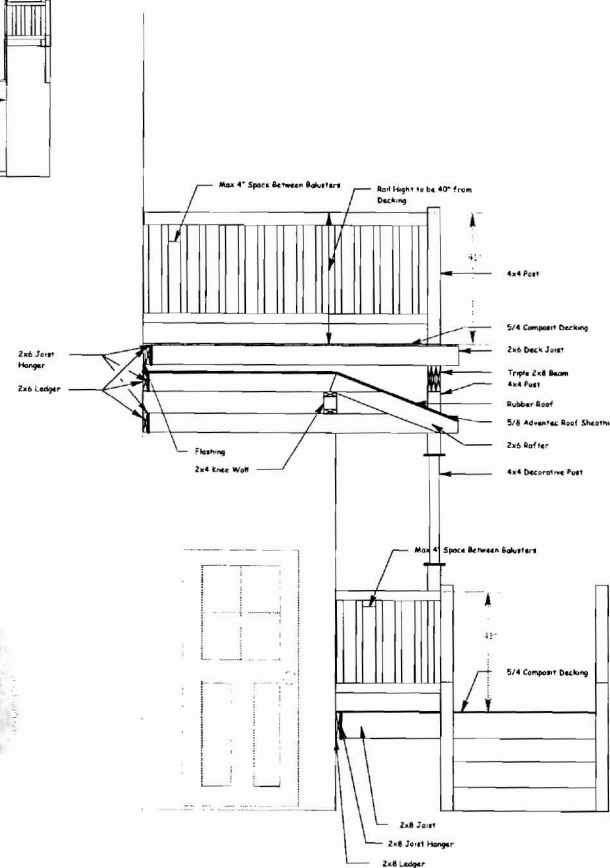
Foundation &
Section Plans
Drawing 3 of 3



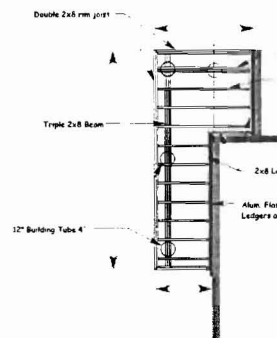
Stair Detail For Basement



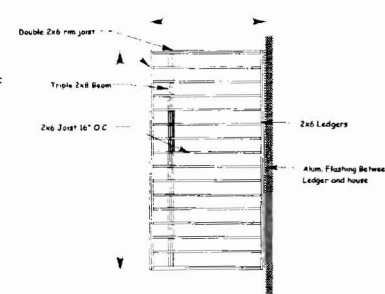
North Elevation



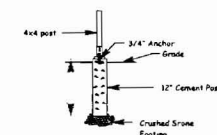
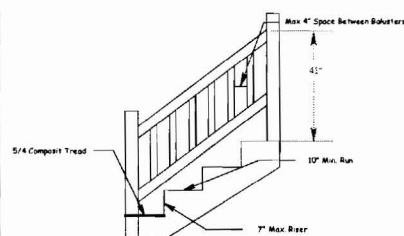
Enlarged Image Not To Scale



1st Floor Deck Plan View



2nd Floor Deck Plan View



Building Tube / Cement Post Detail

Exterior Door and Window Schedule

Tag	Number	Type	Width	Height	Notes
A	3	Anderson 400	TW3042	RO 3'-2 1/8"	4'-4 7/8"
B	4	Anderson 400	DHP3056	RO 3'-2 1/2"	5'-8 7/8"
1	2	Anderson 400	FW03168AL	RO 3'-0 1/2"	6'-8"
2	1	Therma-Tw Premium	PS-526	RO 3'-0"	6'-8"

Header Schedule

Tag	Width	Height	Notes
A	4'-0 7/8"	2x10	triple 2x10 with 1/2 cdx filler
B	18'-6"	2x10	triple 2x10 LVL 1/2" with cdx filler (entire west wall)
1	3'-3 1/2"	2x10	triple 2x10 with 1/2 cdx filler
2	3'-3"	2x10	triple 2x10 with 1/2 cdx filler



