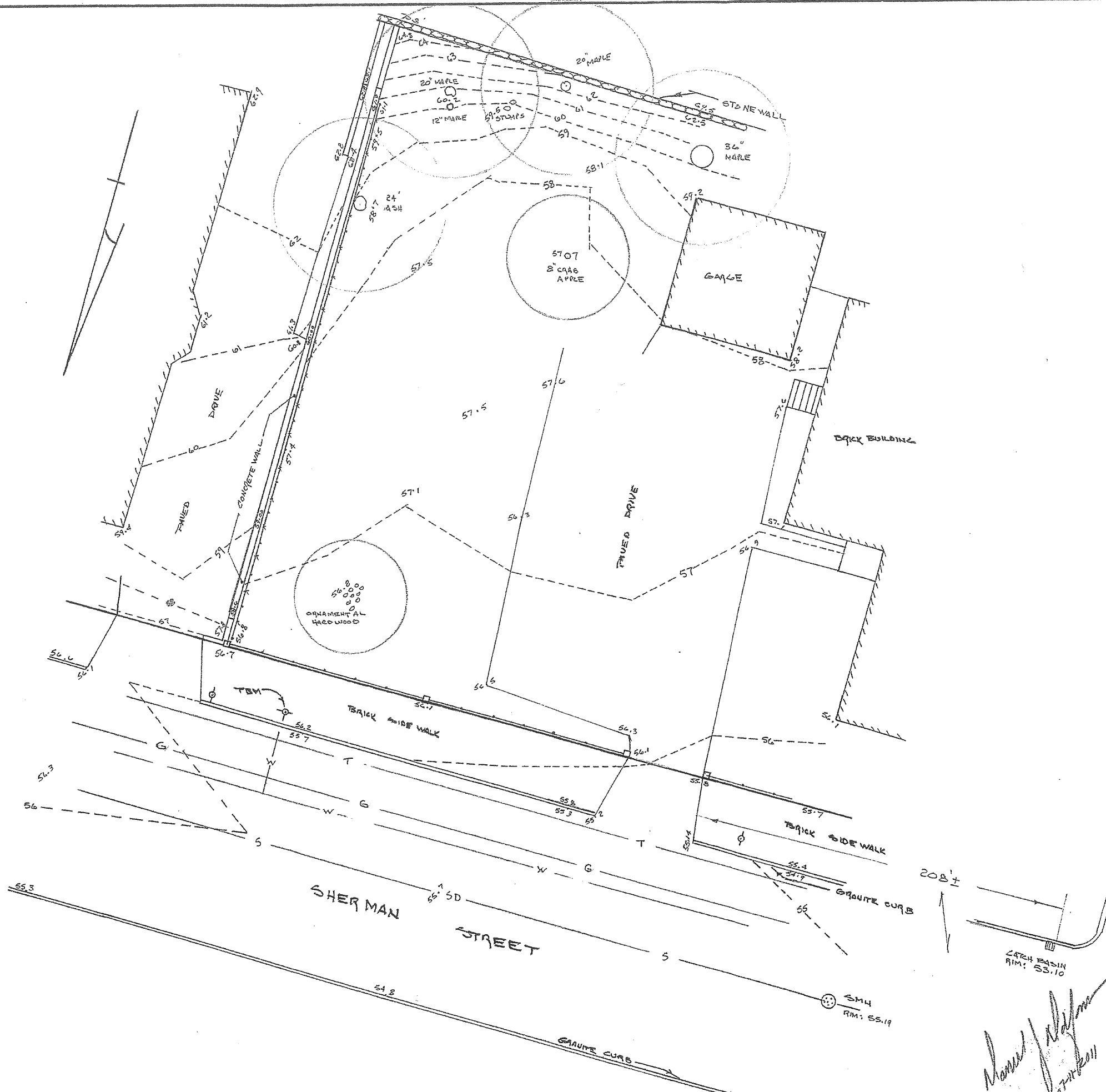


135-B7

Sherwood st,  
Portland, ME  
428 A01500/



**PLAN REFERENCES:**

1. MELLEN STREET SEWER SEPARATION PLAN CITY OF PORTLAND PUBLIC WORKS DATED 04-18-2008 FILE 1008/7
2. CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS LONGFELLOW III CODE IMPROVEMENT PROJECT SHERMAN STREET 0420-670 FILE 535 II

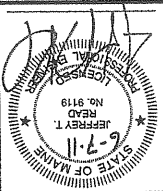
**LEGEND:**

- POWER POLE
- HYDRANT
- IRON FENCE WITH GRANITE POST
- CHAIN LINK FENCE
- GAS LINE
- WATER LINE
- UNDERGROUND TELEPHONE
- COMBINED SANITARY & STORM SEWER
- TBM** TEMPORARY BENCH MARK TOP OF BOLT ON BOTTOM FLANGE OPPOSITE THE NUMBER EIGHT IN 1978 ELEVATION: 56.98 CITY DATUM

*Handwritten signature and date: 07/12/2011*

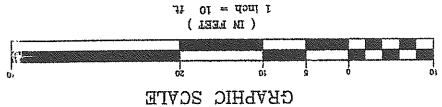
PARTIAL TOPOGRAPHIC SITE SURVEY SACRED HEART CHURCH PROPERTY PORTLAND MAINE		
SCALE: 1"=10'	APPROVED BY:	DRAWN BY:
DATE: 03-21-2011		REVISED:
BY: DANIEL J. DALFRONSO LLC LAND SURVEYOR 87A OCEAN STREET SUITE 204 SOUTH PORTLAND MAINE 04106		
		DRAWING NUMBER

PROJECT: 10144	CHK BY: JR
DATE: JUNE 7, 2011	DESIGN BY: JTR
SCALE: AS SHOWN	DRN BY: RJS
CONSULTING ENGINEER	
PINKHAM & GREER	
PORTLAND, MAINE	
ROMAN CATHOLIC BISHOP OF PORTLAND PO BOX 11559, PORTLAND ME 04104	



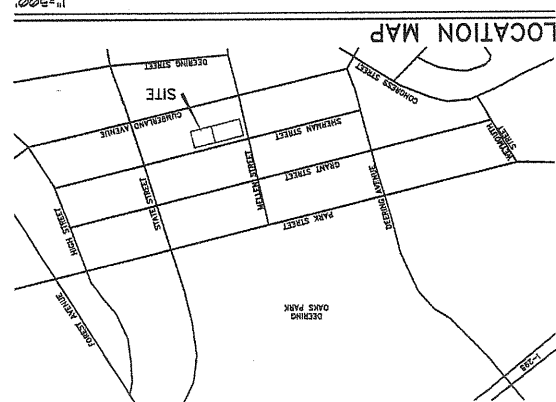
REV.	DATE	DESCRIPTION

- PLAN REFERENCES:**
- MELLEN STREET SEWER SEPARATION
  - CITY OF PORTLAND III CODE PUBLIC WORKS DEPARTMENT OF WORKS DATED 04-19-2008
  - CITY OF PORTLAND III CODE PUBLIC WORKS DEPARTMENT OF STREET 0400 - 6"Ø PIPE 335/11



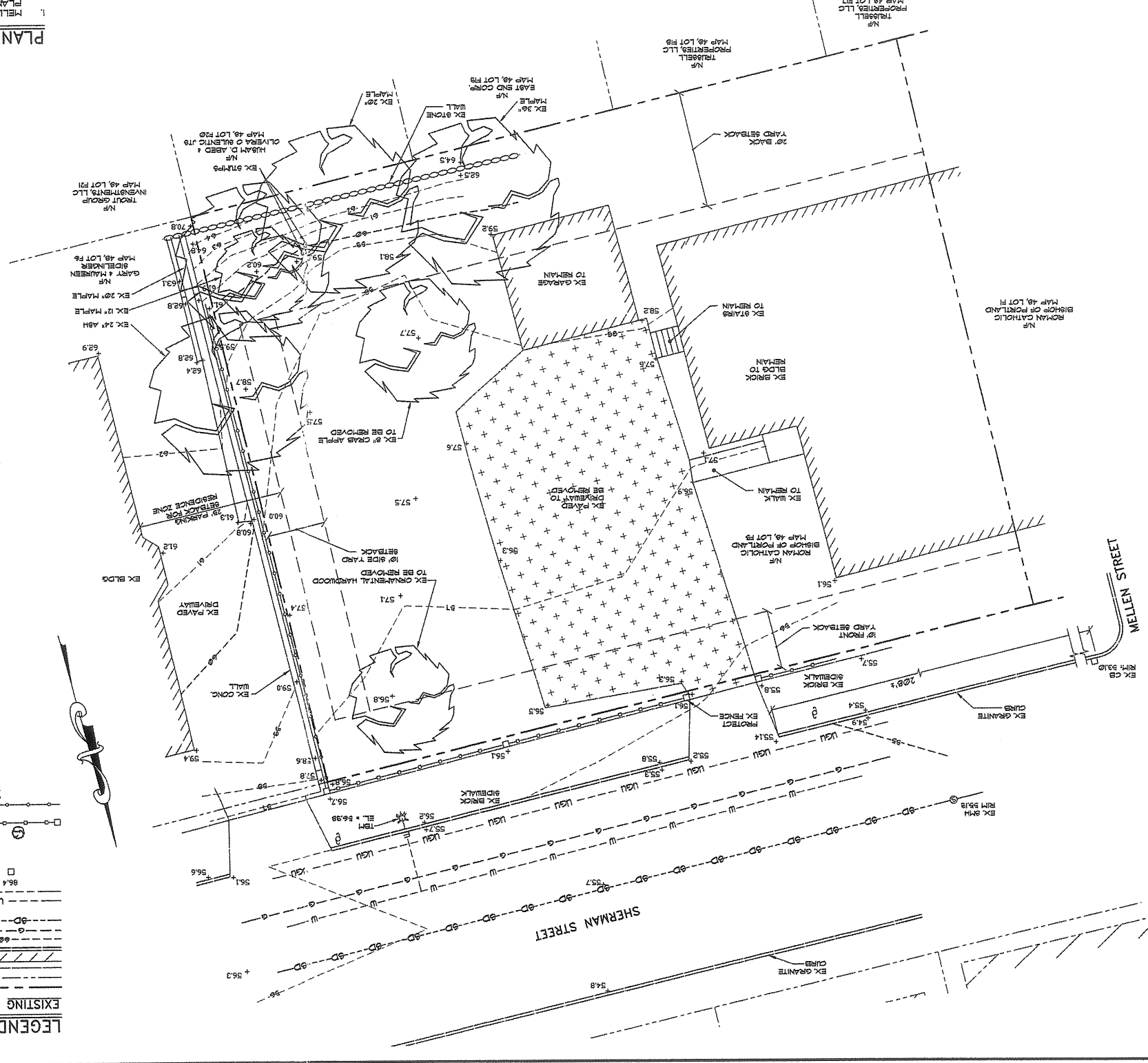
- SITE PLAN AND SUBDIVISION NOTES**
- LANDSCAPE SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND AND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
  - THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN, APPROVAL OF THE PLANNING AUTHORITY PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RESTORATION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
  - ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
  - SEWERLINES AND CURBS SHALL BE DESIGNED AND BUILT WITH TYPICAL RATES AT ALL STREET CORNERS, CROSSINGS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
  - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
  - ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
  - BEFORE CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DESIGNER, REGULATORY AGENCIES, PUBLIC WORKS DEPARTMENT AND OTHERS TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK AT THAT TIME. THE SITE-BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
  - EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRAIN-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGGRADING SHALL NOT TAKE PLACE WITHIN THE DRAIN-LINE OF THESE DESIGNATED PRESERVATION AREAS. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRAIN-LINE OF TREES TO BE PRESERVED.

