

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND



BUILDING PERMIT

PERMIT ISSUED

MAR 18 2011

This is to certify that KARINA WAGNER

Located At 15 NEWMAN

Job ID: 2011-02-421-ADDR

CBL: 134 - - C - 005 - 001 - City of Portland

has permission to 4' x 8' Covered porch to replace existing porch
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

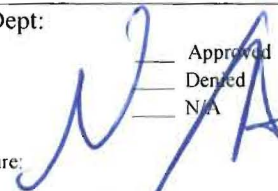

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-02-421-ADDR	Date Applied: 2/14/2011	CBL: 134 - - C - 005 - 001 - - - - -	PERMIT ISSUED	
Location of Construction: 15 NEWMAN	Owner Name: KARIN A WAGNER	Owner Address: 15 NEWMAN ST PORTLAND, ME - MAINE 04103	MAR 18 2011	Phone: 233-5771
Business Name:	Contractor Name: Peffer, Craig	Contractor Address: 30 Luckys Run STANDISH MAINE 04084	City of Portland	Phone: 415-6913
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone:	
Past Use: Single Family	Proposed Use: Single Family – replace front steps with covered porch & landing	Cost of Work: 7000.00	CEO District:	
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	IRC 2009	Inspection: Use Group: P-3 Type: SB
		Signature: 	Signature: 	
Proposed Project Description: 15 Newman St – repalce front steps with covered porch & landing		Pedestrian Activities District (P.A.D.)		

Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition</i> <i>2/17/11 ABW</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>using section 14-425- Residential be 50 SF not extrod more than 6' from building</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>15 NEWMAN ST.</u>		
Total Square Footage of Proposed Structure/Area <u>COVERED PORCH 32 SQ. FT</u>	Square Footage of Lot <u>5000.00 ± SQ. FT</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>134</u> Block# <u>C</u> Lot# <u>5</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>KARIN WAGNOR</u> Address <u>15 NEWMAN ST</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>233-5771</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>6,430.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>CONSTRUCT 40" x 8" COVERED PORCH IN PLACE OF EXISTING CONCRETE STEPS</u>		
Contractor's name: <u>SHANNAGO INC</u> Address: <u>30 LUCKYS RUN</u> City, State & Zip: <u>STANDISH ME 04084</u> Telephone: <u>415-6913</u> Who should we contact when the permit is ready: <u>CRAIG PEPPER</u> Telephone: <u>415-6913</u> Mailing address: <u>30 LUCKYS RUN STANDISH ME 04084</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Craig Pepper</u>	Date: <u>12/8/2010</u>
--------------------------------	------------------------

This is not a permit; you may not commence ANY work until the permit is issued.

MORTGAGE LOAN INSPECTION PLAN

THE STATE OF
H & D TITLE & CLOSING SERVICES
MERIDIAN MORTGAGE
AND ITS TITLE INSURER

LOCUS ADDRESS

NEWMAN STREET
PORTLAND, MAINE

NORTHEASTERN LAND
SURVEYING
18 COLLEGE AVENUE
GORHAM, MAINE 04038
PHONE (207) 839-2000
FAX (207) 839-6361

THE BUILDING SETBACKS ARE
IN CONFORMITY WITH THE
TOWN ZONING REQUIREMENTS

THE DWELLING DOES NOT FALL
WITHIN THE SPECIAL FLOOD
HAZARD AREA AS DELINEATED BY
F.E.M.A.

THE LAND DOES NOT FALL
WITHIN THE SPECIAL FLOOD
HAZARD AREA AS DELINEATED
BY F.E.M.A. ON COMMUNITY
MAP # 330051 0007C

BUYER: KARIN WAGNER

SELLERS: SEAN & JENNIFER TARR

JOB NUMBER 207-12
INSPECTION DATE

8-1-08

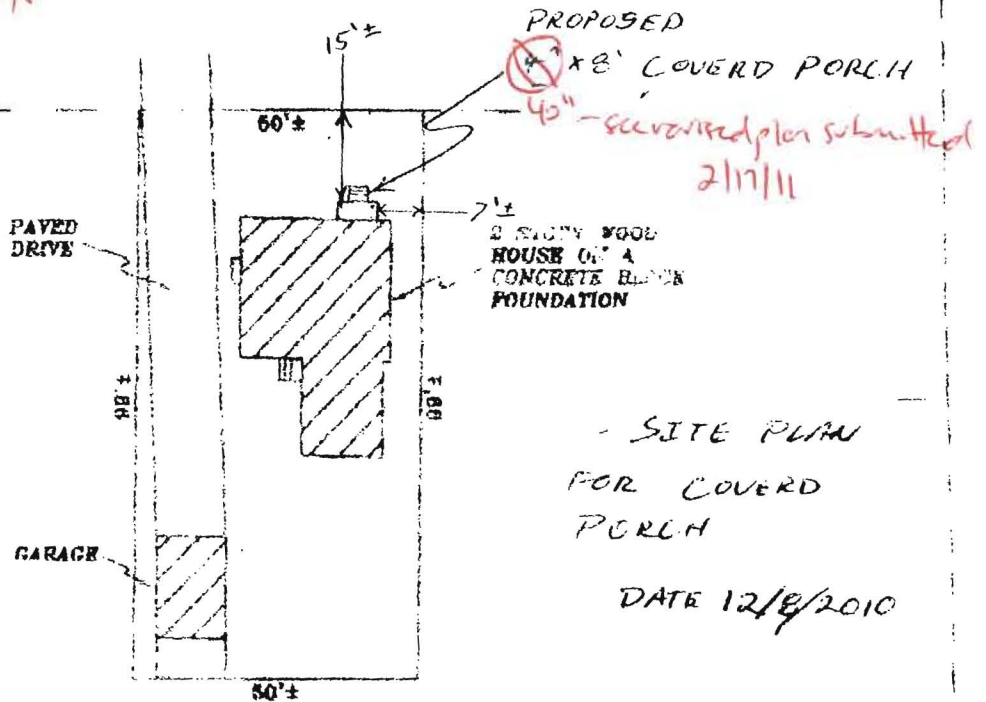
SCALE: 1" = 30'