Norm Jewett Carpentry
Phone: 522-4520 Email: normanjewett@yahoo.com

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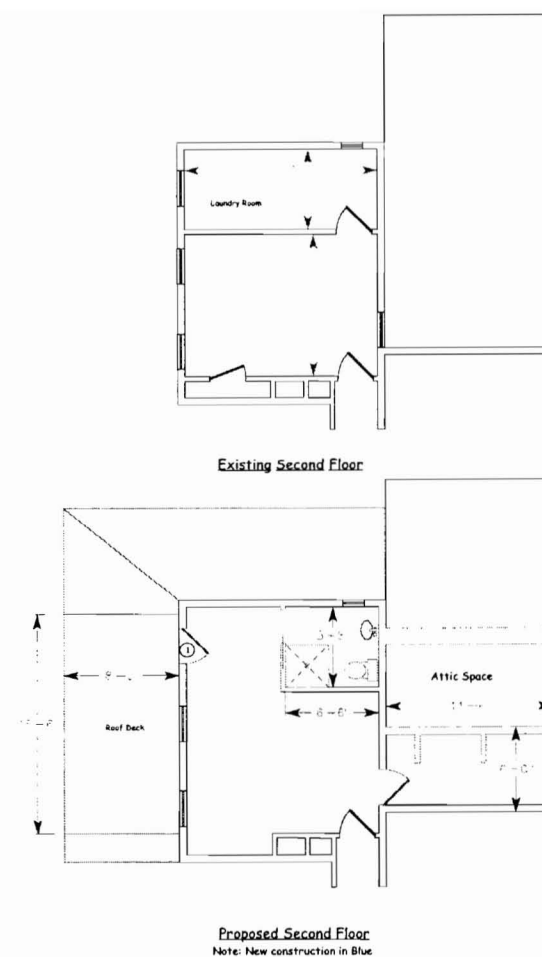
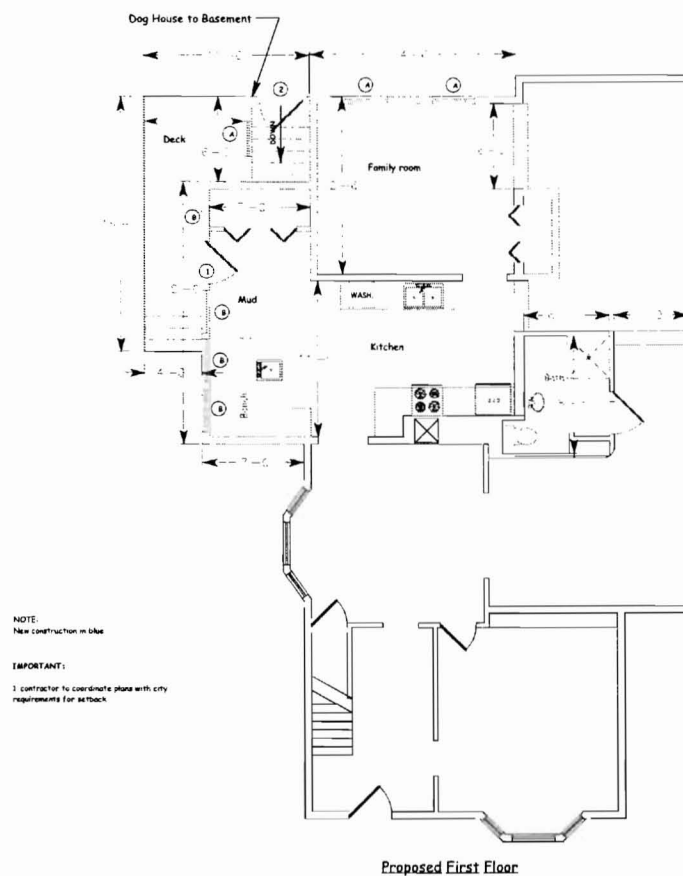
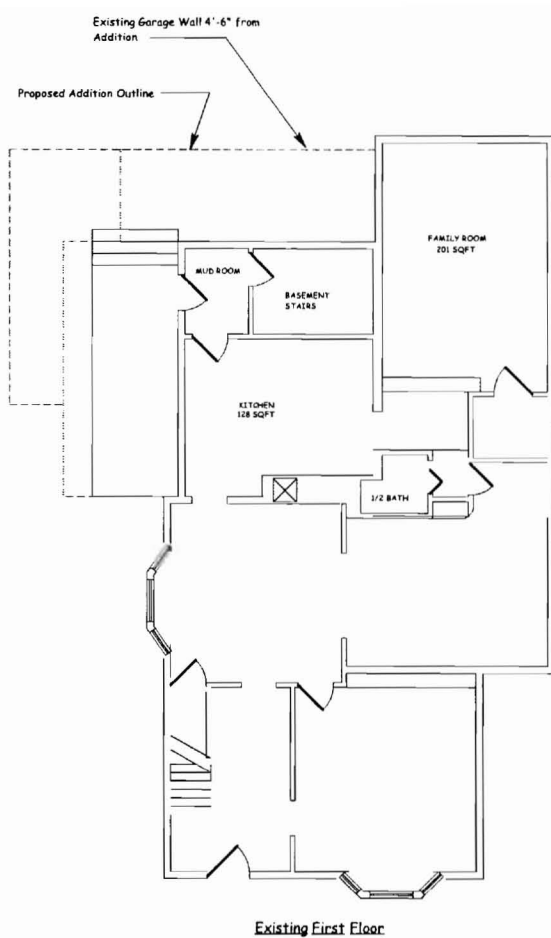
Kahn House Residence

scale 1/4" = 1'

