

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that KRISTOFER & KIMBERLY GOSS

Located At 65 BEST ST

Job ID: 2012-07-4455-ALTR

CBL: 134- E-003-001

has permission to Install a 10' x 12' free standing deck (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

07/24/2012

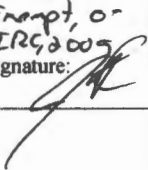
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**Fire Prevention Officer**

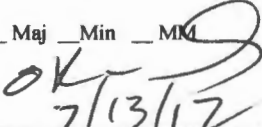
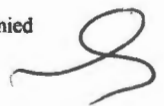
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**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

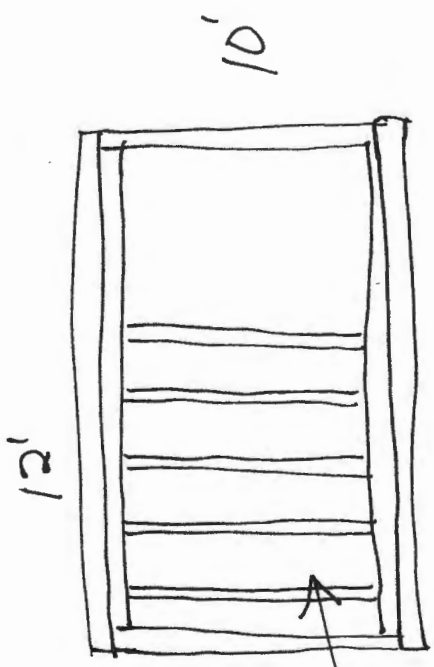
Job No: 2012-07-4455-ALTR	Date Applied: 7/13/2012	CBL: 134- E-003-001	
Location of Construction: 65 BEST ST	Owner Name: KRISTOFER & KIMBERLY GOSS	Owner Address: 65 BEST STREET PORTLAND, ME 04103	Phone:
Business Name:	Contractor Name: THE GROUNDS CREW – Tim Pratt or Cheryl Damon	Contractor Address: 177 GRAY RD FALMOUTH MAINE 04105	Phone: (207) 878-6335
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ADD	Zone: R-5
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling – to add a 10' x 12' deck with stairs	Cost of Work: \$3,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: R3 Type: N Exempt, 0- IRG, 005 Signature: 
Proposed Project Description: Install a 10' x 12' Deck abutting existng porch		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Min ___ MM</p> <p>Date:  7/13/12</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	<b>CERTIFICATION</b>		

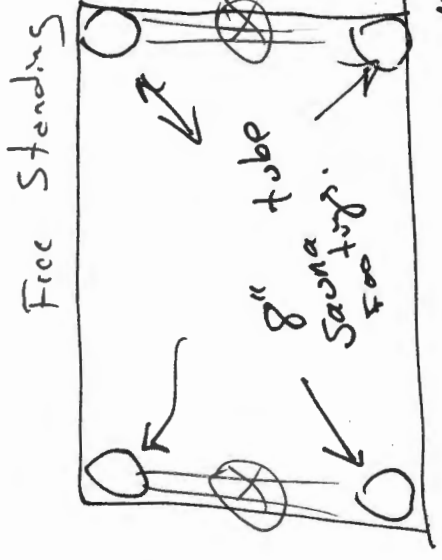
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7/24/12