- GENERAL NOTES**
- OWNER/DEVELOPER: ROMAN CATHOLIC BISHOP OF PORTLAND, P.O. BOX 11559, PORTLAND, ME 04104.
  - ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
  - BOUNDARY INFORMATION: CITY TAX MAP, WAIVER REQUESTED FOR SURVEY.
  - TOPOGRAPHIC INFORMATION: DANIEL J. DALFONSO, PLS. SOUTH PORTLAND, MAINE. BENCHMARK: TEMPORARY BENCHMARK TOP OF BOLT ON BOTTOM FLANGE OPPOSITE THE NUMBER EIGHT IN 1918 ELEVATION: 56.99 CITY DATUM.
  - ZONE: R2 - RESIDENTIAL.
  - TAX MAP REFERENCE: MAP 48 / LOTS F-1 & F-5.
  - TOTAL PARCEL: 0.669 acres.
  - CALL DIG-GARE PRIOR TO COMMENCING WORK. 1-800-DIG-GARE.
  - LOT IS SERVICED BY PUBLIC WATER AND SEWER.
  - ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BYLAW PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.



**LEGEND**

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	ADULTERATED PROPERTY
---	EDGE OF PAVEMENT
---	CURBS
---	BUILDING
---	CONTOURS
---	GAS LINE
---	COMBINED STORMDRAIN
---	PAINTED SEWER
---	WATER LINE
---	SPOT GRADE
---	DRAIN MANHOLE
---	CATCH BASIN
---	SEWER MANHOLE
---	UTILITY POLE
---	TREE
---	IRON FENCE
---	W/ GRANITE POST
---	CHAINLINK FENCE
---	HYDRANT







**EROSION CONTROL NOTES**

**GENERAL:**

1. THE DRAINAGE DEPOT THE REQUIRED SOIL EROSION CONTROL MEASURES IN SUCH A MANNER THAT THE CONSTRUCTION SITE IS RESPONSIBLE FOR MAINTAINING THE QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BYLAWS PUBLISHED BY THE BUREAU OF LAND AND WATER MATERIAL.
3. SAND - 0.075 IN. TO 0.02 IN. DIAMETER (% BY VOLUME), 45 - 75 SILT - 0.0075 IN. TO 0.0025 IN. DIAMETER (% BY VOLUME), 20 - 40 PERCENTAGE (% BY VOLUME) IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROJECT.
5. LOAM AND SEED SHALL BE APPLIED AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 14 DAYS. LOAM AND SEED ANY DISTURBED AREA WITHIN 14 DAYS OF INITIAL DISTURBANCE AND WITHIN 30 DAYS OF ANY OTHER DISTURBANCE.
6. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE PRIOR TO ANY RE-ENTRY OR PRIOR TO ANY WORK SHUTDOWN.
7. LASTING MORE THAN ONE DAY.
8. TEMPORARY SEED: ANY AREA WHICH WILL BE LEFT TEMPORARILY UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARILY SEED MIX LITTED BELOW IF AREA IS WITHIN 75' OF A WETLAND OR WATERBOD. PERMANENTLY SEED WETLANDS OR WATERBOD. WITHIN 48 HOURS OF INITIAL DISTURBANCE.
9. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE PRIOR TO ANY RE-ENTRY OR PRIOR TO ANY WORK SHUTDOWN.
10. NOTIFICATION OF ANY SIGNIFICANT EROSION PROBLEMS.
11. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS IF USING PERMANENT SEED MIXES AND RATES BETWEEN 10/1 AND 5/14. RE-SEED WITH PERMANENT SEED MIX AFTER 5/14.
12. PERMANENT SEED: MIX AFTER 5/14.
13. LIME AND FERTILIZER: APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM FEET) APPLY FERTILIZER (0-10-20) AT A RATE OF 500 POUNDS PER ACRE (100 POUNDS PER 1000 SQUARE FEET).
14. MULCH: THE BASE OF GRADED WATERWAYS - 5-10 LBS PER 100 SQ FT OF GRADED AREA (OR HAY OR MULCH BETWEEN 100 FT. OF GRAVED AND WETLANDS - 10 - 50 LBS PROTECTED AREAS WINDY AREAS - 275 LBS SHEDED OR CHIPPED - 100 - 275 LBS ANY OTHER UNDESIRABLE MATERIAL EXCEPT IF INCLUDED IN HYDROSEED MIXTURE. PERMANENT STABILIZATION OF REVEGETATED AREAS IS CONSIDERED AS 90% CATCH.
15. ALL CULVERT OR PIPE OUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
16. DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
17. MAINTAINING SILT BAIRS DURING CONSTRUCTION.
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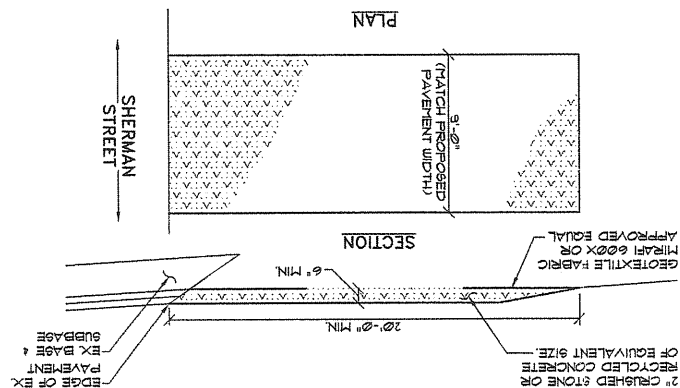
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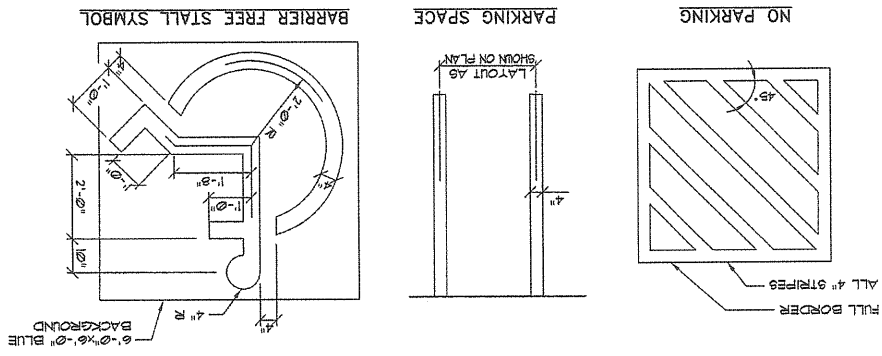
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**4 STABILIZED CONSTRUCTION ENTRANCE DETAIL**

1. MAINTAIN ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO WATERWAYS, DITCHES OR STORM DRAINS.
2. REMOVE STABILIZED CONSTRUCTION ENTRANCE TO FINISH ROAD CONSTRUCTION & PAVEMENT.



