

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 100353

Please Read Application And Notes, If Any, Attached

This is to certify that ESPOSITO CHRISTOPHER M /Axelsen Remodeling/ Neal Axelsen

has permission to Remove existing porch, replace w/10' x 20' deck & install French door

AT 20 BEDELL ST CBL 134 C004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is ratched or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board City of Portland

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0353	Issue Date:	CBL: 134 C004001
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Location of Construction: 20 BEDELL ST	Owner Name: ESPOSITO CHRISTOPHER M	Owner Address: 20 BEDELL ST	Phone:
Business Name:	Contractor Name: Axelsen Remodeling/ Neal Axelsen	Contractor Address: 20 Cleveland Street Saco	Phone 2074152874
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Remove existing porch, replace w/10' x 20' deck & install French door	Permit Fee: \$40.00	Cost of Work: \$1,850.00	CEO District: 5
Proposed Project Description: Remove existing porch, replace w/10' x 20' deck & install French door		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>	
		Signature:	Signature:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 04/09/2010	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Special Zone or Reviews**

- Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan  
 Maj  Minor  MM

*OK w/conditions*  
Date: 4/9/10 *JAM*

**Zoning Appeal**

- Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Date:

**Historic Preservation**

- Not in District or Landmark  
 Does Not Require Review  
 Requires Review  
 Approved  
 Approved w/Conditions  
 Denied

Date:

**PERMIT ISSUED**

APR 15

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0353	Date Applied For: 04/09/2010	CBL: 134 C004001
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Location of Construction: 20 BEDELL ST	Owner Name: ESPOSITO CHRISTOPHER M	Owner Address: 20 BEDELL ST	Phone:
Business Name:	Contractor Name: Axelsen Remodeling/ Neal Axelsen	Contractor Address: 20 Cleveland Street Saco	Phone (207) 415-2874
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Remove existing rear porch, replace w/10' x 20' deck & install French door	Proposed Project Description: Remove existing Rear porch, replace w/10' x 20' deck & install French door
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Ann Machado      Approval Date: 04/09/2010

Note: Ok to Issue: ✓

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 04/15/2010

Note: Ok to Issue: ✓

- 1) The maximum riser height is 7 3/4".
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

PERMIT ISSUED

APR 15 2010

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>20 Bedell St, Portland ME 04103</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>134</u> <u>C</u> <u>4</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Chris Esposito</u> Address <u>20 Bedell St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>617-642-3234</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4850.-</u> C of O Fee: \$ _____ Total Fee: \$ <u>40</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>New Deck. Remove existing Porch, Replace with Deck 10x20</u> <u>Install French Door</u>		
Contractor's name: <u>Neal Axelsen</u> <u>Axelsen Remodeling</u> Address: <u>20 Cleveland St</u> City, State & Zip <u>SALCO, ME 04072</u> Telephone: <sup>(207)</sup> <u>415-2874</u> Who should we contact when the permit is ready: <u>Chris Esposito</u> Telephone: <u>617-642-3234</u> Mailing address: _____		