* Using section 14-42-5
front porch footprint is
35.67' (61) - extend ~ 6'

R-5
lot size 4947 sq ft
front setback - 20' or average
side - 8' - 7' 6" var
rear - NA
lot coverage - 40% = 1978.8 sq ft

15' 6" var - less to slope

NEWMAN STREET (BIT)



existing - 862
+ 216

1078.8 sq ft

- SITE PLAN
FOR COVERED
PORCH
DATE 12/8/2010

THIS IS NOT A BOUNDARY SURVEY. THIS PLAN IS NOT
TO BE USED FOR PROPERTY LINE LOCATION, BUILDING
PURPOSES, CONVEYING OR DESCRIBING PROPERTY, OR
RECORDING PURPOSES. THIS PLAN IS FOR LENDING
PURPOSES ONLY. THIS PLAN MAY NOT REVEAL CONFLICTS
WITH ADJUTING OWNERS. THIS PARCEL IS SUBJECT TO ALL
RECORD, COVENANTS, RESTRICTIONS, AND EASEMENTS OF
RECORD. A BOUNDARY SURVEY MAY YIELD DIFFERENT
RESULTS.

REFERENCES

PLAN BOOK 15 PAGE

DEED BOOK 20820 PAGE

COUNTY CUMBERLAND



DRAWN BY GRRS

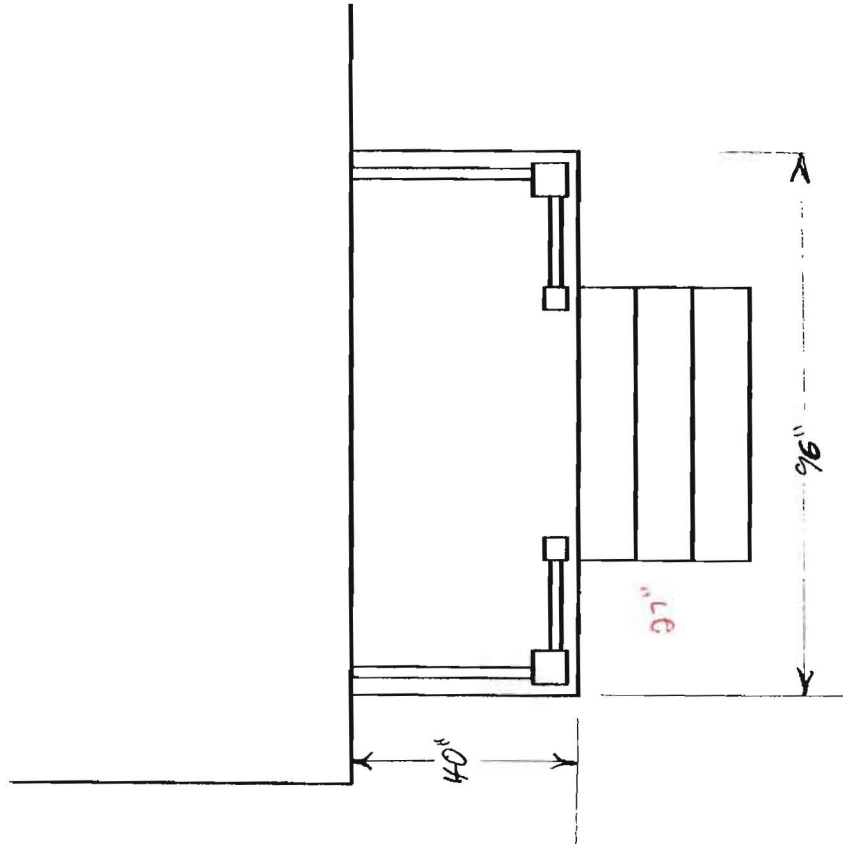
RECEIVED

FEB 17 2011

Dept. of Building Inspections
City of Portland Maine

$40'' \times 96'' = 3840''$ landing
 $48'' \times 27'' = 1296''$ stairs

 $5136'' = 35.17\phi$



10" TREADS