**3 STRIPING DETAILS**

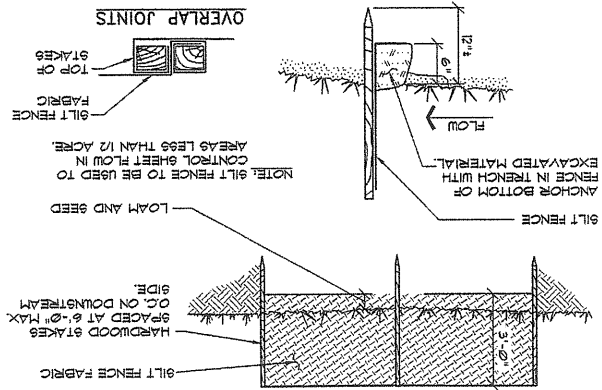


**2 SCHEDULE OF SURFACE FINISHES**

1. HMA = HOT MIX ASPHALT.
2. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

USE	CONSTRUCTION	PARKING LOT	GRASS
	<ul style="list-style-type: none"> <li>1/4" HMA MDT 1.5mm</li> <li>2 1/4" HMA MDT 19mm</li> <li>4" COMPACTED AGGREGATE</li> <li>BASE MDT 103.6(A) TYPE A</li> <li>15" COMPACTED AGGREGATE</li> <li>SUBBASE MDT 103.6(B) TYPE D</li> <li>4" COMPACTED SUBGRADE</li> </ul>	<ul style="list-style-type: none"> <li>4" TOPSOIL, NO STONES</li> <li>GRANULAR MATERIAL IN FILL AREAS</li> <li>COMPACTED SUBGRADE</li> </ul>	<ul style="list-style-type: none"> <li>4" TOPSOIL, NO STONES</li> <li>GRANULAR MATERIAL IN FILL AREAS</li> <li>COMPACTED SUBGRADE</li> </ul>

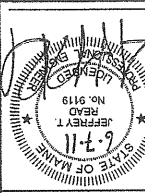
**1 SILT FENCE DETAIL**



REV.	DATE	DESCRIPTION

ROMAN CATHOLIC BISHOP OF PORTLAND  
 PO BOX 11559, PORTLAND ME 04104  
 SACRED HEART  
 PORTLAND, MAINE  
 PINKHAM & GREER  
 CONSULTING ENGINEERS  
 PORTLAND, MAINE  
 DETAILS

SCALE: AS SHOWN  
 DRN BY: RJS  
 DESG BY: JTR  
 DATE: JUNE 7, 2011  
 PROJECT: 10144  
 CHK BY: JTR



NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

3

2

4

1



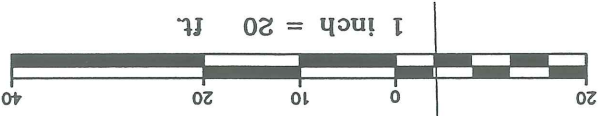
Rev.	Date	Revision
1	12/09/03	ADDED DRIVEWAY EASEMENT

Design:	DER	Date:	9/03
Draft:	GIL	Job No.:	853
Checked:	AMP	Scale:	1"=20'
File Name: 853-PBASE_120203.dwg			

**GP**  
 Gorill-Palmer Consulting Engineers, Inc.  
 15 Shaker Road  
 Gray, ME 04039  
 P.O. Box 1237  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: mailbox@gorillpalmer.com

Drawing Name: **Site Layout Plan**  
 Project: **135 & 137 SHERWOOD STREET, PORTLAND, MAINE**

Figure No. **2**

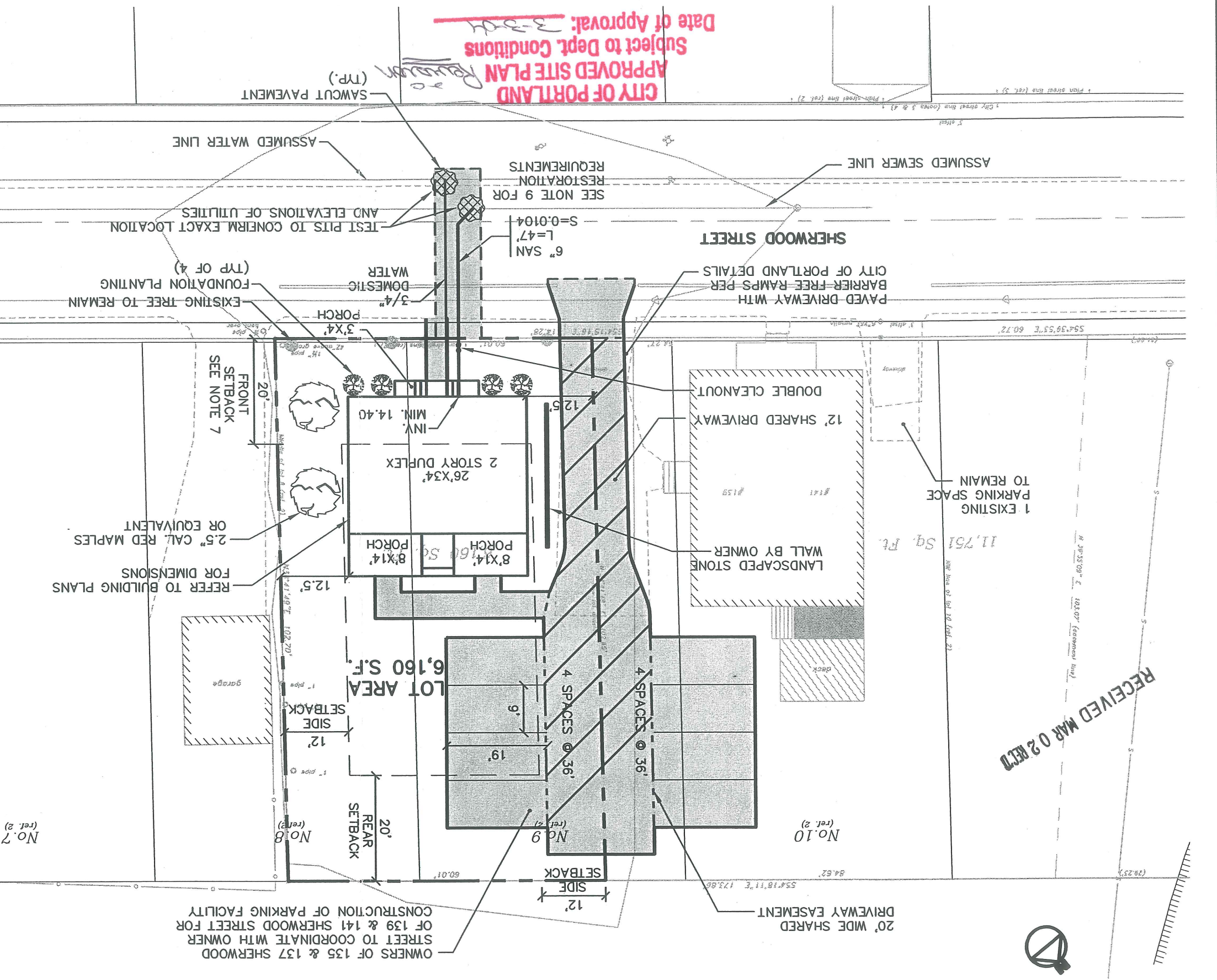


**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 3-3-04

**GENERAL NOTES**

1. TOPOGRAPHIC DATA, EXISTING CONDITIONS AND PROPERTY LINES ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003, WHICH IS DRAWING 1 OF THE BUILDING PERMIT APPLICATION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. A FRONT YARD NEED NOT EXCEED THE AVERAGE DEPTH OF FRONT YARD ON EITHER SIDE OF THE LOT (SEC. 14-120.D.1), (LEFT 6', RIGHT 11.5'-6.5'+11.5' = 17.5'/2 = 8.75', PROVIDED 11').
8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS FOR INSTALLATION OF DRIVEWAY AND UTILITY SERVICES INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.

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Rev.	Date	Revision
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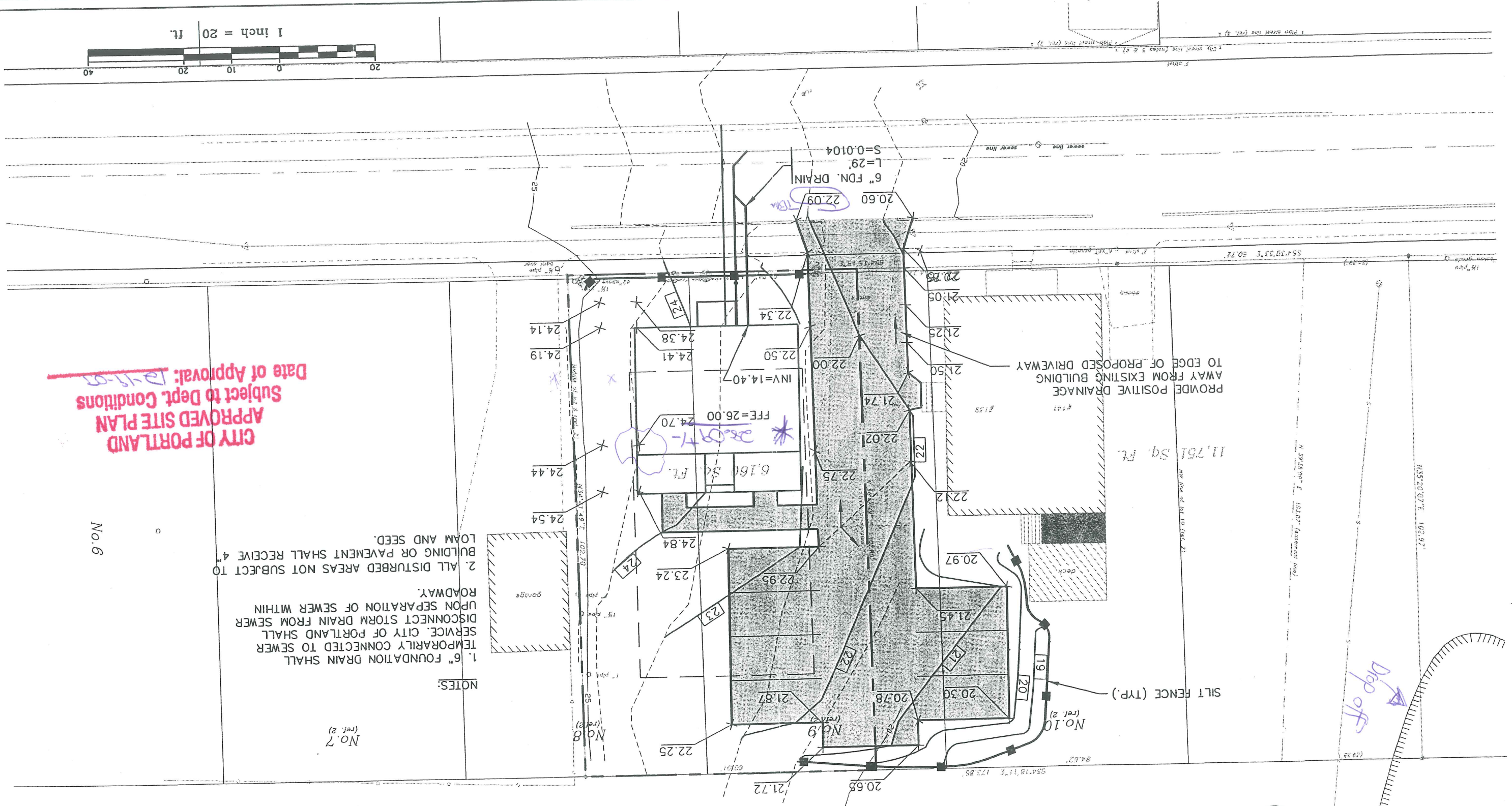
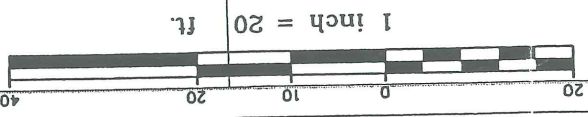
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Draft:	GUL	Job No.:	853
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File Name: 853-PBASE.dwg			