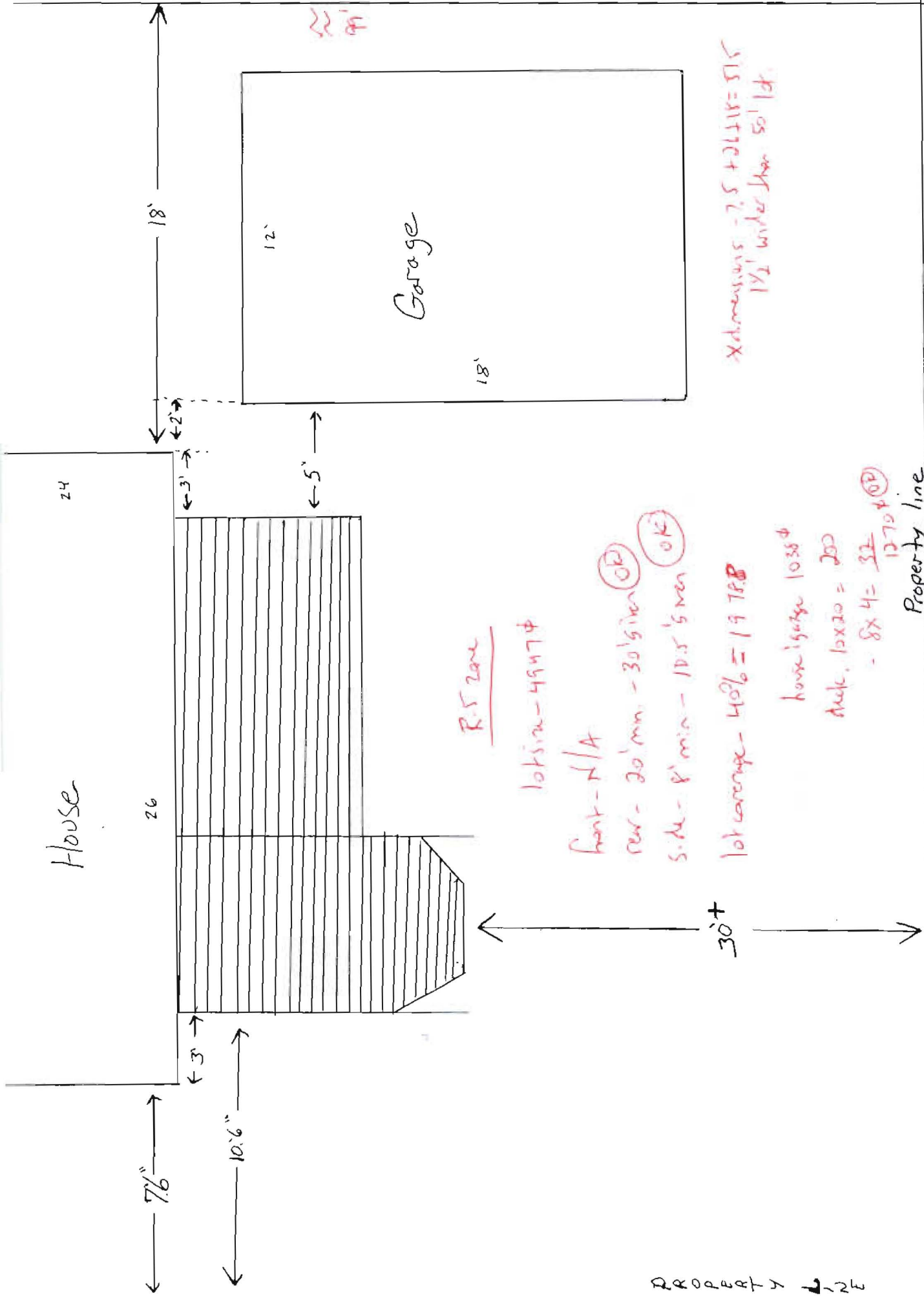
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>[Signature]</u>	Date: <u>4/9/10</u>
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This is not a permit; you may not commence ANY work until the permit is issue



R-5 zone

lot size - 4997 sq ft

front - N/A

rear - 20' min - 30' given **OK**

side - 8' min - 10.5' given **OK**

lot coverage - 40% = 1978 sq ft

house garage 1038 sq ft

deck 10x20 = 200

- 8x4 = 32  
1270 sq ft **OK**

X dimensions - 7.5 + 26 + 18 = 51.5  
1 1/2' wider than 50' lot.

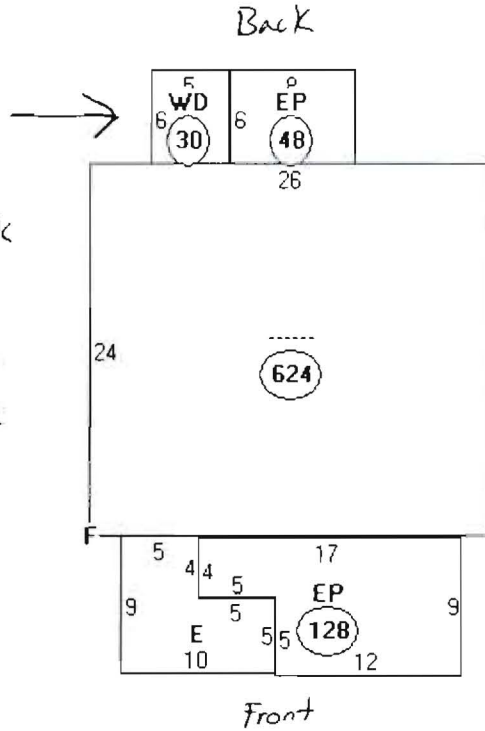
Property line

20 Bede 11 St  
Portland, ME 04103

Chris Esposito  
617-642-3234

50'

