

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
06-0990		135 B014001

Location of Construction: 155 HARTLEY ST	Owner Name: HALL RICHARD D	Owner Address: 153 HARTLEY ST	PERMIT ISSUED <div style="border: 1px solid black; padding: 5px; display: inline-block;"> JUL 12 2006 </div>
Business Name:	Contractor Name: Home owner	Contractor Address:	
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: RS
Past Use: Single Family	Proposed Use: Single Family 12' x 24.5' deck	Permit Fee: \$50.00	Cost of Work: \$3,000.00
Proposed Project Description: 12' x 24.5' deck 23.5'		INSPECTION: Use Group: 23 Type: SB 7/11/06 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: dmartin	Date Applied For: 07/06/2006	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input checked="" type="checkbox"/> parcel 7 zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/10/06 <i>[Signature]</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Permit No: 06-0990	Date Applied For: 07/06/2006	CBL: 135 B014001
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Location of Construction: 155 HARTLEY ST	Owner Name: HALL RICHARD D	Owner Address: 153 HARTLEY ST	Phone:
Business Name:	Contractor Name:	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family 12' x 24.5' deck	Proposed Project Description: 12' x 24.5' deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/10/2006

Note: Proposed deck did not meet rear setback. The plot plan said 19'4" and the required setback is 20'. Richard Hall sent a fax stating that he would reduce the deck to 23'6" in order to meet the rear setback. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) As discussed during the review process, the property must be clearly identified prior to building and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 07/11/2006

Note: **Ok to Issue:**

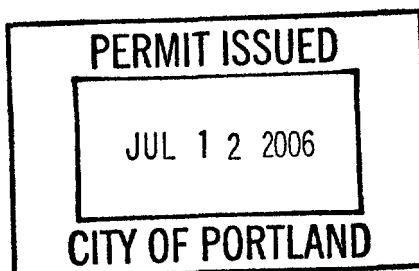
- 1) The Girder must be two (2) 2" x 8" members based on the spans presented.

The risers cannot exceed 7 3/4 inches (9 Inches shown!)
Owner notified and agreed to these conditions 7/11/06

Comments:

7/10/2006-amachado: Left message with owner. Trying to determine if it is a one or two family house?

7/10/2006-amachado: Richard Hall left a message. It is a two family building.





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>153 HARTLEY STREET</u>		
Total Square Footage of Proposed Structure <u>260 ft²</u>	Square Footage of Lot <u>6500</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>135 B 014</u>	Owner: <u>RICHARD HALL</u>	Telephone: <u>828-1532 (H)</u> <u>541-4679 (W)</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>RICHARD HALL</u> <u>153 HARTLEY ST</u> <u>PORTLAND, 04103</u> <u>207-828-1532</u>	Cost Of Work: \$ <u>3000.⁰⁰</u> Fee: \$ <u>50.</u> C of O Fee: \$ _____
Current Specific use: <u>Private Home</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Private Home</u>		
Project description: <u>Add deck in back 12x26.5</u> <u>12x24.5</u>		
Contractor's name, address & telephone: <u>RICHARD HALL - Owner</u>		
Who should we contact when the permit is ready: <u>RICHARD HALL</u>		
Mailing address: _____ Phone: <u>828-1532 (W)</u> <u>541-4679 (DAYS)</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

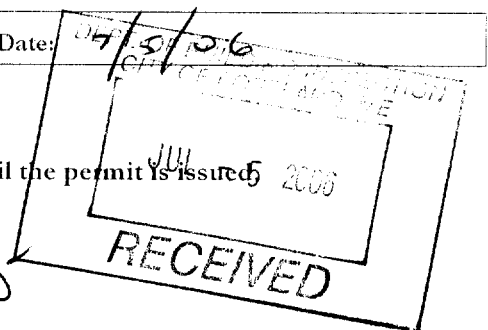
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 07/27/06

This is not a permit; you may not commence ANY work until the permit is issued.