**GP**  
Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

P.O. Box 1237  
15 Shaker Road  
Gorham, ME 04039  
207-657-6910  
207-657-6912  
E-Mail: mail@gorrillpalmer.com

Drawing Name: Grading Plan  
Project: 135 & 137 SHERWOOD STREET LOT  
PORTLAND, MAINE

Figure No. 3



OWNERS OF 135 & 137 SHERWOOD STREET TO COORDINATE WITH OWNER OF 139 & 141 SHERWOOD STREET FOR CONSTRUCTION OF PARKING FACILITY

- NOTES:
1. 6" FOUNDATION DRAIN SHALL TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
  2. ALL DISTURBED AREAS NOT SUBJECT TO BUILDING OR PAVEMENT SHALL RECEIVE 4" LOAM AND SEED.

**CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 12-15-03**

No. 6

No. 7  
(ref. 2)

No. 8  
(ref. 2)

No. 9  
(ref. 2)

No. 10  
(ref. 2)

Drop off



Rev.	Date	Revision
1	12/09/03	ADDED DRIVEWAY EASEMENT

Design:	DER	Date:	9/03
Draft:	GJL	Job No.:	853
Checked:	AMP	Scale:	1"=20'
File Name: 853-PBASE_120203.dwg			

**GP**  
Gorill-Palmer Consulting Engineers, Inc.

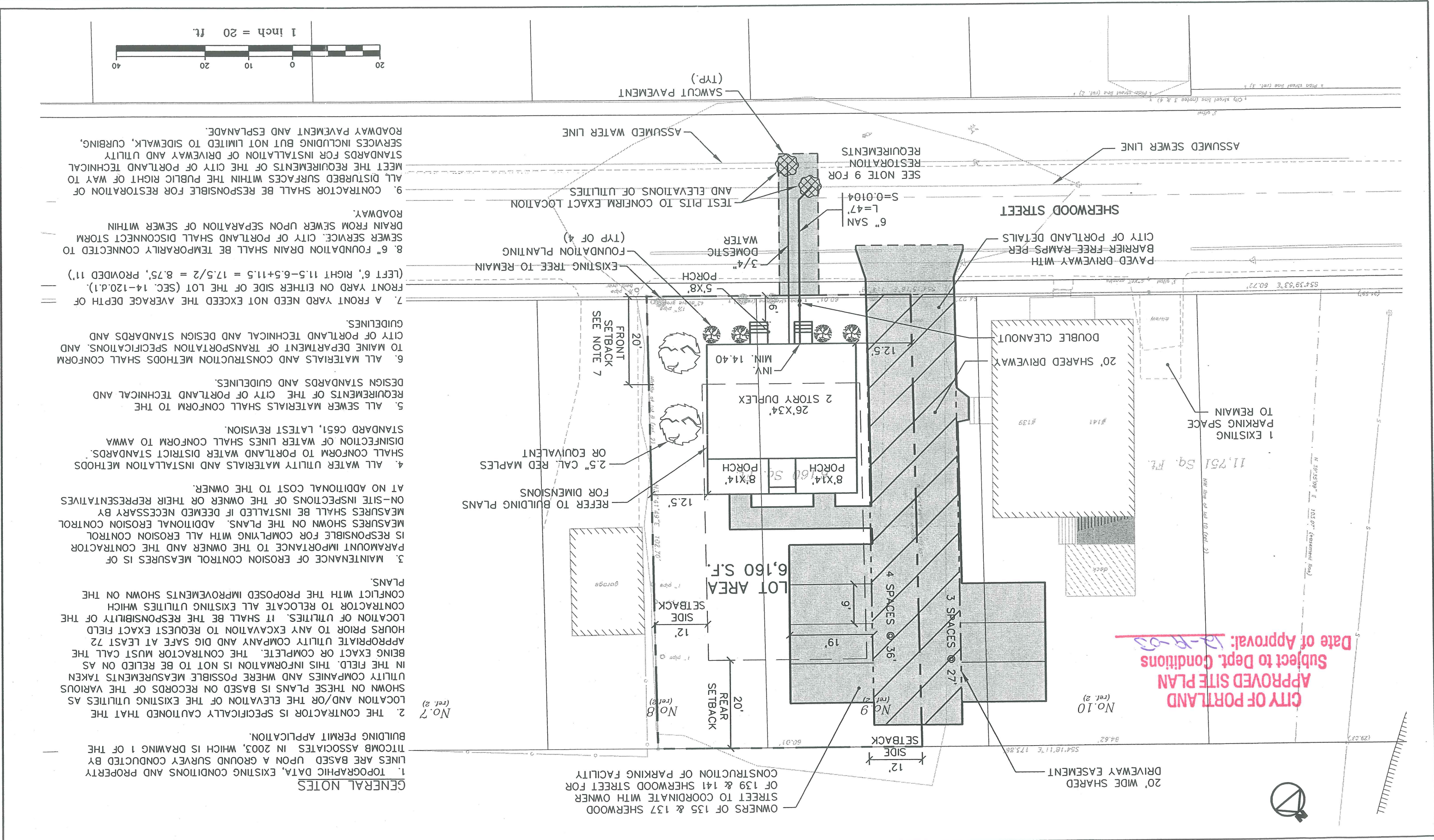
Traffic and Civil Engineering Services

P.O. Box 1237  
15 Shaker Road  
Gray, ME 04039  
207-657-6910  
FAX: 207-657-6912  
E-Mail: mailbox@gorillpalmer.com

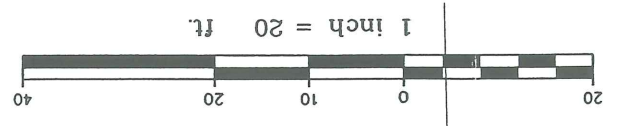
Drawing Name: **Site Layout Plan**

Project: **135 & 137 SHERWOOD STREET  
PORTLAND, MAINE**

Figure No. **2**



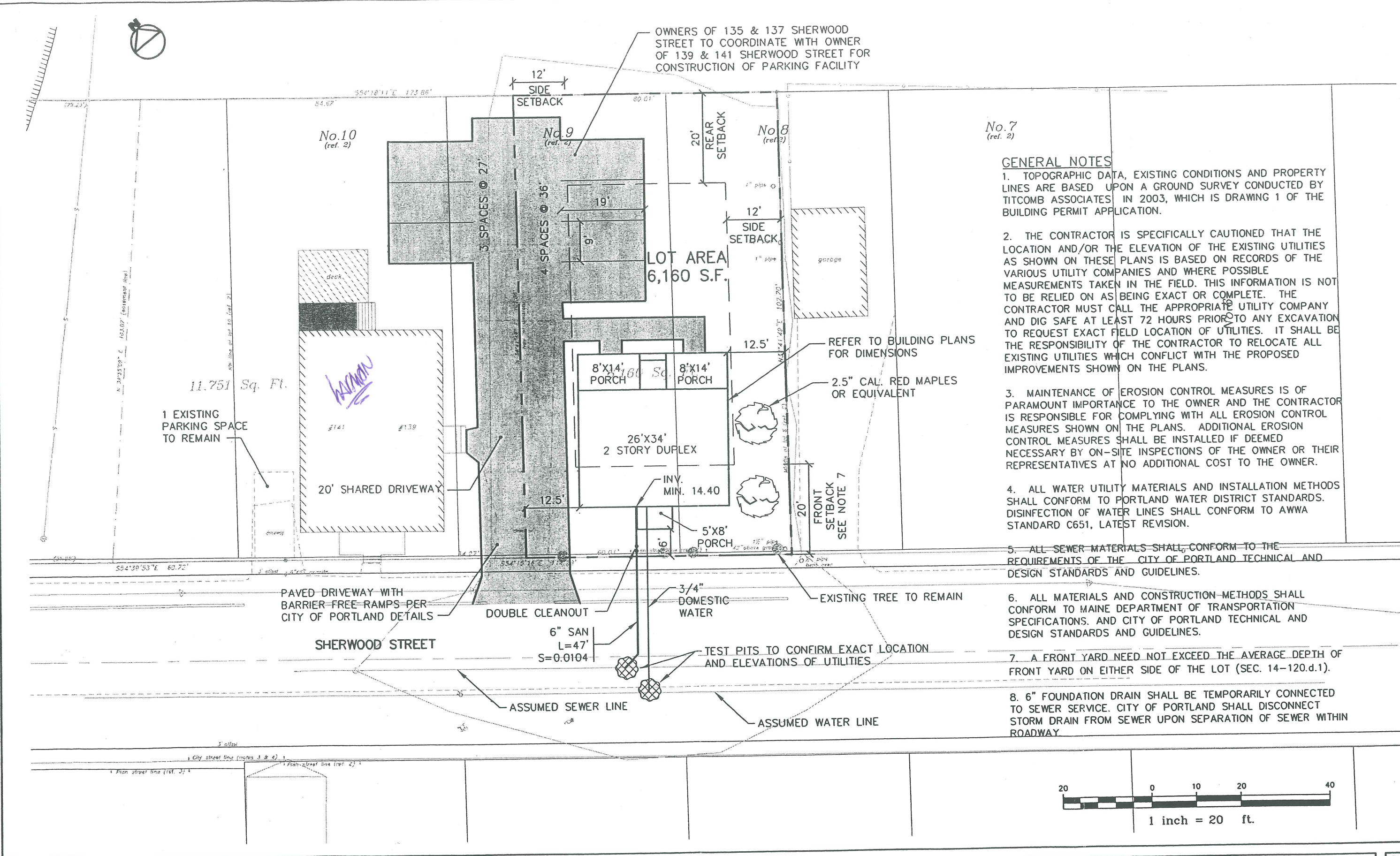
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Rev.	Date	Revision
-	-	-
-	-	-