- Existing structure to be removed.
- Structure is on cinder block pillars.
- Siding removed from structure will replace siding on house once removed



existing - 624 house  
 128  
 70  


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 822

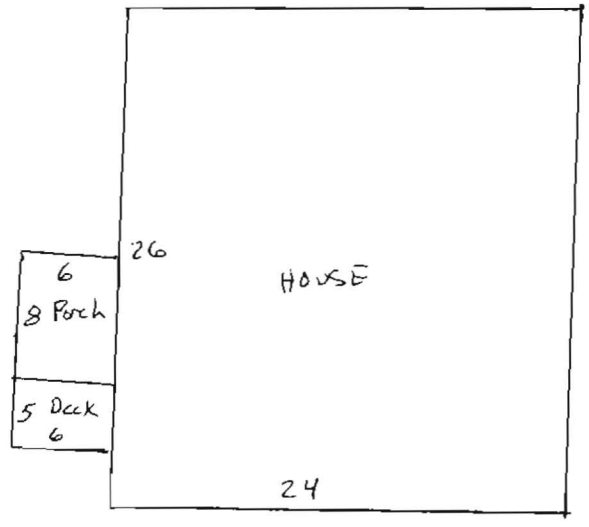
Garage 12x18 = 216  
 1038

Structure to be Removed  
 (PORCH)