2x8 joists 16" oc

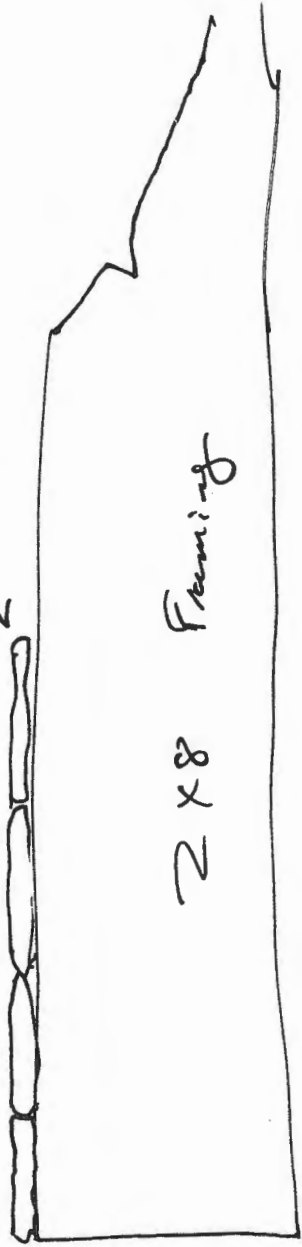


14" off Grade

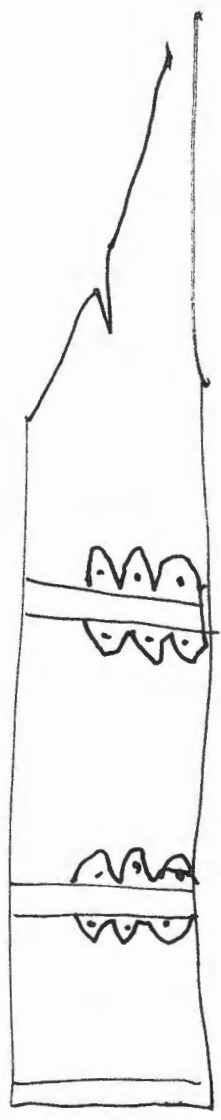
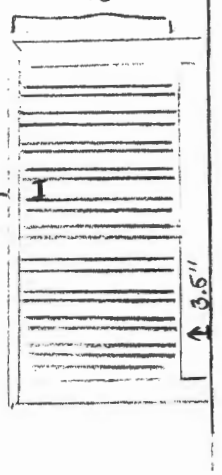
Deck anchored w/ bolts + galvanized Brackets

(2) 2x8" Beam 5'-11" Max  
Not Connected to structure JGR

5/4" x 6" pt decking - 1/8" spacing between



Spacing 3.5"



1.4" ...

2012-07-4455

R-5



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>65 BEST ST</u>		
Total Square Footage of Proposed Structure/Area <u>10X12 DECK</u>	Square Footage of Lot <u>3,758</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>134      E003001</u>	Applicant: (must be owner, lessee or buyer) Name <u>KRISTOFER: KIMBERLY GOSS</u> Address <u>65 BEST ST</u> City, State & Zip <u>Portland Me 04103</u>	Telephone:
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$2950</u> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <u>50</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Install 10X12 deck abutting existing porch.</u>		
Contractor's name: <u>THE GROUNDS CREW</u> Email: _____		
Address: <u>177 GRAY RD</u>		
City, State & Zip <u>FALMOUTH, ME 04105</u> Telephone: _____		
Who should we contact when the permit is ready: <u>Tim Pratt / Cheryl Damon</u> Telephone: _____		
Mailing address: <u>same as above</u>		