#2145



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	135 B014001
Location	155 HARTLEY ST
Land Use	TWO FAMILY
 Owner Address	 HALL RICHARD D 153 HARTLEY ST PORTLAND ME 04103
 Book/Page	 9575/244
Legal	135-B-14 HARTLEY ST 153-157
	6500 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$58,710	\$148,510	\$207,220

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$87,800	\$197,900	\$285,700

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1900	Style Old Style	Story Height 2	Sq. Ft. 2492	Total Acres 0.149		
Bedrooms 5	Full Baths 2	Half Baths 1	Total Rooms 10	Attic Full Finsh	Basement Full	

Outbuildings

Type FLAT BARN	Quantity 1	Year Built 1920	Size 22X28	Grade C	Condition F
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Sales Information

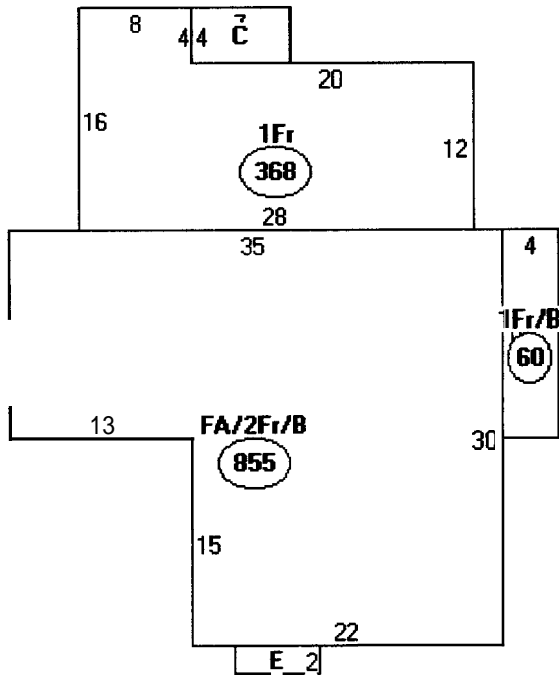
Date 05/01/1991	Type LAND + RLDING	Price \$125,000	Book/Page 09575-244
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Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)





Descriptor/Area

A: FA/2Fr/B
855 sqft

B: 1Fr
368 sqft

C: EP
28 sqft

D: 1Fr/B
60 sqft

E: FBAY/B
12 sqft

1323

611

hwn 22x28

1939

COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Ralph E. Warren**

Date of Issue **March 15, 1951**

This is to certify that the building, premises, or part thereof, indicated below, and ~~was~~ altered—changed as to use at **153 Hartley Street** under Building Permit No. **51/198**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

**2-family Dwelling House
First floor—one apartment
Second floor—one apartment with
three bedrooms on third floor**

Limiting Conditions:

This certificate supersedes
certificate issued
Approved **3/14/51**

Alfred E. Spaulding

Inspector of Buildings

Note: This certificate identifies lawful use of building premises, and ought to be posted in plain view in order to advise all property owners. Copy will be furnished to other agencies.

THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO NORTH/EAST
HAND TITLE, CITY/TOWN AND ITS
TITLE INSURANCE

The monumentation is not in harmony with current
lead description.

The building setbacks are not in conformity with
own zoning requirements.

The land and not the dwelling do not appear to fall
within the special flood hazard zone as delineated by
the Federal Emergency Management Agency.

153 HARTLEY STREET
PORTLAND, MAINE

Job Number: 146-20

Inspection Date: 05.06.91

Scale: 1" = 20'