20 Bedell St  
 Portland, ME 04103

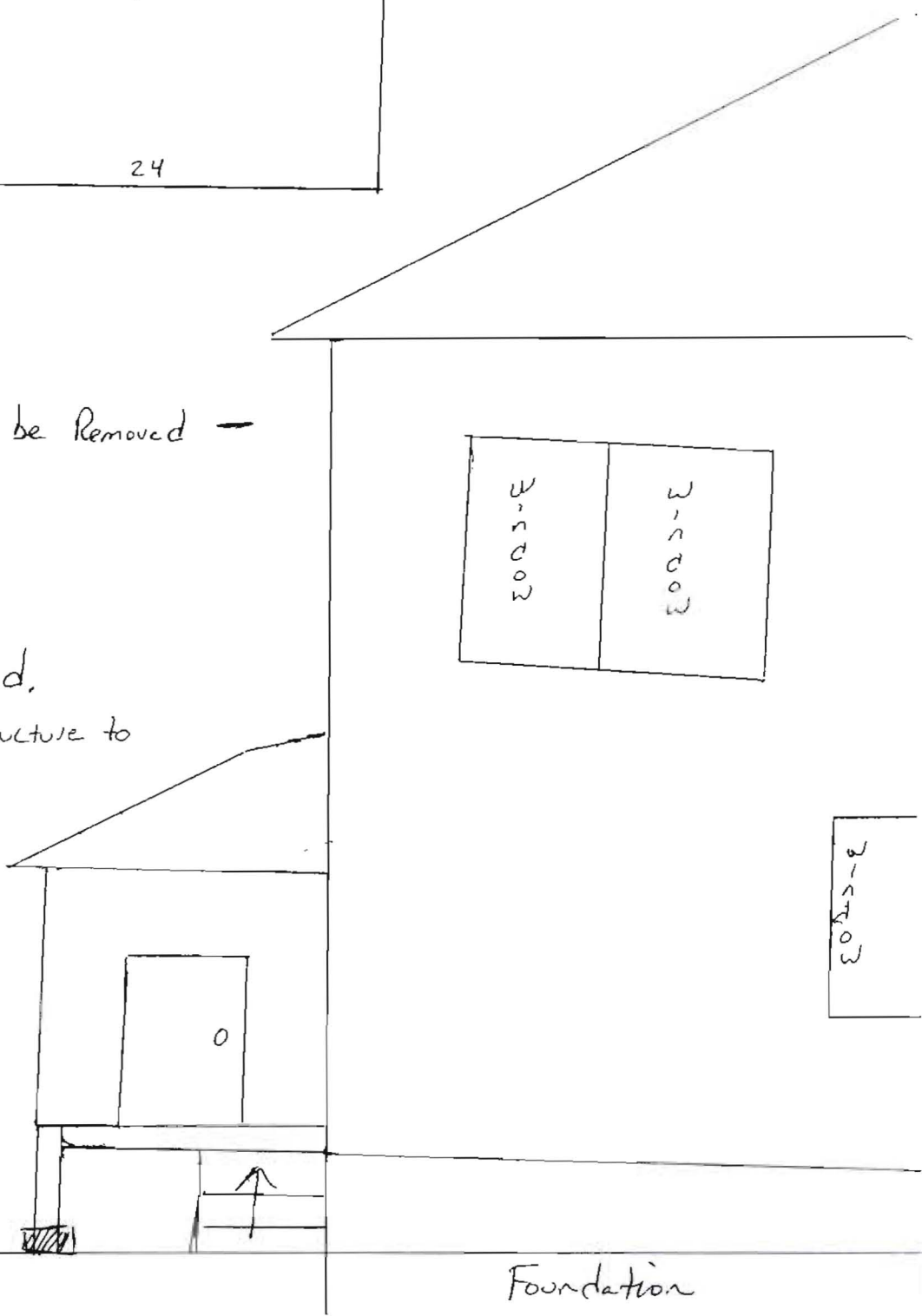
Chris Esposito  
 617-642-3234

20 Bedell St Portland ME 04103  
Chris Esposito 617-642-3234



- Structure to be Removed -

- Structure to be removed,
- Vinyl siding remove from structure to replace siding on house