Design: DER	Date: 9/03
Draft: GJL	Job No.: 853
Checked: AMP	Scale: 1"-20'
File Name: 853-PBASE.dwg	

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 Traffic and Civil Engineering Services

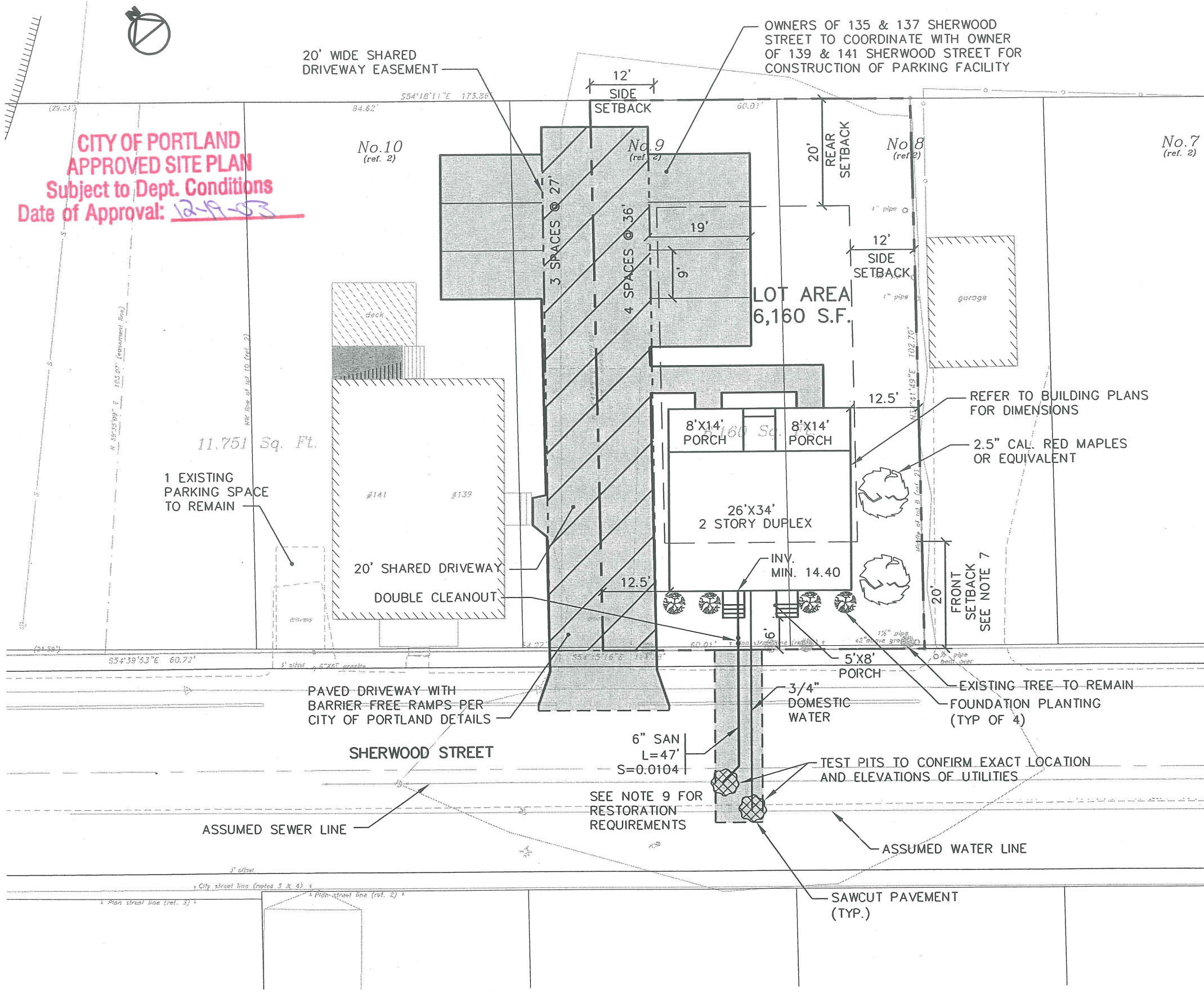
PO Box 1237  
 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
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Drawing Name: **Site Layout Plan**

Project: **135 & 137 SHERWOOD STREET  
 PORTLAND, MAINE**

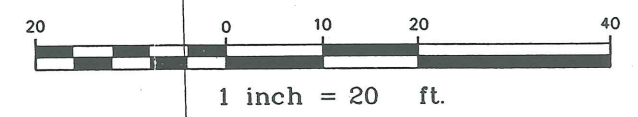


**CITY OF PORTLAND  
APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 12-19-03



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1	12/09/03	ADDED DRIVEWAY EASEMENT
Rev.	Date	Revision

Design:	DER	Date:	9/03
Draft:	GJL	Job No.:	853
Checked:	AMP	Scale:	1"=20'
File Name: 853-PBASE_120203.dwg			

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

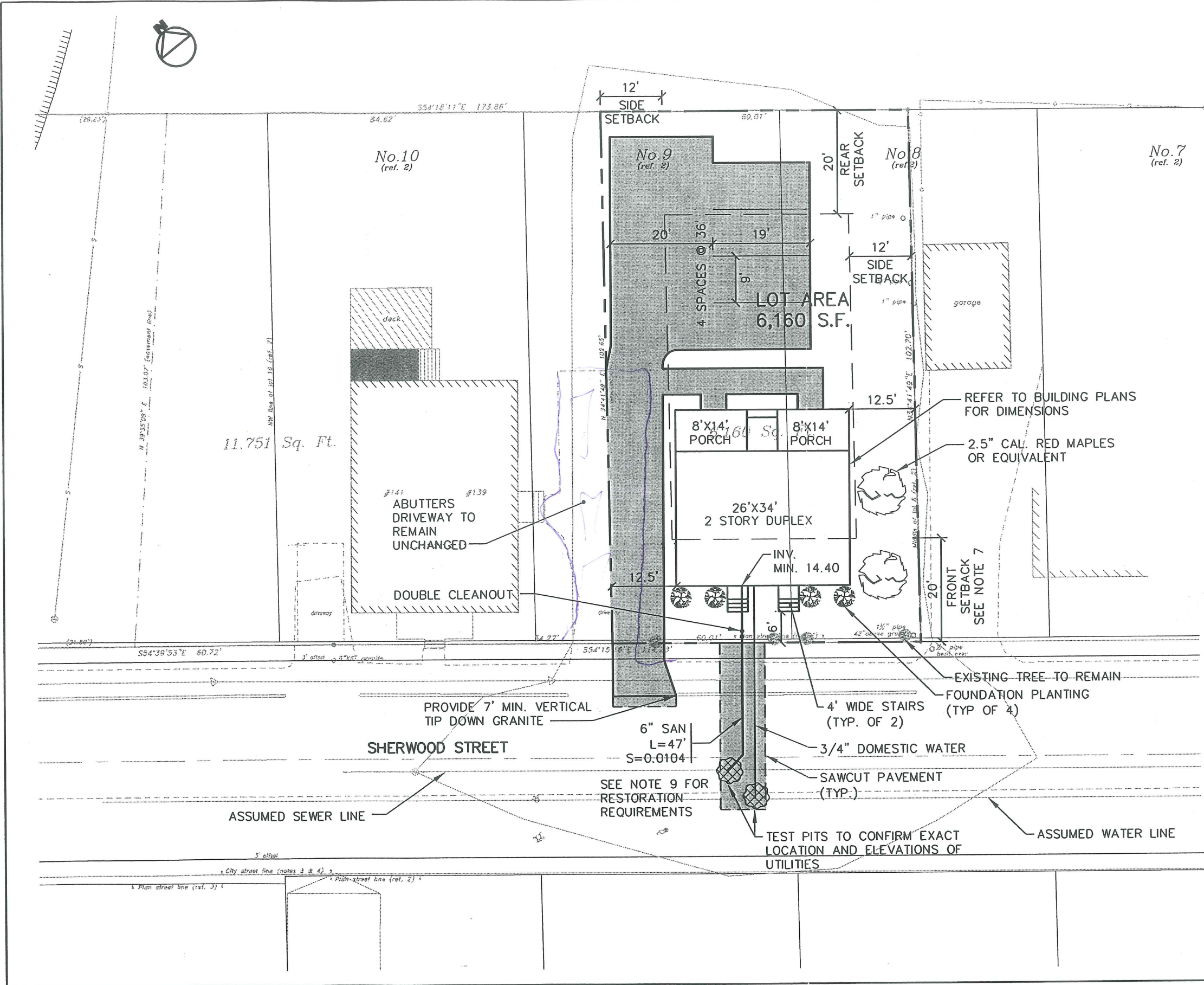
PO Box 1237  
15 Shaker Road  
Gray, ME 04039  
207-657-6910  
FAX: 207-657-6912  
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Site Layout Plan**

Project: **135 & 137 SHERWOOD STREET  
PORTLAND, MAINE**

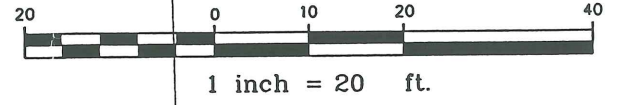
Figure No.  
**2**





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1	12/2/03	SEPARATED DRIVEWAYS
Rev.	Date	Revision