Date 6/26/08

Desk Details And Door
& Window Schedule

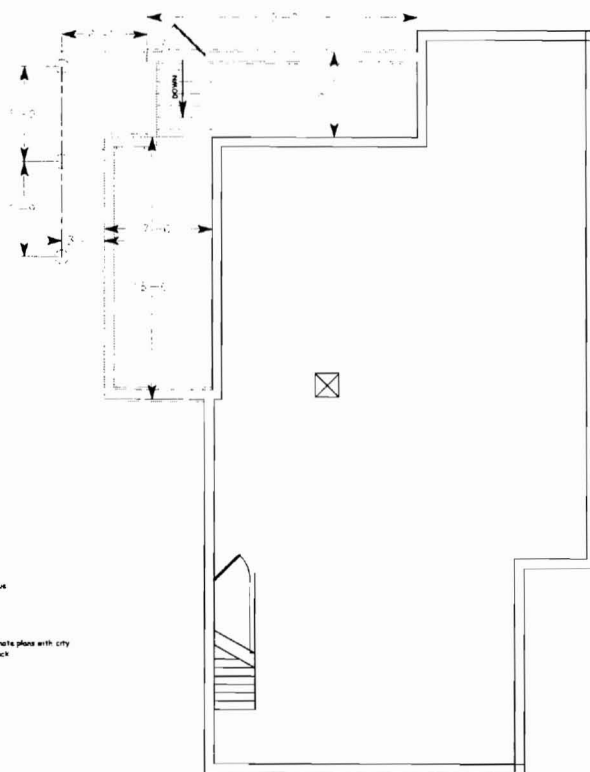
Drawing 2 of 3



Norm Jewett **Carpentry**
Phone: 522-4520 Email: normanjewett@yahoo.com

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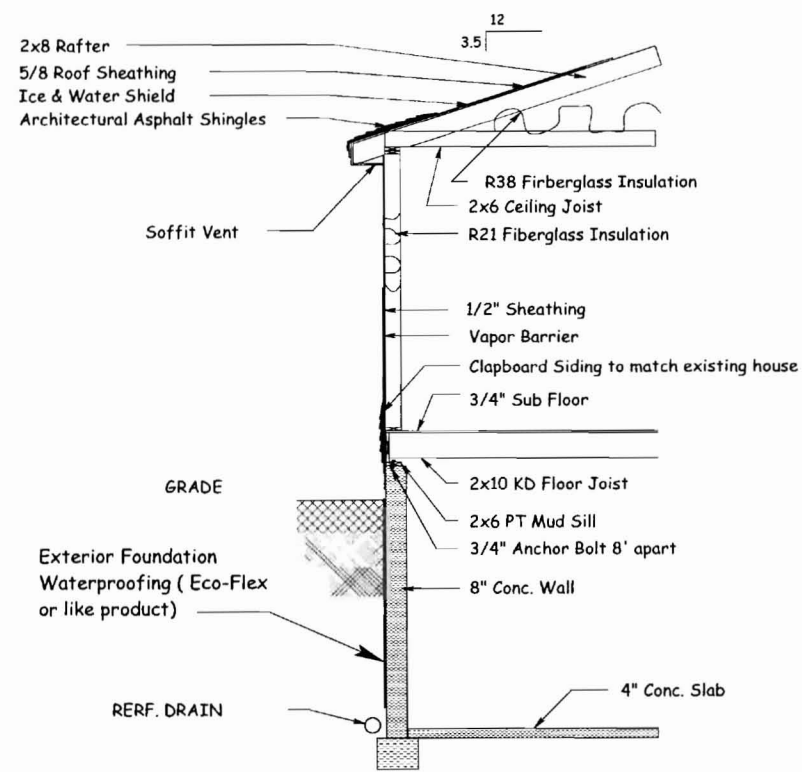
Kahn House Residence Floor Plans
scale 1/4" = 1'
Date 6/26/08 Drawing 1 of 3



Proposed Foundation

NOTE:
New construction in blue

IMPORTANT:
1. contractor to coordinate plans with city requirements for setback



Cross Section
N.T.S.



Norm Jewett **Carpentry**
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Kahn House Residence

scale 1/4" = 1'
Date 6/26/08

**Foundation &
Section Plans**
Drawing 3 of 3

From: Tammy Munson
To: Tammy Munson
Date: 8/11/2008 10:17:06 AM
Subject: Fwd: Kahns House

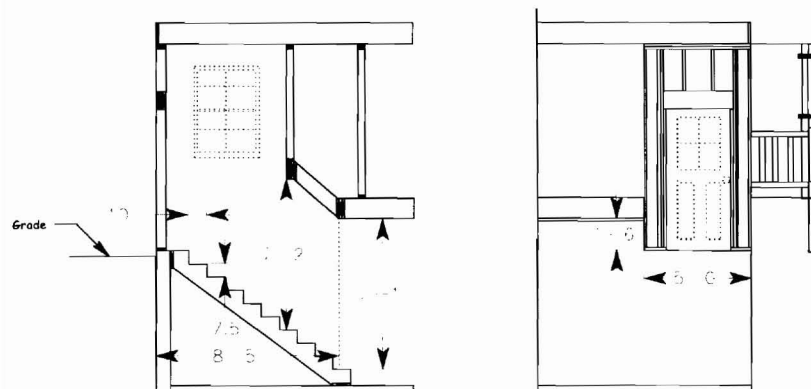
>>> Tammy Munson 8/11/2008 10:15:52 AM >>>

Hi Norman, I have looked over the plans submitted. We need more information. Please submit plans for the following:

1. Damp-proofing on basement and anchor bolt size and spacing.
2. Birds eye framing view of deck, first floor addition, 2nd floor roof deck
3. Stair detail for basement
4. Framing detail of new opening for basement (cross section showing stair details, headroom and framing)
5. 1st floor addition and roof deck framing - birds eye views
6. Header schedule for windows and doors and any structural openings
7. Tube depth and carrying beam size for deck
8. 2nd floor - structural work? existing bedroom? Provide dimensions for bathroom including headroom
9. Is existing family room becoming a bedroom?
10. Guardrail height on stairs and deck
11. Tempered glass locations.

Please call with any questions. Usually, I call with questions but all of the above needs to be on a set of plans in order to review. Thanks.

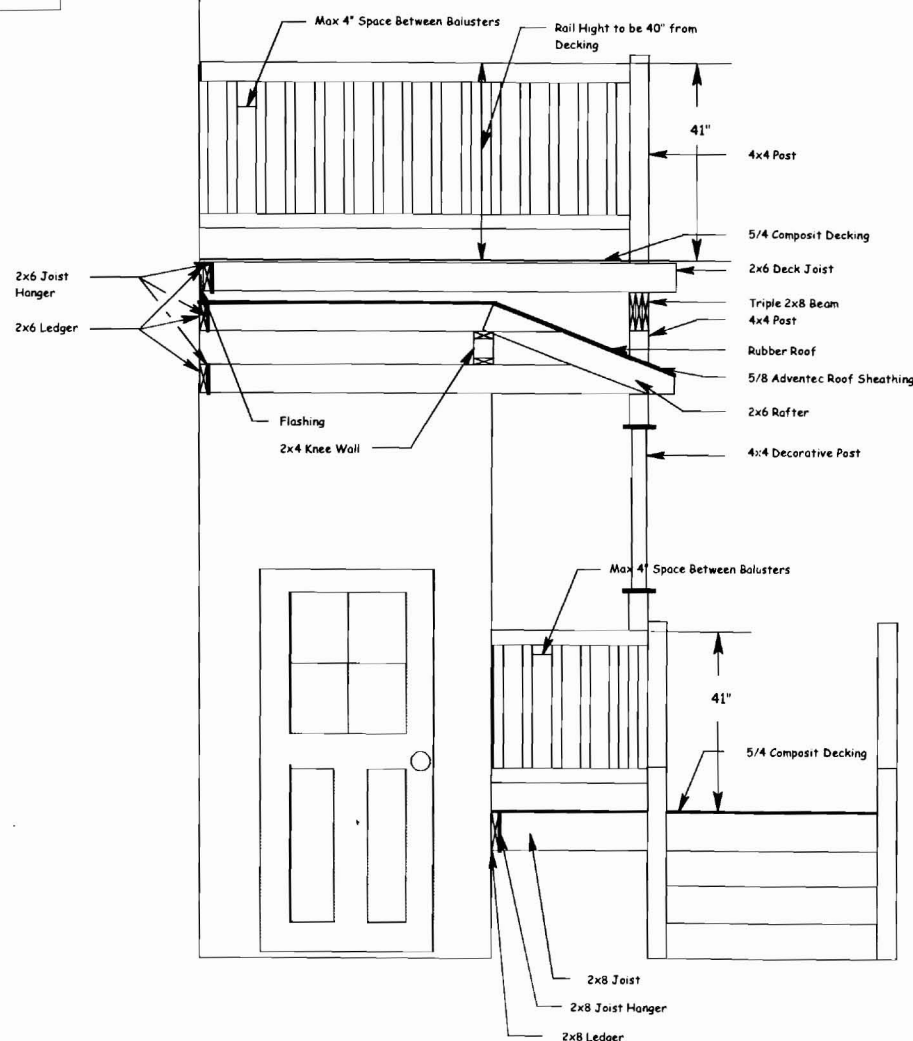
Tammy Munson
Code Enforcement Officer/Plan Reviewer
City of Portland
Inspections Division
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8706
tmm@portlandmaine.gov