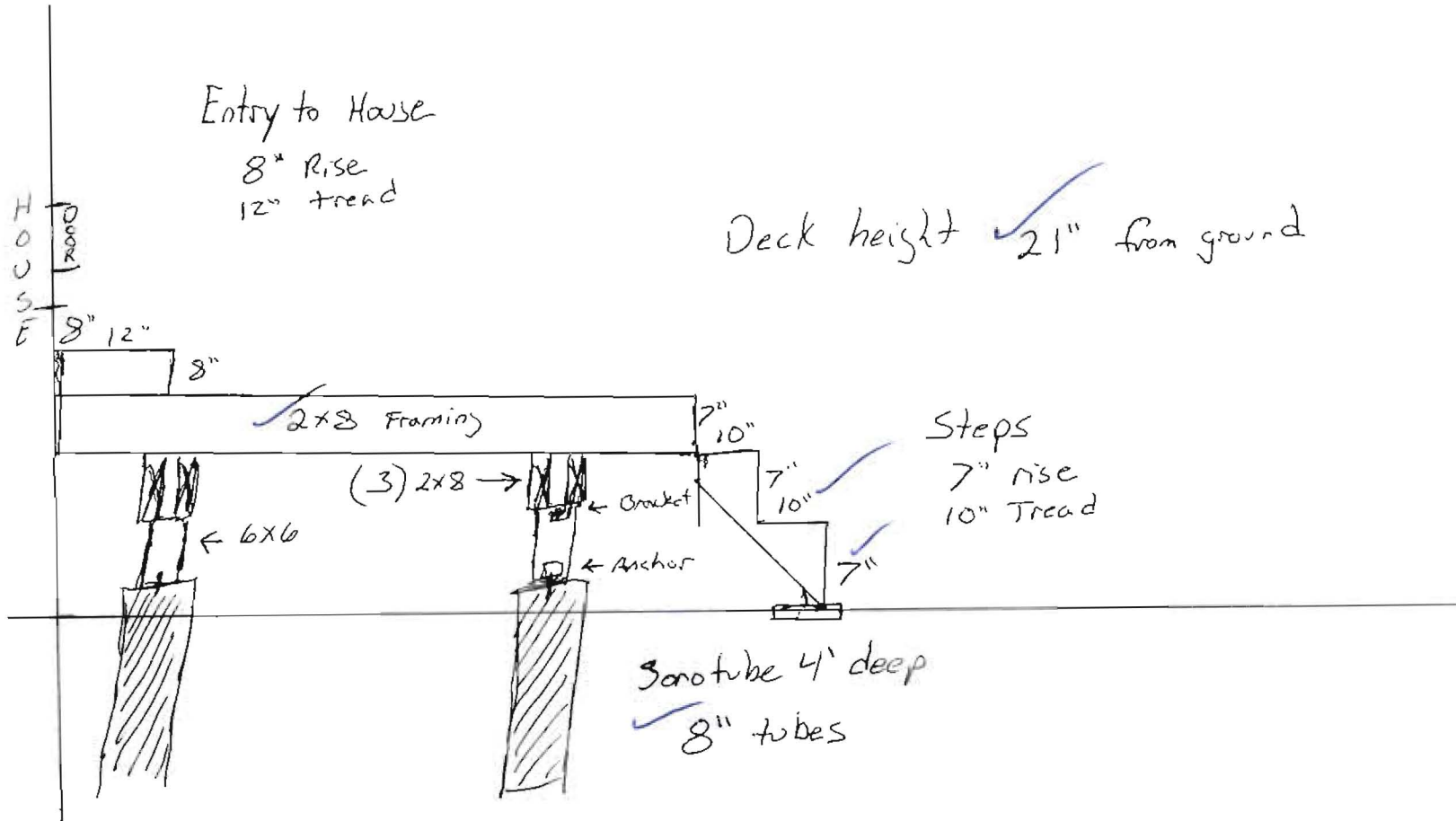
20 Bedell St  
Portland, ME 04103

Chris Esposito  
617-642-3234

\* Materials

2x8 FT

\* Will be a floating Deck to Avoid Damage to Cinder-block Foundation





## DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plan (blank form).

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.
2. Type of foundation system
  - a. Diameter of concrete filled tube 8"
  - b. depth below grade (minimum 4'-0" below grade) 2'
  - c. anchorage of column to footing Simpson Strong tie
  - d. spacing of tubes Please see diagramOr
  - e. pre cast concrete pier size
  - f. depth below grade (minimum 4'-0")
  - g. anchorage of column to footing
  - h. spacing of tubes
3. Columns (members supporting framing of floor system)
  - a. wood size and type 6x6 PT
  - b. anchorage of column to footing Simpson strong tie
4. Framing Members
  - a. Ledger size attached to building Floating Deck
  - b. Lag Bolt size and spacing on ledger N/A
  - c. Location of all flashing N/A
  - d. member size and spans carrying floor system (2) 2x8 PT
  - e. joist size, span, and spacing 2x8 16 OC
  - f. joist hangers on ledger N/A
  - g. Decking size 5/4 PT Decking
5. Guardrails & Handrail Details
  - a. Guardrail height
  - b. Baluster spacing
  - c. Handrail height

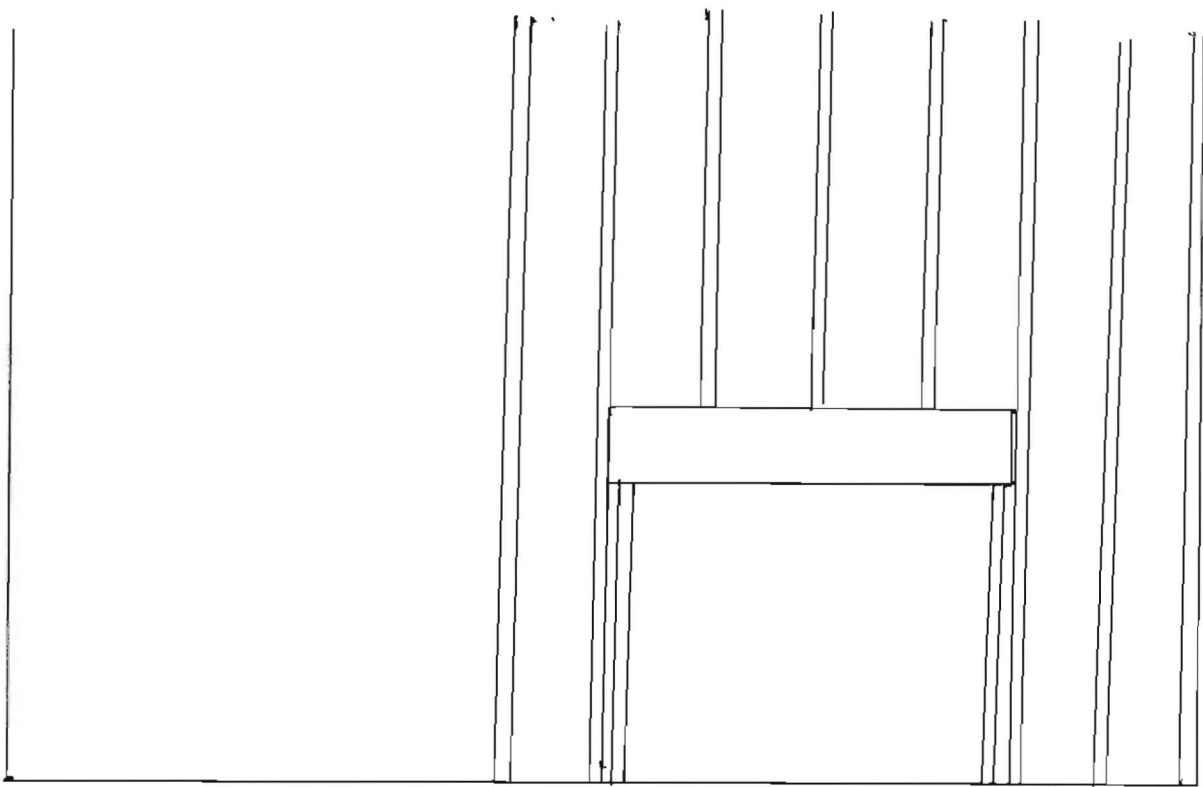
NONE
6. Stair Details
  - a. Tread depth (measured nosing to nosing)
  - b. Riser height
  - c. Nosing on tread
  - d. Width of stairs