Design:	DER	Date:	9/03
Draft:	GJL	Job No.:	853
Checked:	AMP	Scale:	1"=20'
File Name:	853-PBASE.dwg		

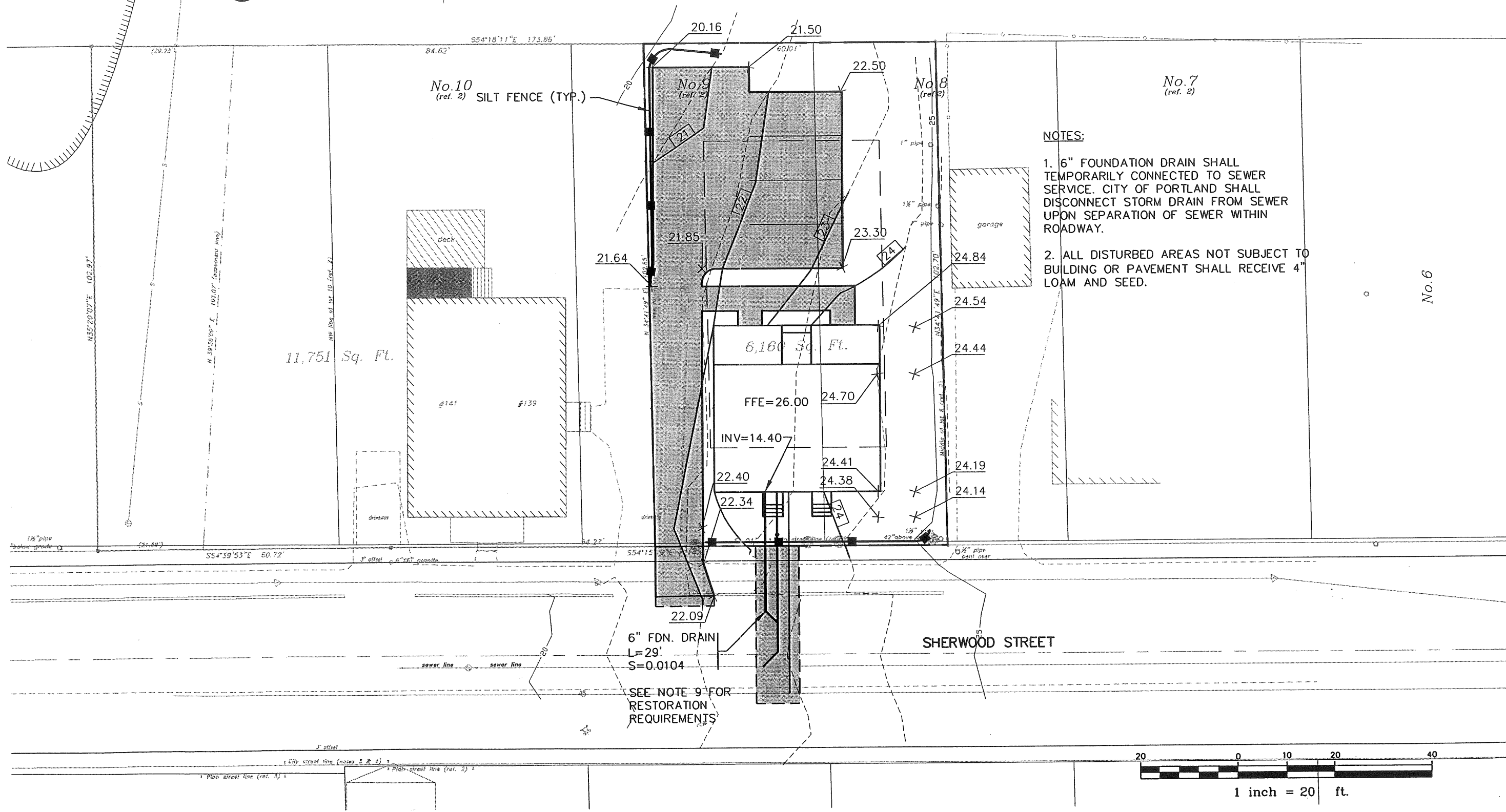
**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237  
 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Site Layout Plan
Project:	135 & 137 SHERWOOD STREET PORTLAND, MAINE

Figure No.  
**2**

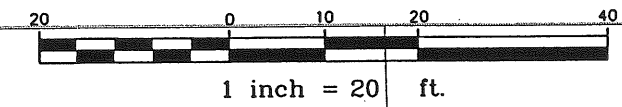


OWNERS OF 135 & 137 SHERWOOD STREET TO COORDINATE WITH OWNER OF 139 & 141 SHERWOOD STREET FOR CONSTRUCTION OF PARKING FACILITY



**NOTES:**

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Rev.	Date	Revision
1	12/2/03	SEPARATED DRIVEWAYS

Design: DER	Date: 9/03
Draft: GJL	Job No.: 853
Checked: AMP	Scale: 1"=20'
File Name: 853-PBASE.dwg	

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*Traffic and Civil Engineering Services*

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 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Grading Plan
Project:	135 & 137 SHERWOOD STREET LOT PORTLAND, MAINE

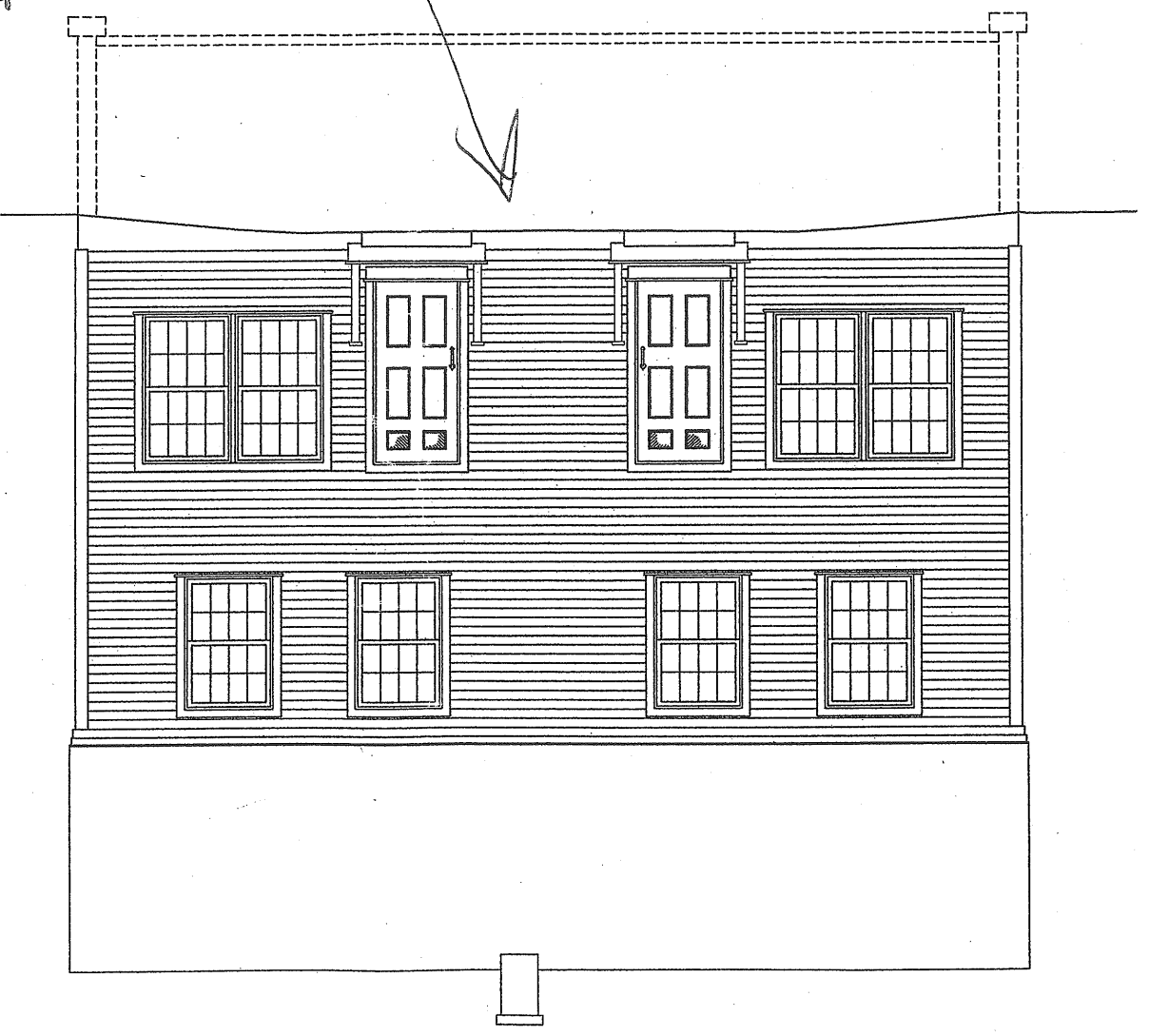
DRAWN: J. MORIN  
 SCALE: 1/4"=1'-0"  
 DATE: 07-11-03  
 MORIN DRAFTING GORHAM, ME. 893-2462  
 BOWEN DUPLEX  
 PORTLAND, MAINE

A1

ELEVATION

Received plans that  
 caused the plot  
 PLM  
 Show on one  
 Different than what is  
 shown on site

FRONT ELEVATION



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 NOV 17 2003  
 RECEIVED

A2

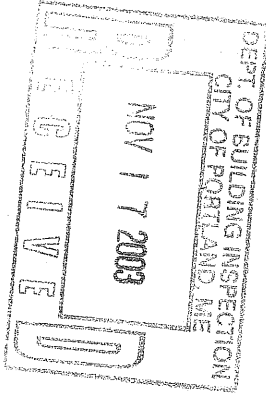
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SCALE: 1/4" = 1'-0"  
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ELEVATION