PORCH AND STEPS NOT
TO EXCEED 6' FROM THE
BUILDING

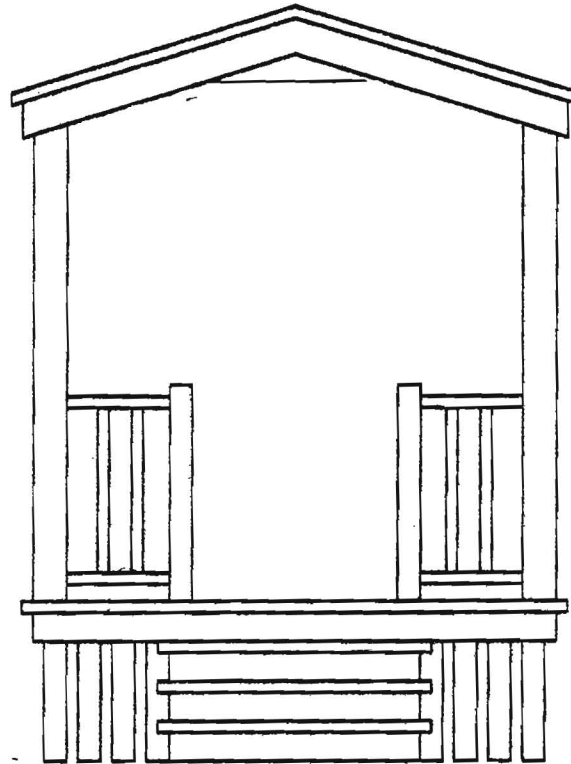
SCALE ~~3/8~~" = 1'

FORCH SKETCH
PLAN FOR
KARIN WAGNOR
15 NEWTON ST.

ROOF FRAMING

- ✓ 4x4 POST TRIMMED OUT
- ✓ DOUBLE 2x8 4' HEADERS
- ✓ 2x6 RAFTERS WITH PLYWOOD GUSSETS AT RIDGE
- 5/8" PLYWOOD SHEATHING

- ✓ 36" HIGH HANDRAIL
- ✓ 3 1/2" BALUSTER SPACING
- ✓ 10" TREAD DEPTH
- ✓ 7 1/4" RISER HEIGHT
- 4' WIDE STAIRS



SCALE = 3/8" = 1'

RECEIVED

FEB 17 2011

Dept. of Building Inspections
City of Portland Maine

PORCH SKETCH
PLAN FOR
KARIN WAGNOR
15 NEWMAN ST.

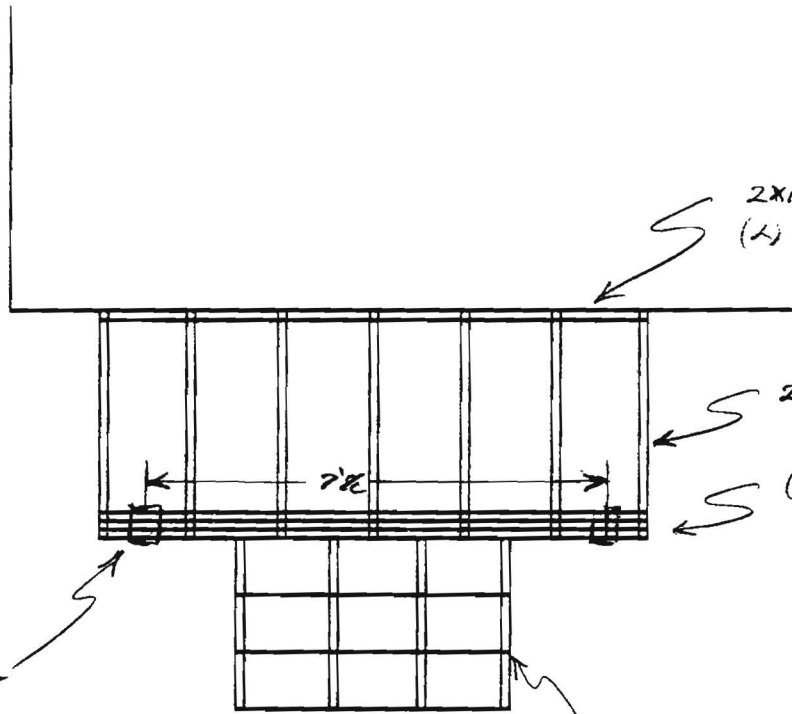
RECEIVED

FEB 17 2011

Dept. of Building Inspections
City of Portland Maine

Need 4' 0" ↓

9"x4" PRECAST
CONCRETE POST SET ON
16" ROUND PRECAST FOOTINGS
6x6 PT POST AND BRACKET
BOLTED TO TOP OF CONCL. POST
ABOVE GRADE



2x10 PT LEDGER ✓
(4) 1/2" LAG SCREWS @ 16" SPACING

2x8 JOIST @ 16" OC SPACING (TYR.) ✓

(2) 2x10 PT BEAM ✓

(4) STAIR STRINGERS FROM
2x12 PT (TYR.) ✓

SCALE 3/8" = 1'

PORCH SKETCH
PLAN FOR
KARIN WAGNER
15 NEWMAN ST.