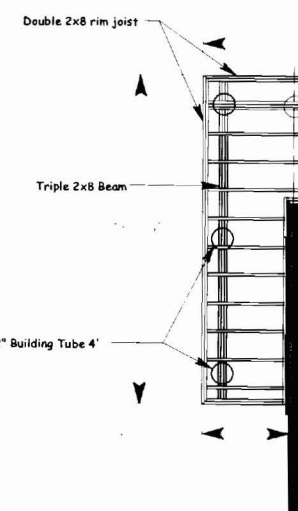
Stair Detail For Basement



North Elevation



Enlarged Image Not To Scale



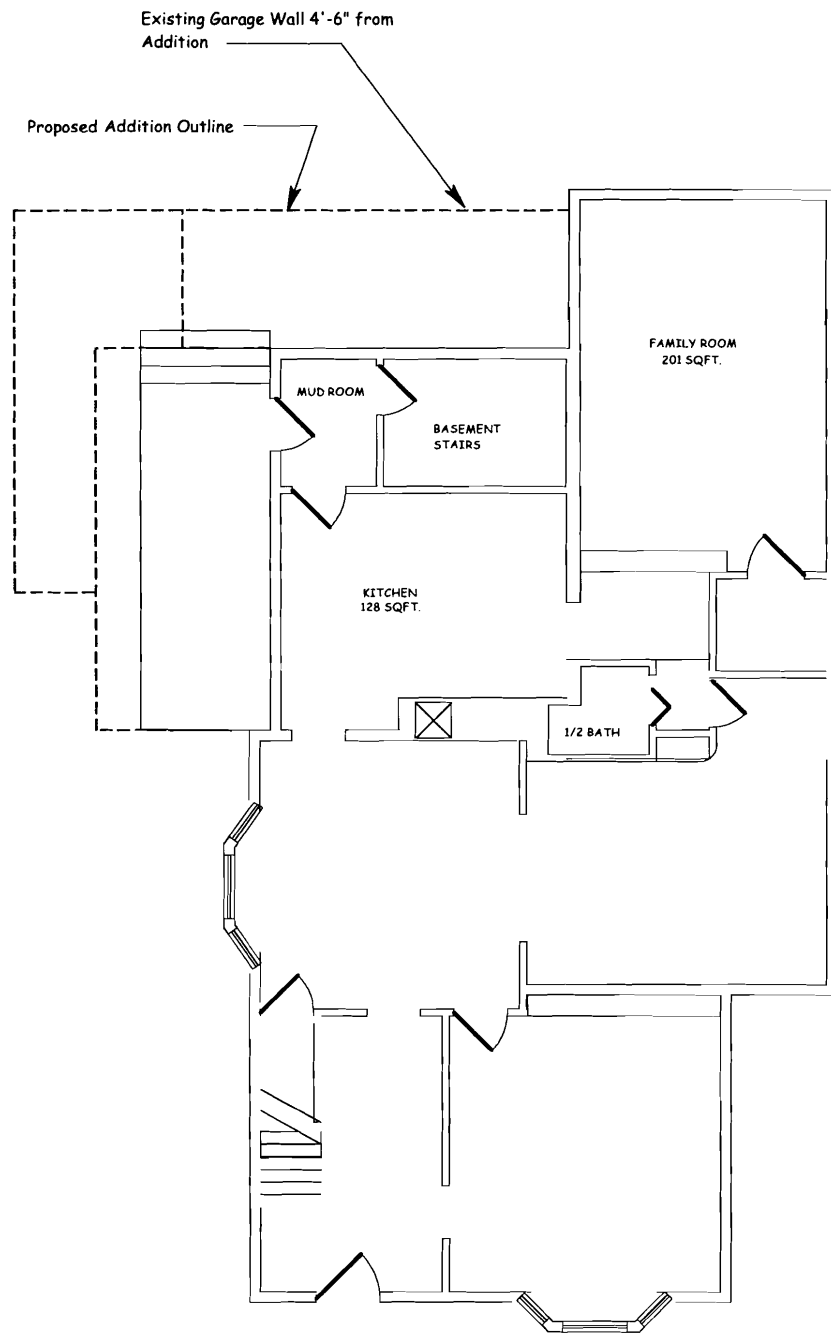
1st Floor Deck Plan

Exterior Door