1521

878-6335

**Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Cheryl Damon      Date: 7/13/12

**This is not a permit; you may not commence ANY work until the permit is issued**



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

**One (1) complete set of construction drawings must include:**

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

**Separate permits are required for internal & external plumbing, HVAC, and electrical installations.**

**If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:**

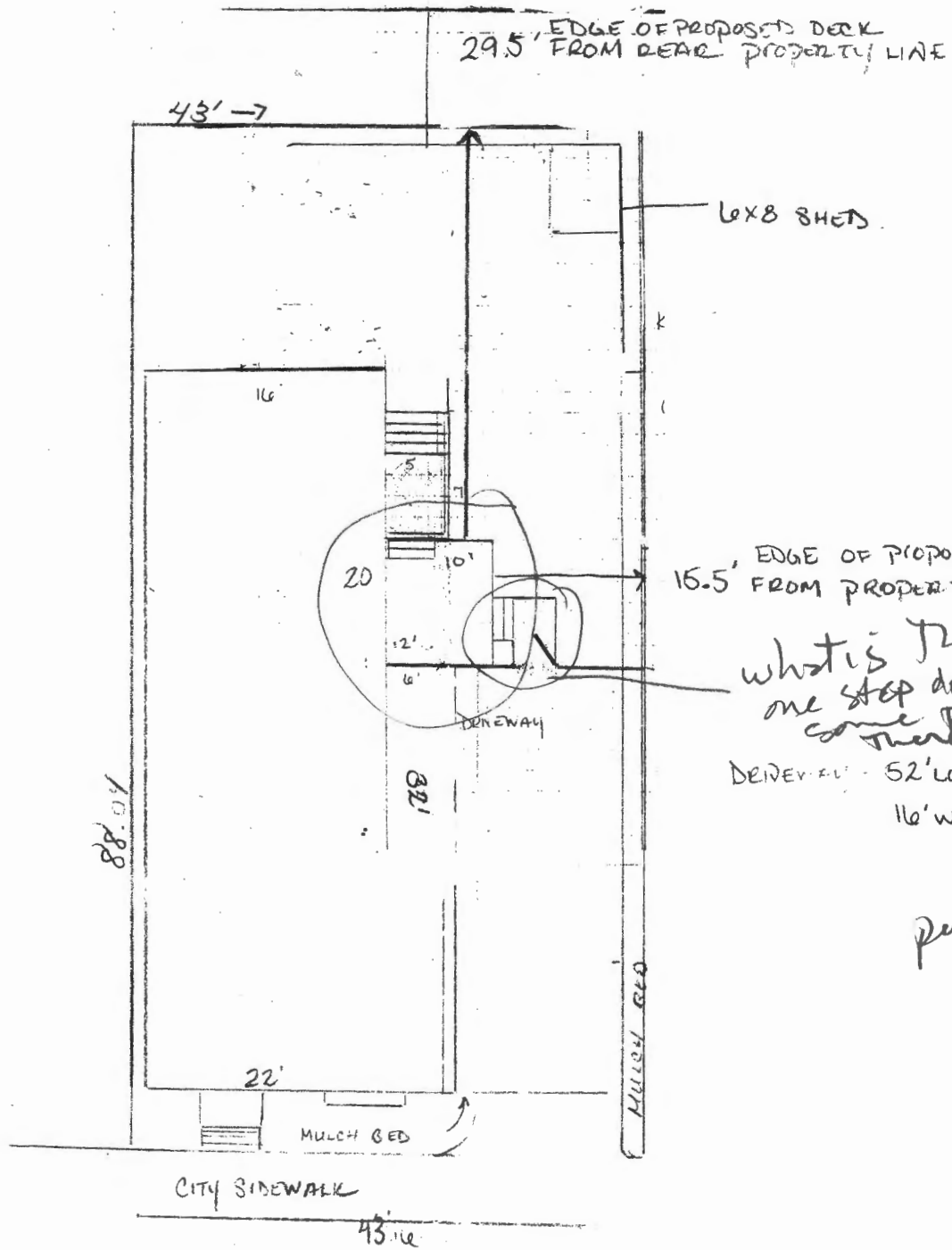
- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**



**R-5 Zone**

Front - 20' min - 32' shown

Rear - 20' min - over 20' implied

Side 8' min - 15.5' shown

Based on the old 18x18 gms & 71 Deck Stairs

## DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube 8"
  - b. depth below grade (minimum 4'-0" below grade) 4'
  - c. anchorage of column to footing GALVANIZED BRACKET/BOLT
  - d. spacing of tubes 10/12'
- Or
- e. pre cast concrete pier size
  - f. depth below grade (minimum 4'-0")
  - g. anchorage of column to footing
  - h. spacing of tubes

3. Columns (members supporting framing of floor system)

- a. wood size and type 4X4 PT
- b. anchorage of column to footing GALVANIZED BRACKET/BOLT

4. Framing Members

- a. Ledger size attached to building N/A
- b. Lag Bolt size and spacing on ledger N/A
- c. Location of all flashing N/A
- d. Girder Size and spans carrying floor system N/A
- e. Joist size, span, and spacing 2x8, 16" OC, 10' SPAN
- f. Joist hangers or ledger
- g. Decking size 5/4"x6"

5. Guardrails & Handrail Details

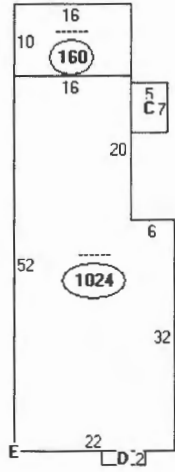
- a. Guardrail height 3.5"
- b. Baluster spacing 3.5"
- c. Handrail height 3'

6. Stair Details

- a. Tread depth (measured nosing to nosing) 11"
- b. Riser height 6 3/8"
- c. Nosing on tread 3/4"
- d. Width of stairs 4'