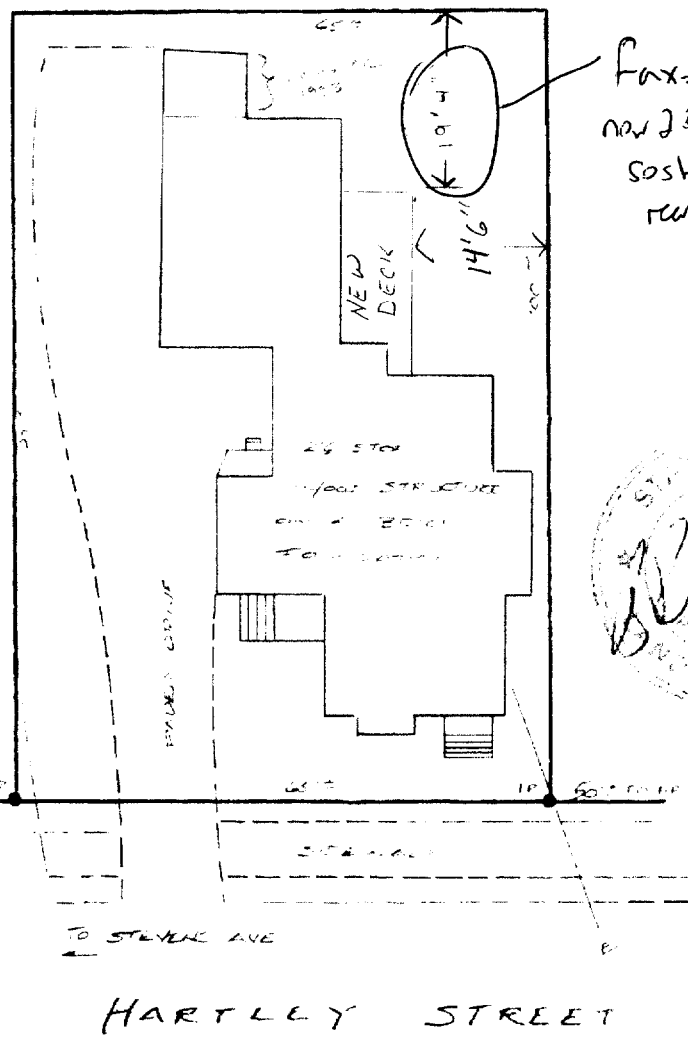
BUYER: RICHARD Z. FALL
SELLER: LAURA H. MARSTON

N.

RT-
front setback 20' req. it
rear " 20' req. 11.4
side 8' req. 14' 6" 3.1m
lot coverage 40%

exist
width

1939
266
2205
OK

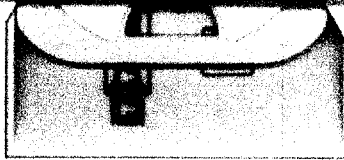


Fax-deck
now 23' 6"
So should meet
rear setback.

BRUCE R. BOWMAN, INC.
20 Forest Avenue
Cumberland, Maine
Phone (207)829-3959

PLAN BOOK _____ AGE _____ LOT _____
DEED BOOK _____ PAGE _____ COUNTY _____
THIS PLAN IS NOT FOR RECORDING Drawn by: BC

NOTICE: As a title writer I am in default, the above project does not require me to pay immediately in full as described



C:\Data\DHall\Winword\FAXES\Personal\FAX 2001-08-06 Allstate Insurance.doc

FAX Coversheet

National Semiconductor Corporation
5 Foden Road
South Portland, ME 04106
Main Telephone 207-541-8100

from the deek of Dick Hall
Tel 207-541-4679
FAX 207-541-8299
email Richard.HallmfSC.com

To: Anna Machado
Portland Zoning
874-8716

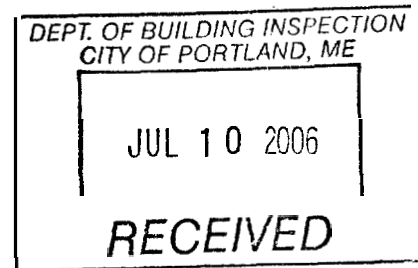
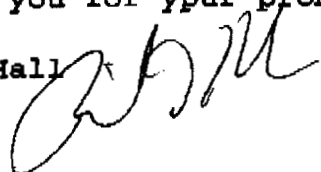
No of Pages, including cover sheet: 1

Message: 153 Hartley Street
Building Permit for Deck

This confirms that the deck will be reduced to 23 ft 6 inches, in order to ensure it meets the 20 foot setback requirement