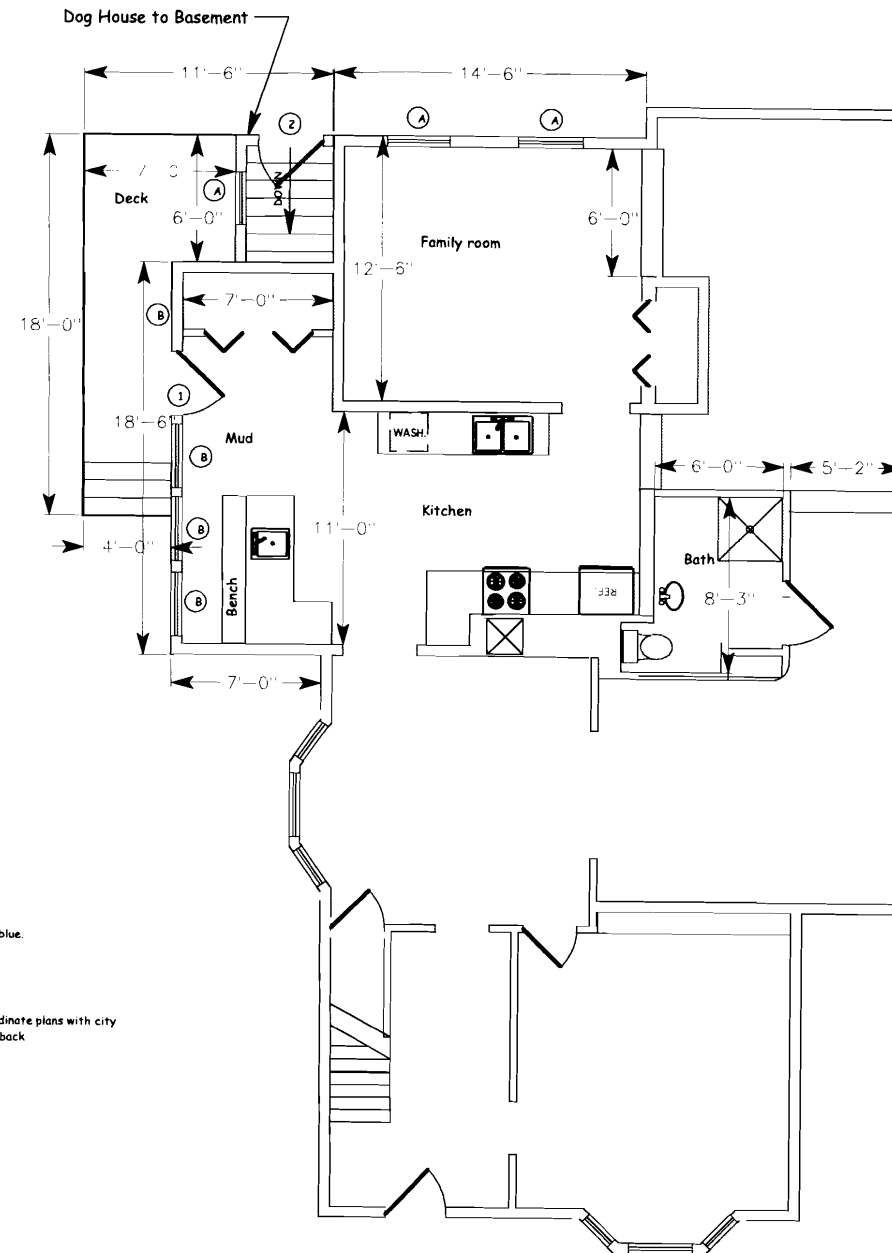
Tag	Num
A	
B	
1	
2	

Header Schedul

Tag	Wid
A	4
B	3
1	
2	



Existing First Floor



Proposed First Floor

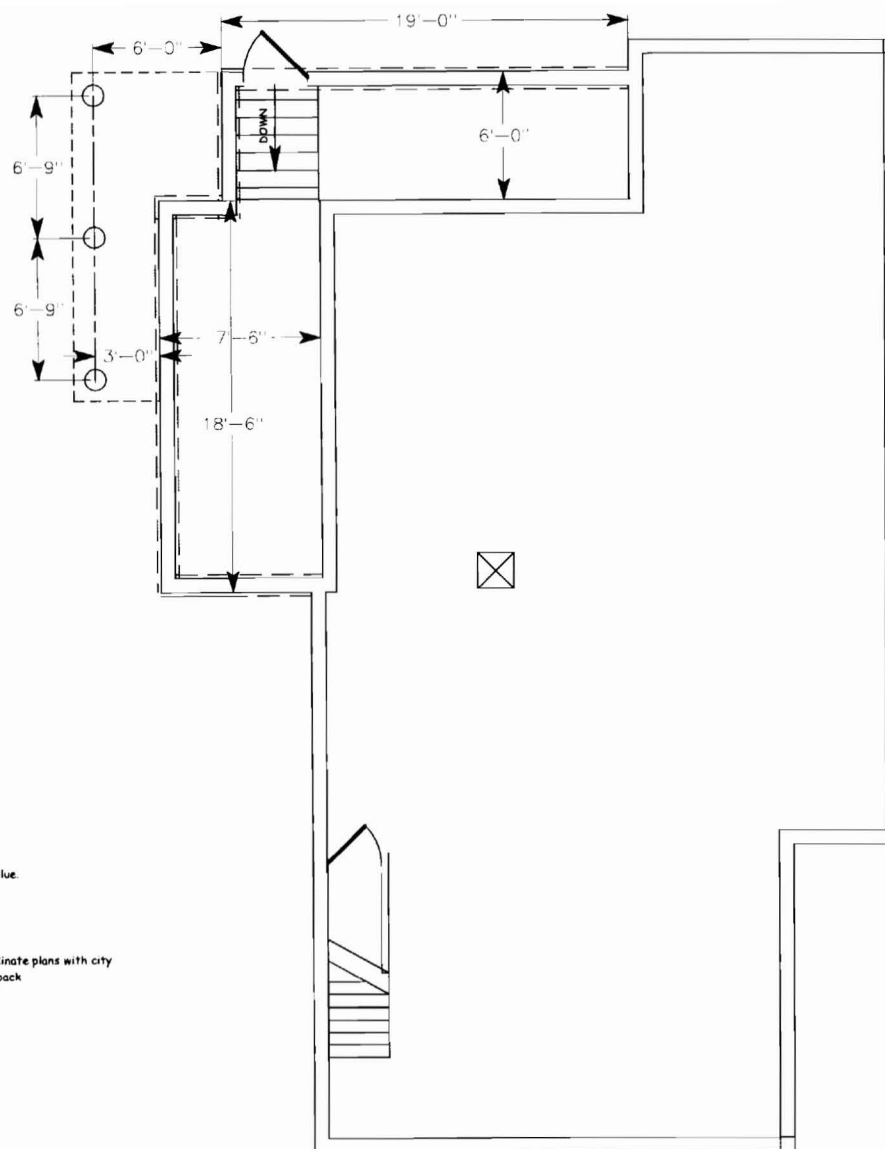
NOTE:
New construction in blue.