Please see Diagram

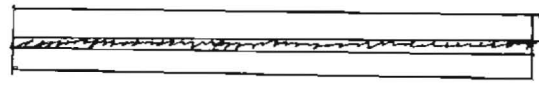
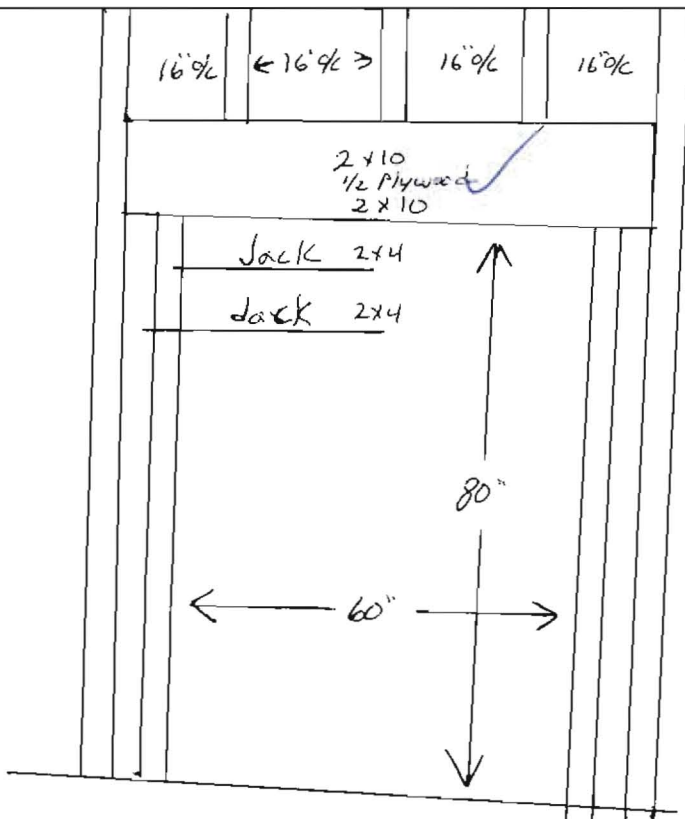
20 Bedell St  
Portland, ME 04103