10X12 PT deck

65 BEST ST.

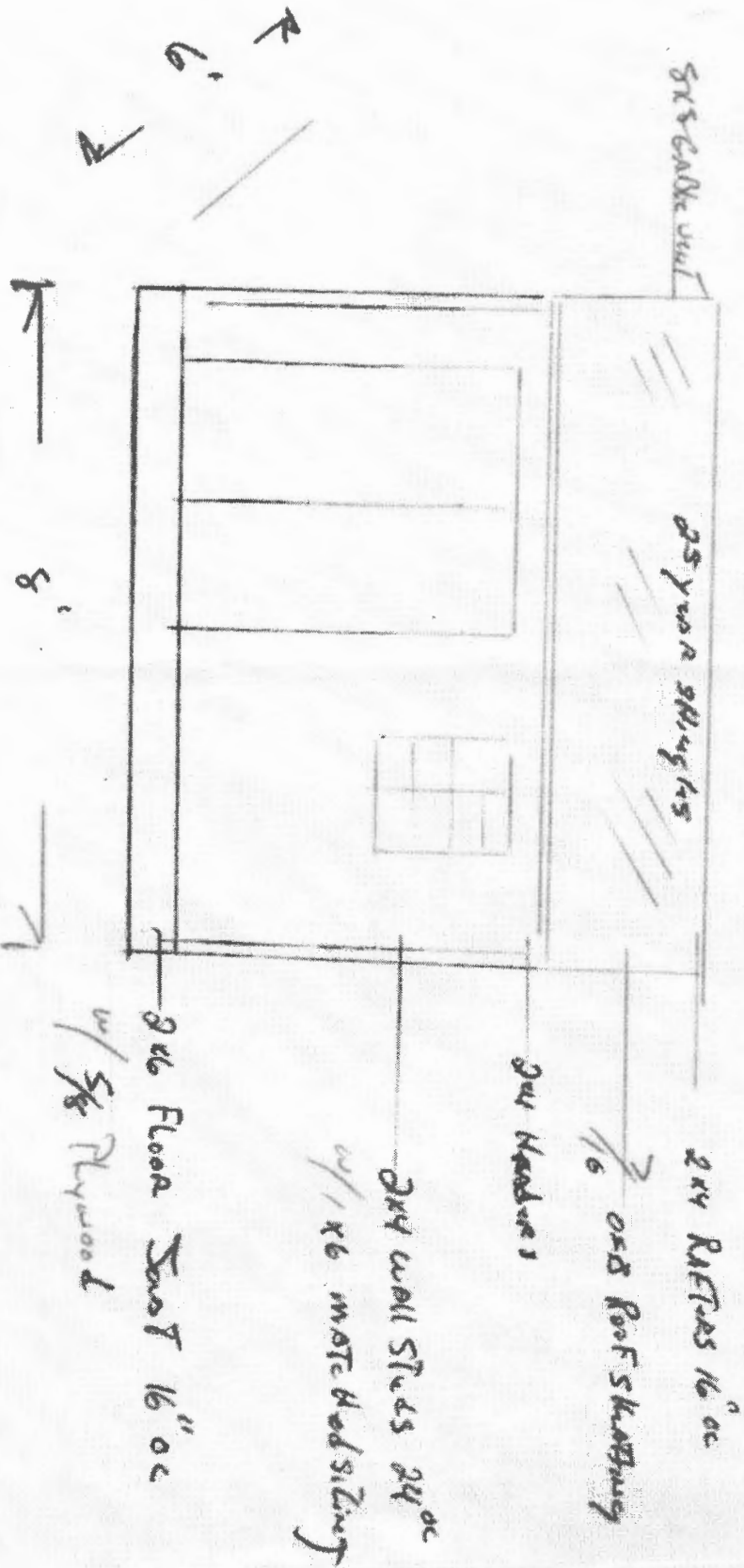


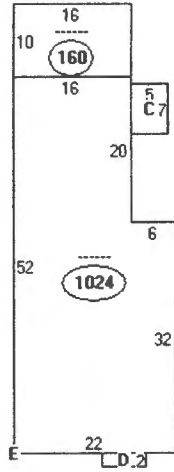
Descriptor/Area

- A: ----  
1024 sqft
- B: ----  
160 sqft
- C: W/D  
35 sqft
- D: FBAY  
12 sqft
- E: FG1  
324 sqft



KRISTOFER Goss  
315 1960





Descriptor/Area	Area
A:-----	1024 sqft
B:-----	160 sqft
C:WD	35 sqft
D:FBAY	12 sqft
E:RG1	324 sqft
↓	48
10x18 garage to be demogd & replaced with 6'x8' shed	1279#
	without Deck

3758 X 406 = 1503,27 <sup>sqft</sup> max lot coverage

1279#  
120 New Deck  
1399#