Thank you for your prompt assistance

Dick Hall



C:\Data\DHall\Winword\FAXES\Personal\FAX 2001-08-06 Allstate Insurance.doc

Deck Information for Permit

1. See Drawing
2. **Foundation system**
 - a. 12" diameter sonotubes
 - b. Length of pier below grade is 48"
 - c. Girder fastened to piers with Simpson Strong Ties # ABU66, strong ties held in place with ½" x 8" galvanized j-bolts
 - d. Tubes are 5'9" apart center to center
3. **Columns (members supporting framing of floor system)**
 - a. Girder is a 6"x6" pressure treated beam
 - b. Girder fastened to piers with Simpson Strong Ties # ABU66, strong ties held in place with ½" x 8" galvanized j-bolts. Floor joist tied to girder using Simpson's H5 Seismic and hurricane anchor.
4. **Framing Members** – All wood used in the structural framing is pressure treated
 - a. Ledger is 2'x8" pressure treated
 - b. Lag screws and bolts are double dipped galvanized and are ½" x 8". They are spaced 32" on center
 - c. Flashing- all flashing is galvanized and will be installed on the complete interior perimeter of the deck. Flashing will be installed behind house wrap and siding and will shed the water down over the face of the house ledger board.
 - d. Girder size and spans – 6"x6" pressure treated beam. Span will be 24' with splice joint centered over middle pier.
 - e. Joist size – 2"x8"x 12' pressure treated. Span 11'6". Spacing 16' on center
 - f. Joist hangers – Simpson LU joist hangers
 - g. Decking size – 1"x6" correct deck, various lengths.
5. **Guardrails & Handrail details**

Deck's finished height is 16"
6. **Stair Details-** Platform stairs see drawing
 - a. Tread depth - 18"
 - b. Riser height -9"
 - c. 1" overhand using correct deck square edge
 - d. width – 5'9"

DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

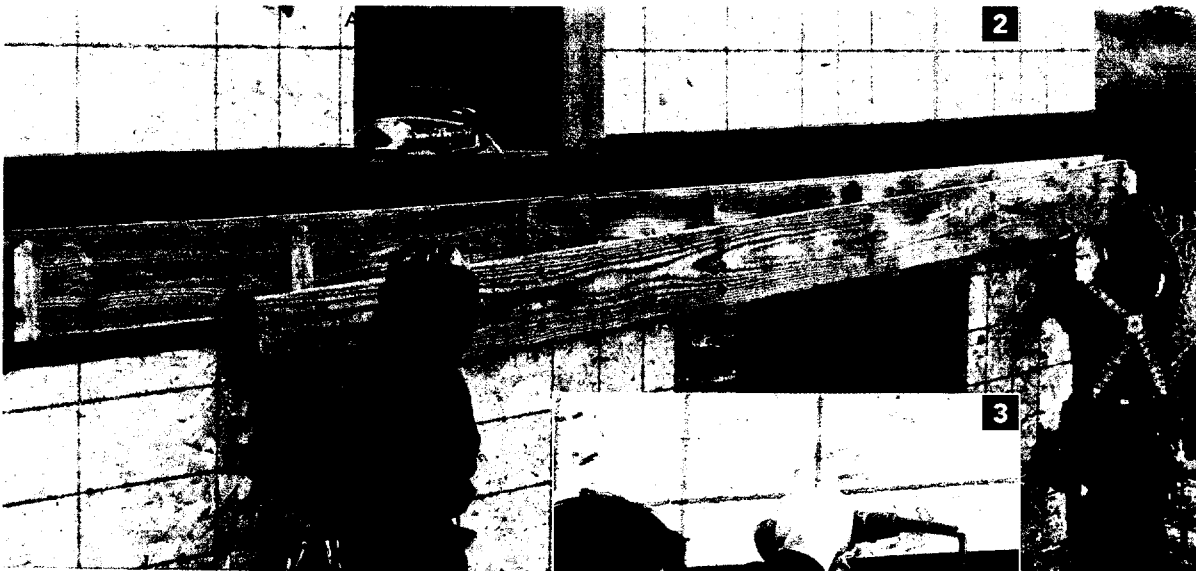
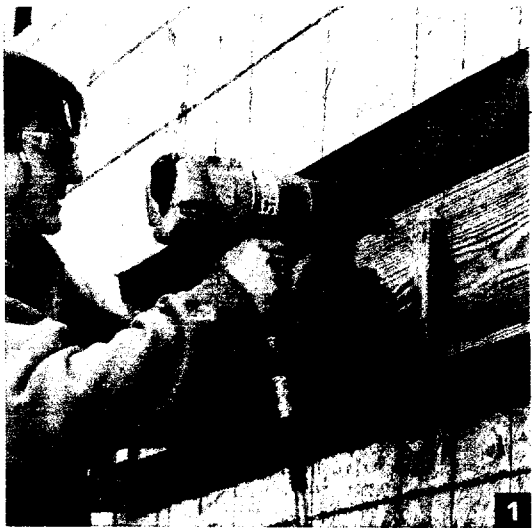
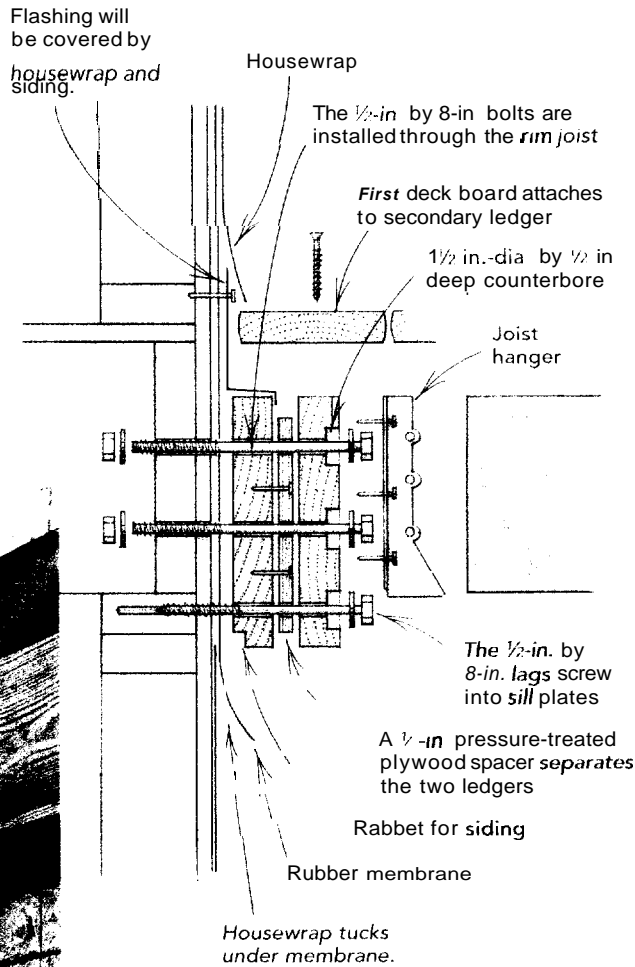
1. **A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.**
2. **Type of foundation system**
 - a. Diameter of concrete filled tube
 - b. depth below grade (minimum 4'-0" below grade)
 - c. anchorage of column to footing
 - d. spacing of tubes