MORIN DRAFTING GORHAM, ME. 893-2462

BOWEN DUPLEX  
PORTLAND, MAINE

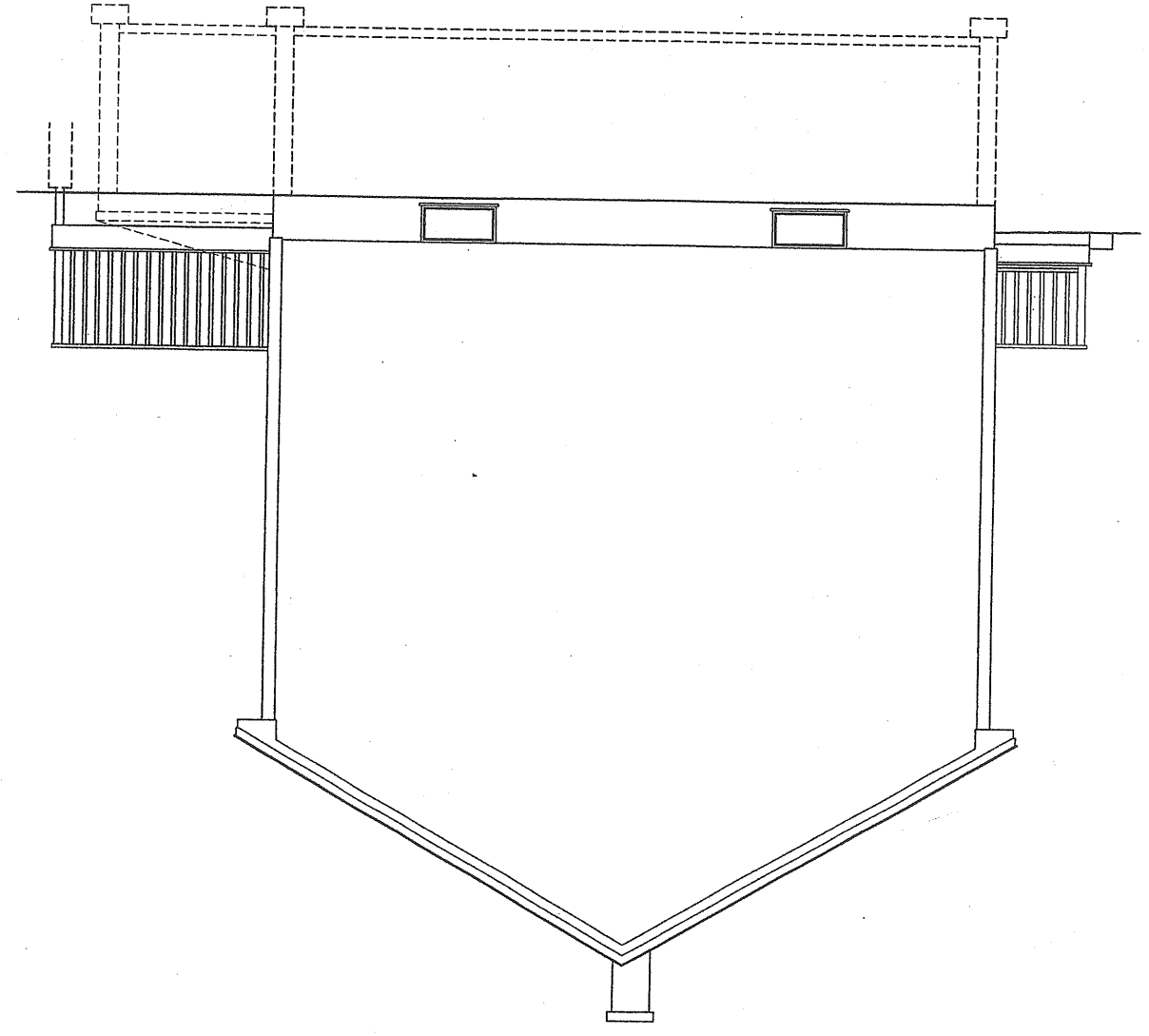
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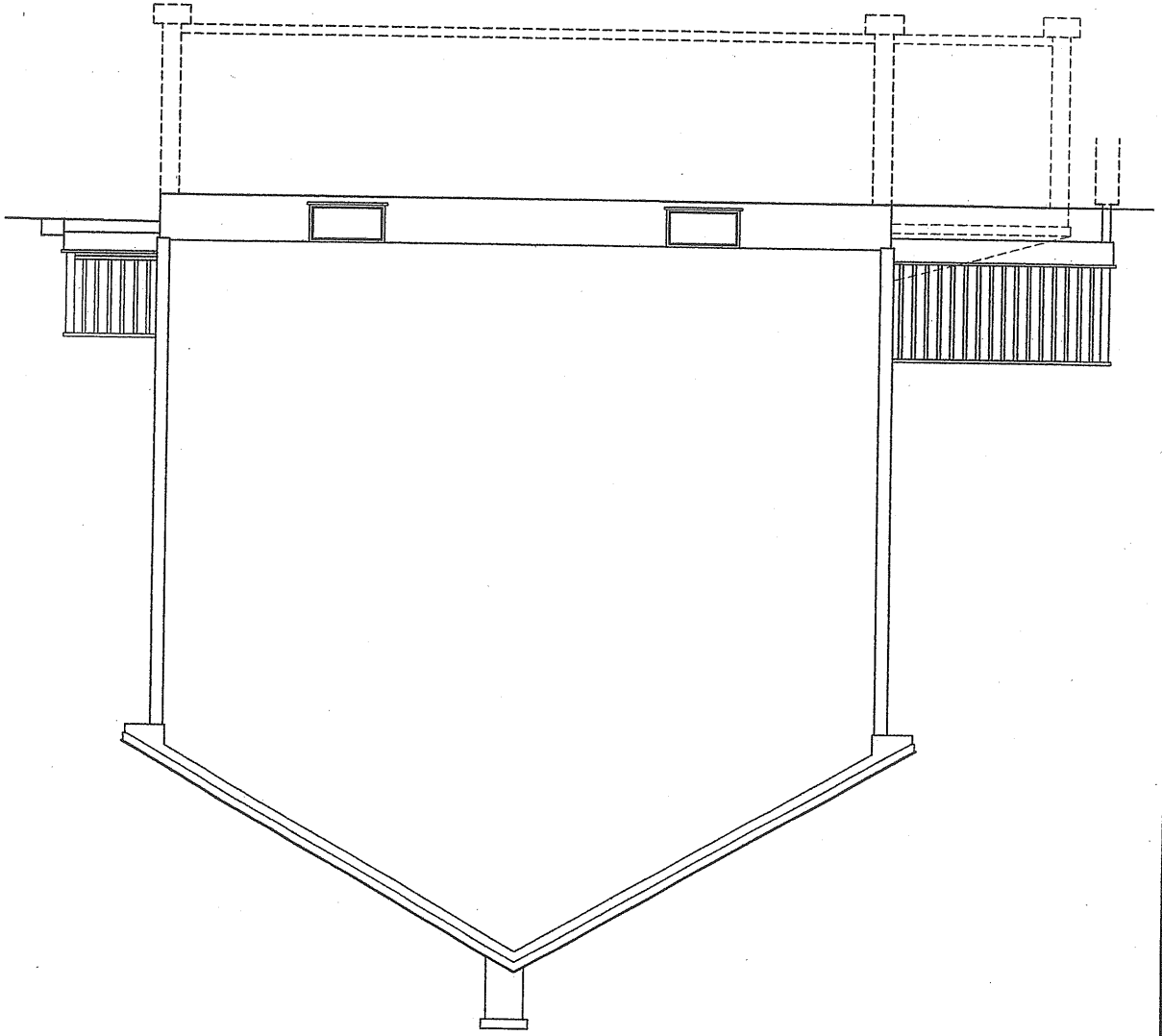
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DRAWN: J. MORIN  
SCALE: 1/4"=1'-0"  
DATE: 07-11-03

ELEVATION  
BOWEN DUPLEX  
PORTLAND, MAINE  
MORIN DRAFTING GORHAM, ME. 893-2462

RIGHT SIDE ELEVATION

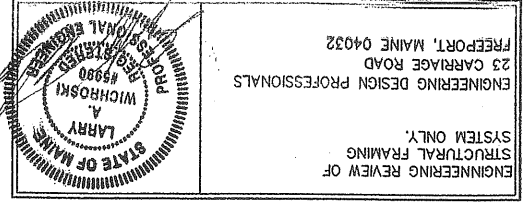


LEFT SIDE ELEVATION



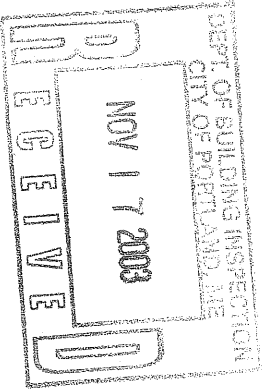
RECEIVED  
NOV 17 2003  
CITY OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

- GENERAL CONSTRUCTION NOTES:
1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE BOCA 1999 FASTENER SCHEDULE.
  2. ALL STAIRS SHALL COMPLY WITH BOCA 1999 STAIR CODE.
  3. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREAD.
  4. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS.
  5. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
  6. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
  7. ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.
  8. SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
  9. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
  10. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:
    - GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY SURFACE.
    - GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
    - GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.