Chris Esposito  
617-642-3234





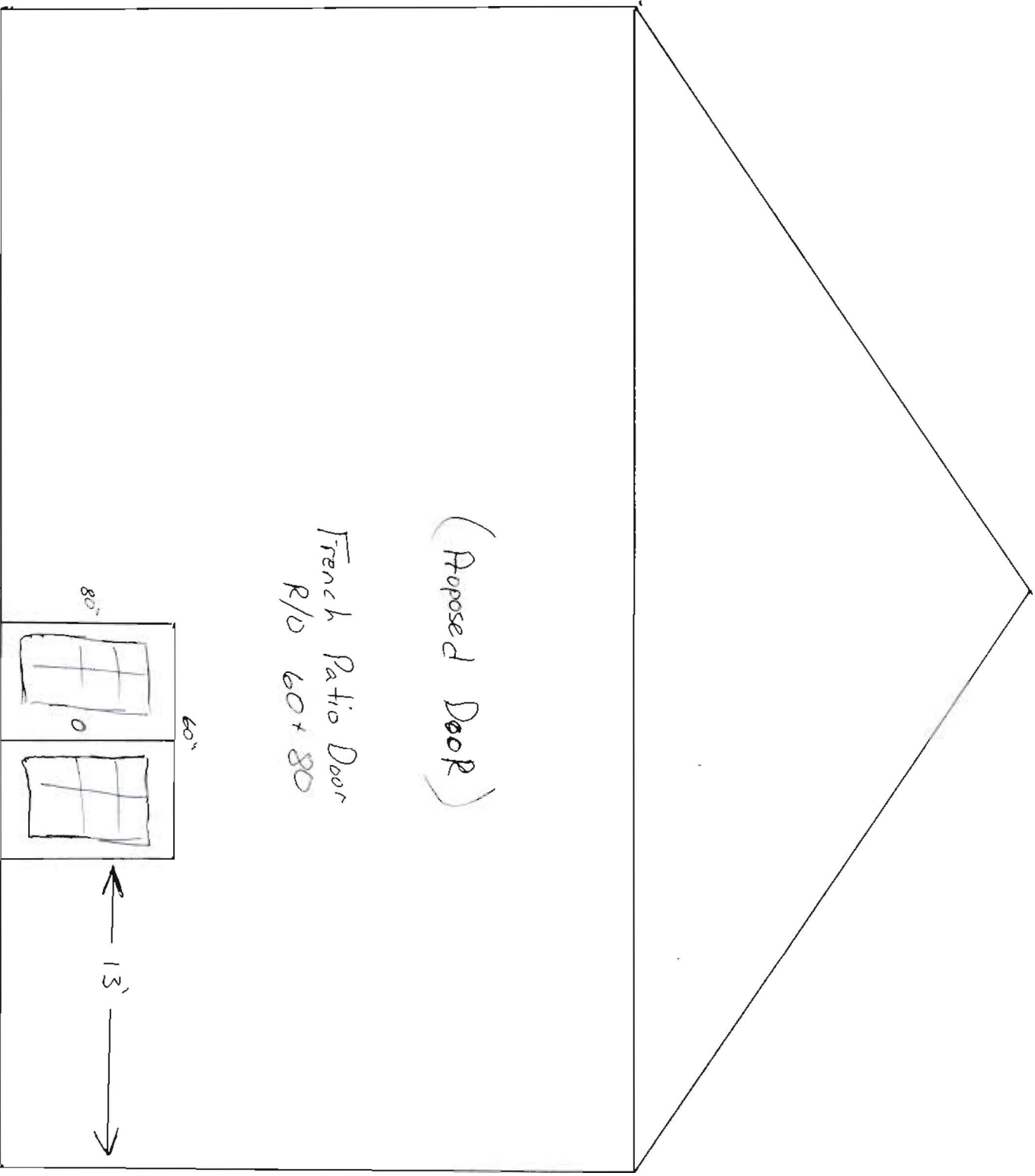
Studs 16" o/c  
 Header 2x10  
 Jacks 2x4