IMPORTANT:
I, contractor to coordinate plans with city
requirements for setback



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Phone: 522-4520 Email: normanjewett@yahoo.com

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NOTE:
New construction in blue.

IMPORTANT:

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2x8 Rafter
5/8 Roof Sheathing
Ice & Water Shield
Architectural Asphalt Shingles

Soffit Vent

GRADE

Exterior Foundation
Waterproofing (Eco-Flex
or like product)

RERF. DRAIN

Proposed Foundation

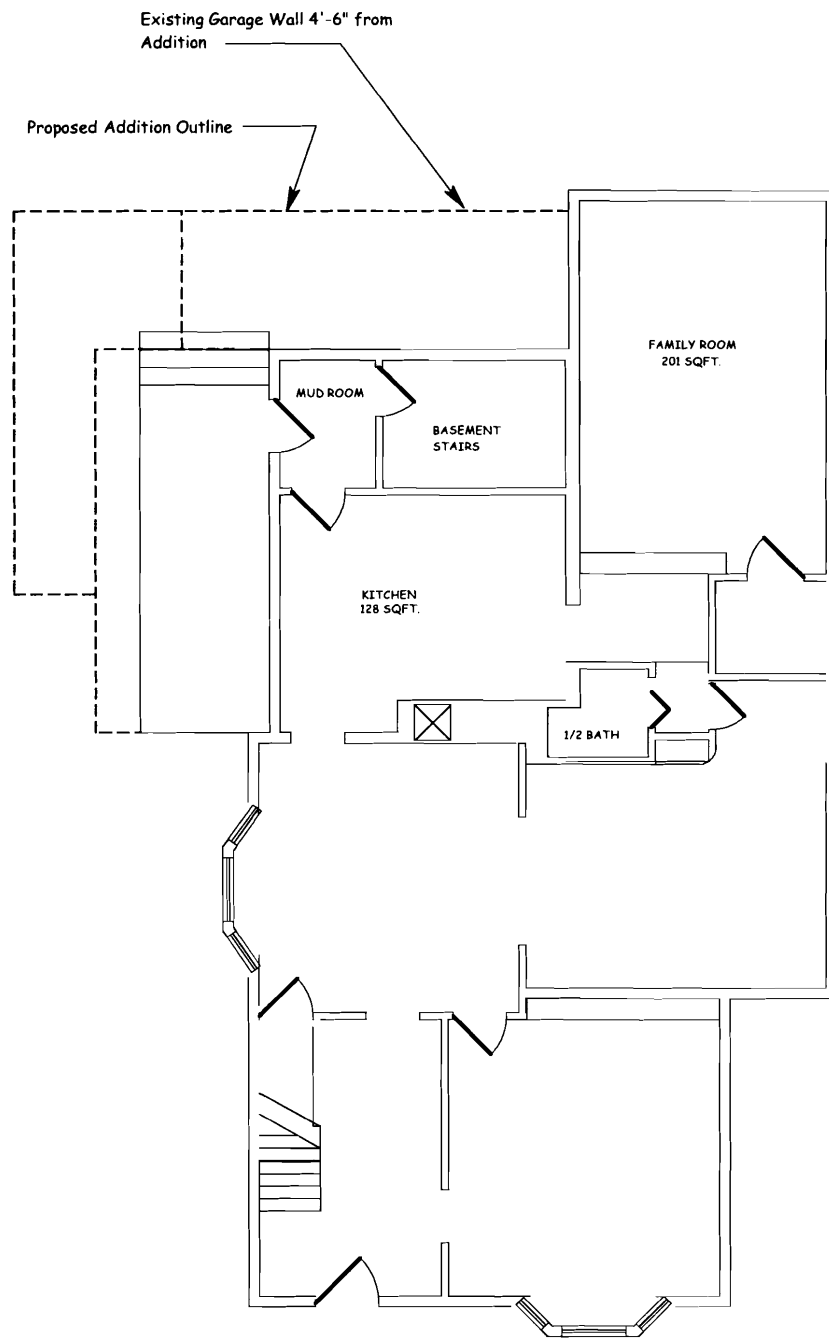


Norm Jewett

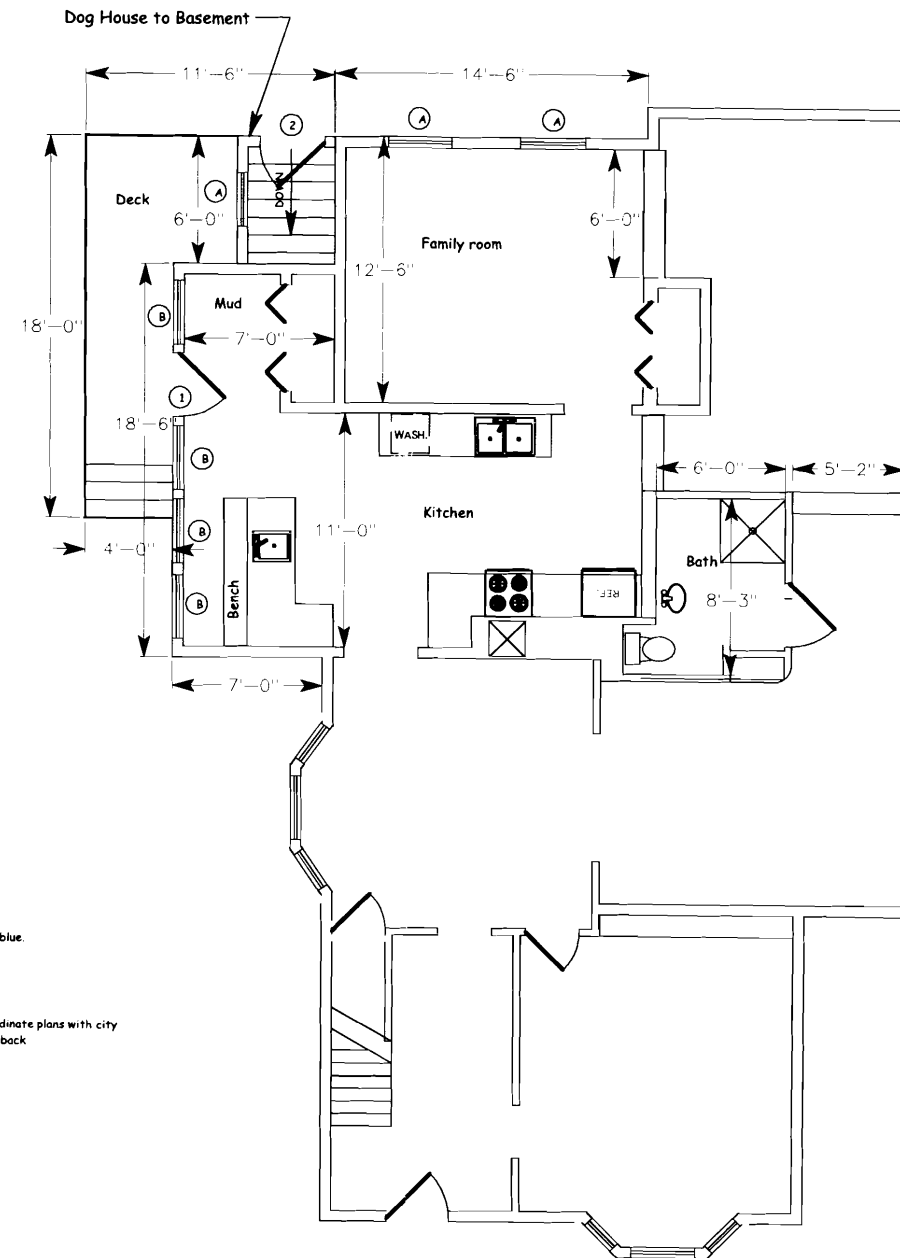
Carpentry

Phone: 522-4520 Email: normanjewett@yahoo.com

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Existing First Floor



NOTE:
New construction in blue.

IMPORTANT:

1. contractor to coordinate plans with city requirements for setback

Proposed First Floor

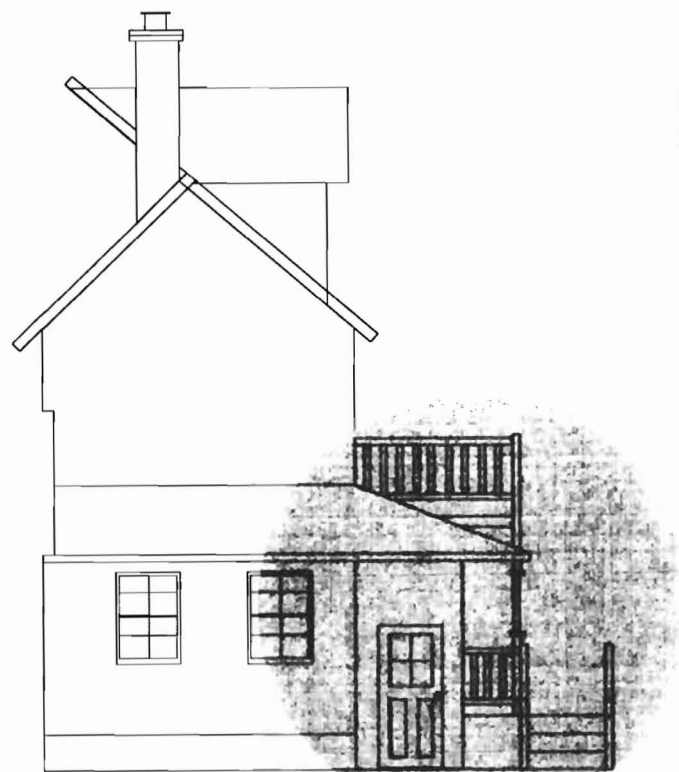


Norm Jewett

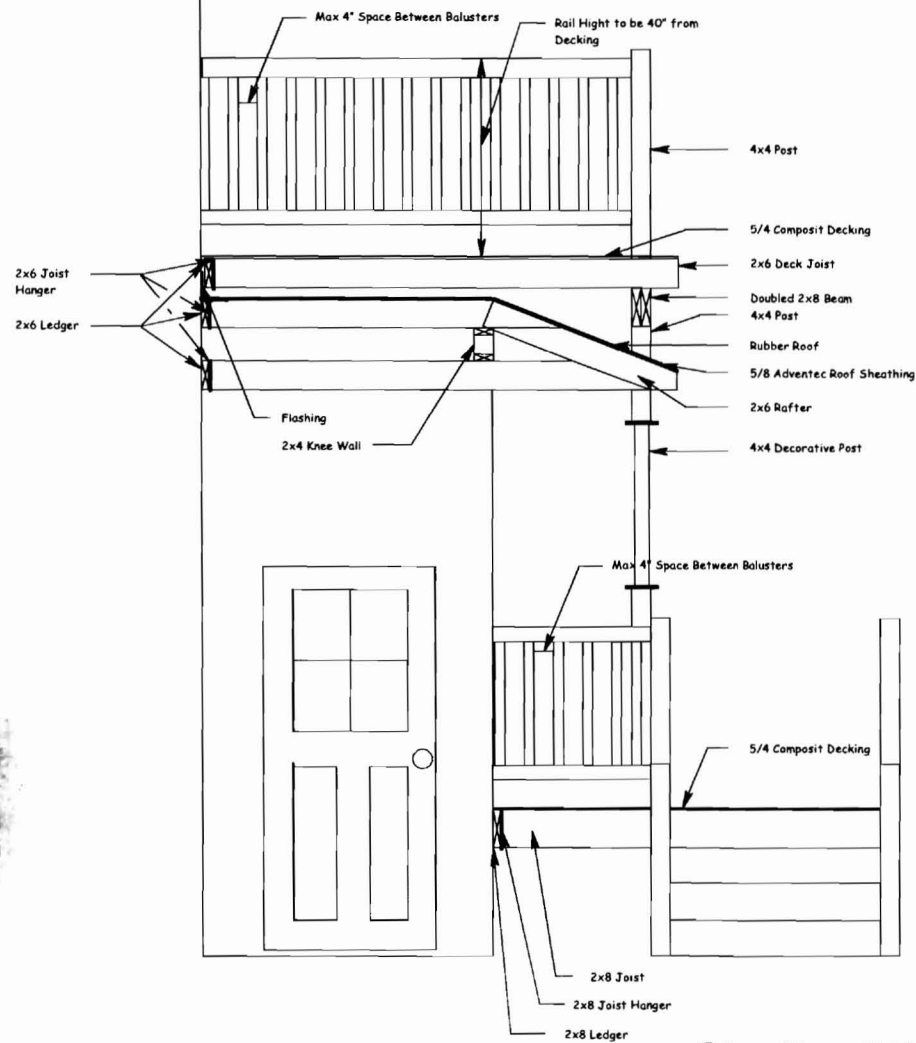
Carpentry

Phone: 522-4520 Email: normanjewett@yahoo.com

Note: The following drawings are design drawings only. All responsibility for construction technology, all engineering, all resolution of detail and all resulting building performance lies with the general contractor and the owners.



North Elevation



Enlarged Image Not To Scale



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North Elevation

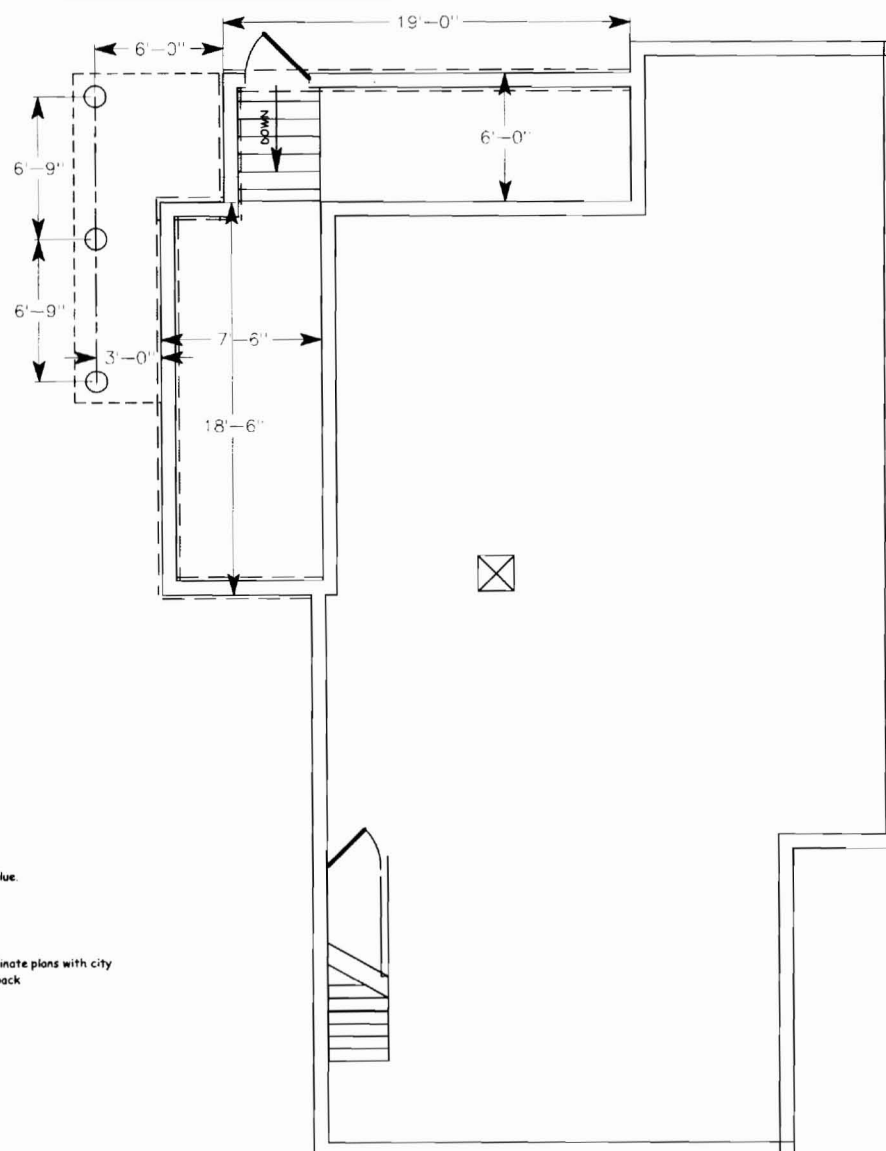
NOTE:
New construction in blue.

IMPORTANT:
1 contractor to coordinate plans with city
requirements for setback



Norm Jewett **Carpentry**
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NOTE:
New construction in blue.

IMPORTANT:

1. contractor to coordinate plans with city
requirements for setback

Proposed Foundation

2x8 Rafter
5/8 Roof Sheathing
Ice & Water Shield
Architectural Asphalt Shingles

Soffit Vent

GRADE

RERF. DRAIN



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