Or

 - e. pre cast concrete pier size
 - f. depth below grade (minimum 4'-0")
 - g. anchorage of column to footing
 - h. spacing of tubes
3. **Columns (members supporting framing of floor system)**
 - a. wood size and type
 - b. anchorage of column to footing
4. **Framing Members**
 - a. Ledger size attached to building
 - b. Lag Bolt size and spacing on ledger
 - c. Location of all flashing
 - d. Girder Size and spans carrying floor system
 - e. Joist size, span, and spacing
 - f. Joist hangers on ledger
 - g. Decking size
5. **Guardrails & Handrail Details**
 - a. Guardrail height
 - b. Baluster spacing
 - c. Handrail height
6. **Stair Details**
 - a. Tread depth (measured nosing to nosing)
 - b. Riser height
 - c. Nosing on tread
 - d. Width of stairs

INSTALL A TWO-LAYER LEDGER

A double ledger allows for a strong frame and an impenetrable flashing system that protects the house (drawing right). Nails hold the first ledger in place until the bolts and lags are installed later. The plywood spacers come next, made with pointed tips to shed water **1**. Before the secondary ledger is installed, counterbore holes for two bolts and a lag screw are drilled at each spacer location **2**. With the secondary ledger held in place by nails, one person bores through the framing members, and bolts attach the ledger assembly to the house **3**.



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection; Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing **ANY** backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

<u>X 02/19/06</u>	<u>2/12/06</u>
Signature of Applicant/Designee	Date
<u>Nenna Martin Admin</u>	<u>12 06</u>
Signature of Inspections Official	Date

CBL: 135 B 014 Building Permit #: 06 6990