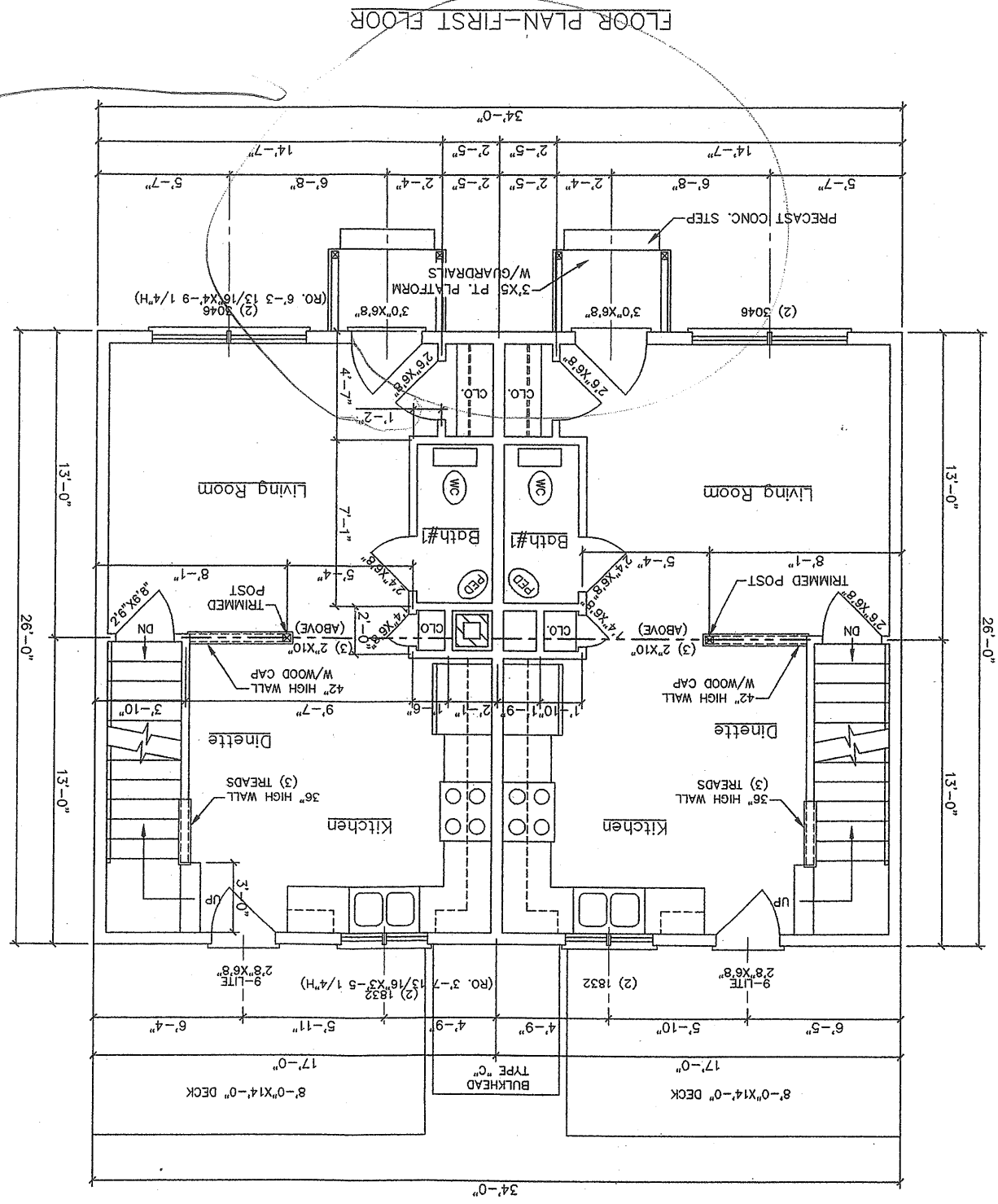


ENGINEERING REVIEW OF  
STRUCTURAL FRAMING  
SYSTEM ONLY.  
ENGINEERING DESIGN PROFESSIONALS  
23 CARRIAGE ROAD  
FREEPORT, MAINE 04032

BOWEN DUPLEX  
PORTLAND, MAINE  
MORIN DRAFTING GORHAM, ME. 893-2462  
DRAWN: J. MORIN  
SCALE: 1/4"=1'-0"  
DATE: 07-11-03  
A4



*Difficult to copy plan*



ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS  
BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN  
ACCORDANCE WITH COMMON BUILDING PRACTICES.  
NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS.  
STRUCTURAL ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS  
AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS.  
IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS,  
CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR.  
IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE  
CONSTRUCTION BEGINS MORIN DRAFTING SHALL BE HELD  
HARMLESS. MORIN DRAFTING ASSUMES NO LIABILITY FOR  
CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS  
BY CLIENT AND/OR CONTRACTOR.

HEADER SCHEDULE

HEADER SPAN	FIRST FLOOR (1,300 PLF.)	SECOND FLOOR (1,000 PLF.)
0'-0" - 4'-0"	(3) 2"x10"	(3) 2"x8"
4'-1" - 7'-0"	(3) 2"x12"	*
7'-1" - 10'-0"	(3) 1 3/4"x9 1/2" LVL'S*	(3) 1 3/4"x9 1/2" LVL'S**

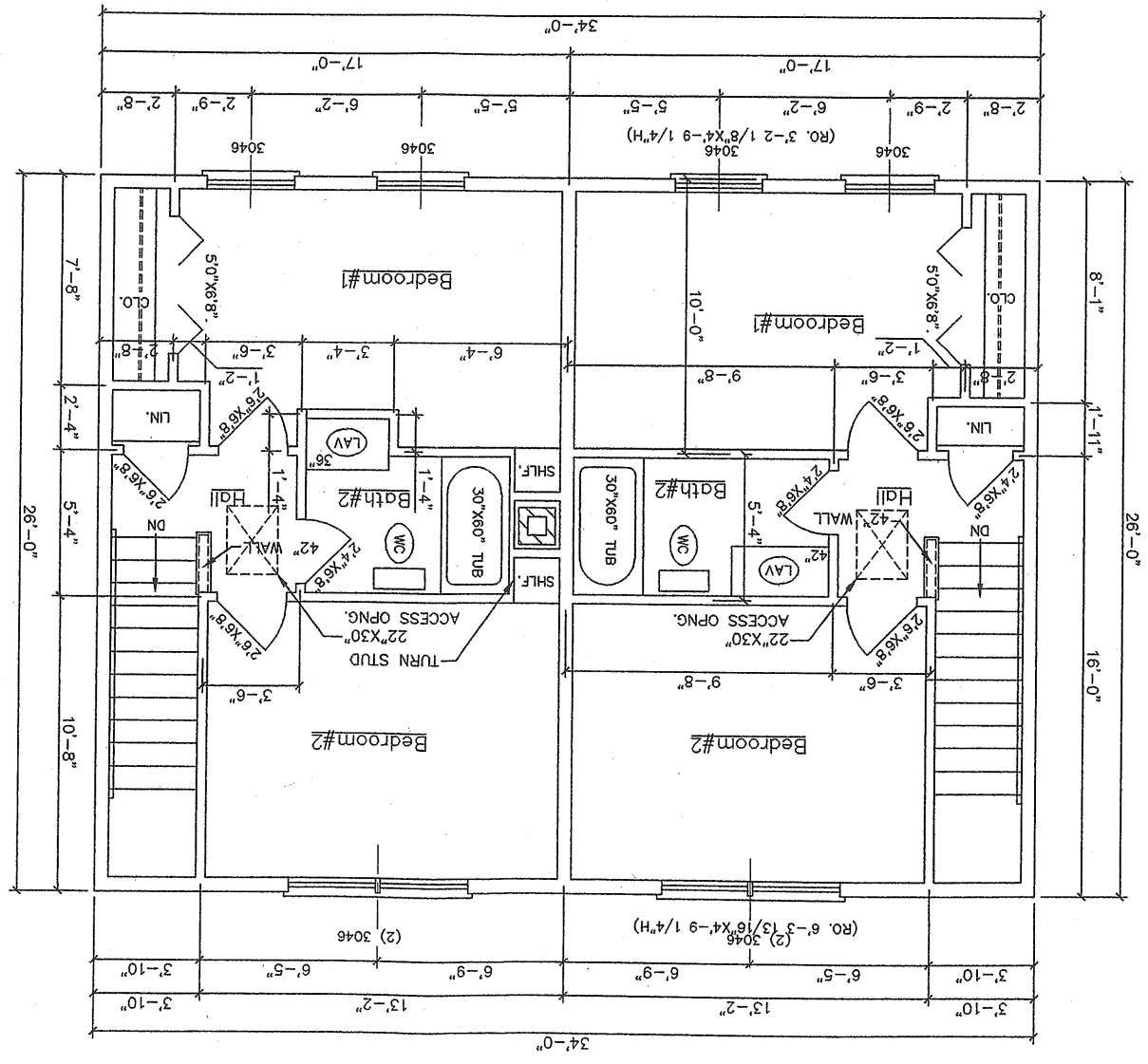
\*\* - INCLUDES DOUBLE 3'-0" WINDOWS

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1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE BOCA 1999 FASTENER SCHEDULE.
  2. ALL STAIRS SHALL COMPLY WITH BOCA 1999 STAIR CODE.
  3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
  4. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
  5. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
  6. ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD Wired WITH A BATTERY BACK-UP.
  7. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE. SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
  8. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:  
 OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".  
 GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY SURFACE.  
 GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.  
 GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.
- (THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY THEY SHOULD NOT BE INTERPRETED AS CODE OR THE COMPLETE BOCA CODE. THE 1999 BOCA CODE SHALL BE REVIEWED & COMPLETED WITH BEFORE CONSTRUCTION BEGINS)

FLOOR PLAN-SECOND FLOOR



HEADER SCHEDULE

0'-0" - 4'-0"	(3) 2"x10"	
4'-1" - 7'-0"	(3) 2"x12"	*
7'-1" - 10'-0"	(3) 1 3/4"x9 1/2" LVL's*	
** - INCLUDES DOUBLE 3'-0" WINDOWS		
** - INCLUDES TRIPLE 3'-0" WINDOWS		

FIRST FLOOR (1,300 PLF.)  
 SECOND FLOOR (1,000 PLF.)

MORIN DRAFTING GORHAM, ME. 893-2462

BOWEN DUPLEX  
 PORTLAND, MAINE

FLOOR PLAN-2ND FLOOR

DRAWN: J MORIN  
 SCALE: 1/4"=1'-0"  
 DATE: 07-11-03

A5