2x10  
 1/2" plywood  
 2x10

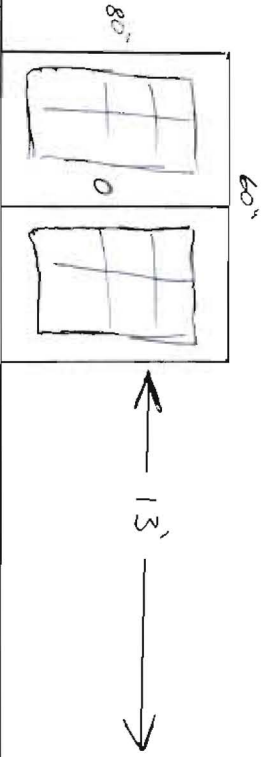
Proposed Door  
 \*Framing

20 Bedell St, Portland ME 04103  
 Chris Esposito 617-642-3234

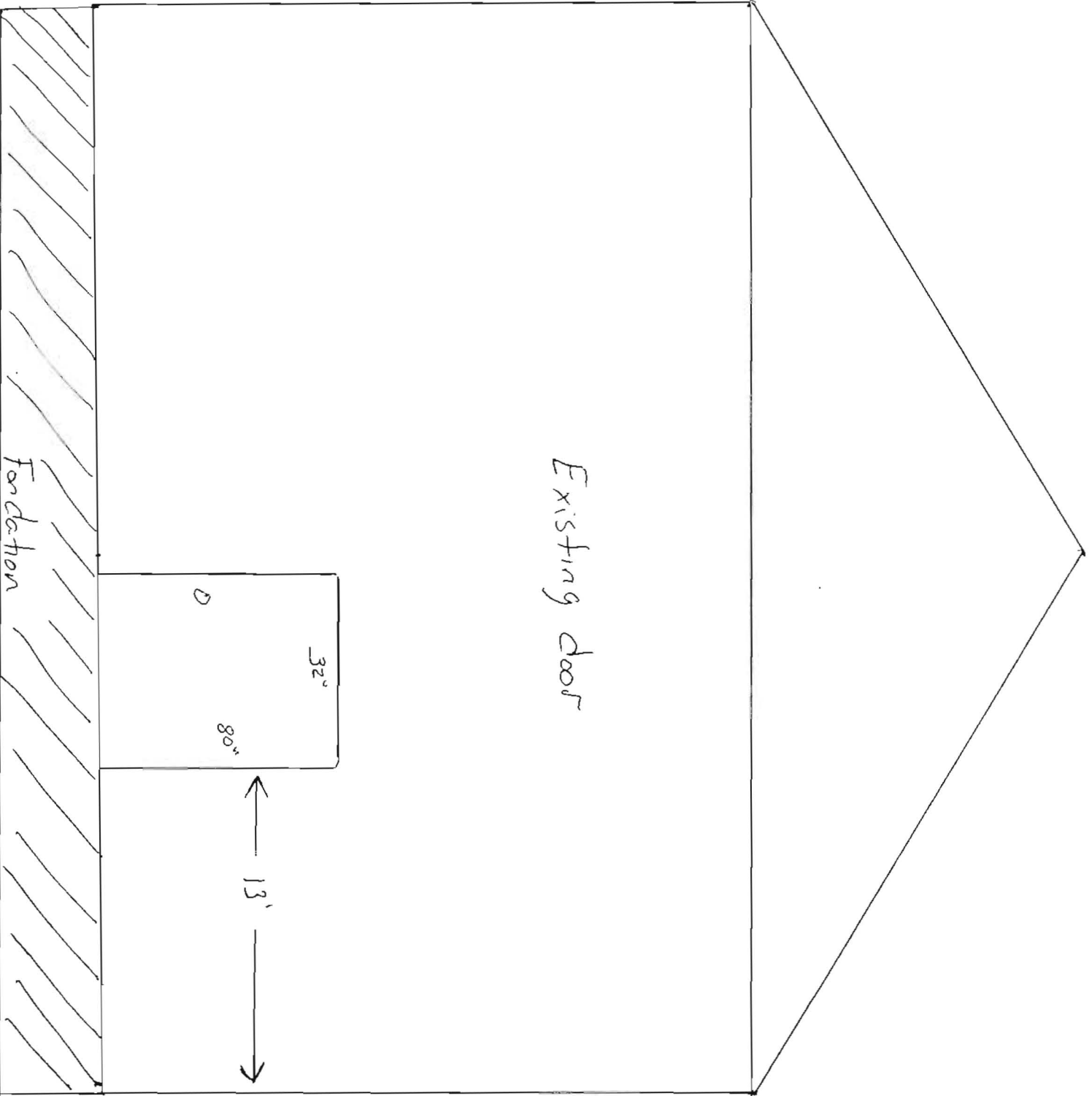


(Proposed Door)

French Patio Door  
R/O 60 x 80



20 Betwell St, Portland ME 04103  
Chris Esposito 617-642-3234



Existing door

Foundation

32"

80"

13'

D

20 Bedell St Portland ME 041103  
Chris Espinoza 617-642-3234