

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
 Permit Number: 051293
SEP 7 2005
CITY OF PORTLAND

This is to certify that Baltes Aaron & /Viking Restoration
 has permission to Amend permit # 05-0469 to add a 8' x 10' building deck and patio door
 AT 25 Newman St City of Portland, OR 97201

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name _____

James Bowke 9/2/05
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

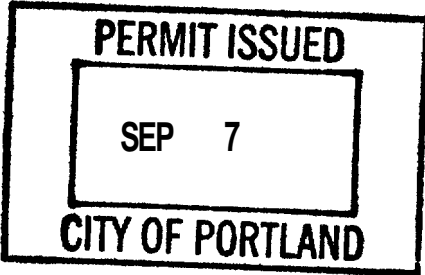
City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1293	Issue Date: 0910812005	CBL: 134 C001001
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Location of Construction: 25 Newman St		Owner Name: Baltes Aaron &		Owner Address: 25 Newman St		Phone: 797-3816	
Business Name:		Contractor Name: Viking Restoration		Contractor Address: 1809 Congress St Portland		Phone: 2078282900	
Lessee/Buyer's Name		Phone:		Permit Type: Amendment to Single Family			Zone: R5
Past Use: Single Family		Proposed Use: Single Family wiamentment to permit # 05-0469 to add a 8' x 15' freestanding deck & 6' patio door		Permit Fee: \$30.00		Cost of Work: \$0.00	
				CEO District: 5			
				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: SB IRC-2003	
Proposed Project Description: Amend permit # 05-0469 to build a 8' x 15' freestanding deck & 6' patio door				Signature		Signature: JMB 9/7/05	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
				Signature:		Date:	

Permit Taken By: jmb	Date Applied For: 09/08/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 9/7/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1293	Date Applied For: 09/08/2005	CBL: 134 C001001
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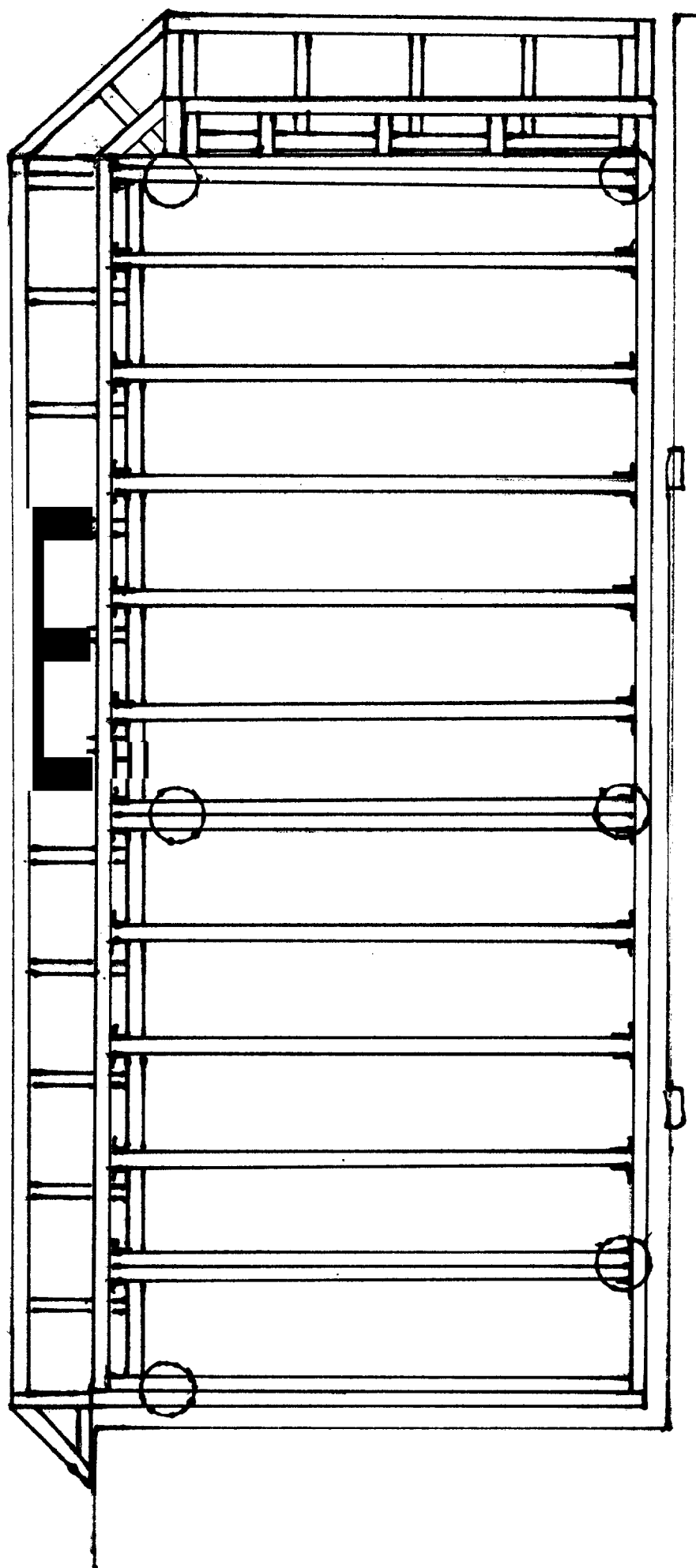
Location of Construction: 25 Newman St	Owner Name: Baltes Aaron &	Owner Address: 25 Newman St	Phone: () 797-3816
Business Name:	Contractor Name: Viking Restoration	Contractor Address: 1809 Congress St Portland	Phone (207) 828-2900
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family wiamendment to permit # 05-0469 to add a 8' x 15' freestanding deck & 6' patio door	Proposed Project Description: Amend permit # 05-0469 to build a 8' x 15' freestanding deck & 6' patio door
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/07/2005
Note: **Ok to Issue:**

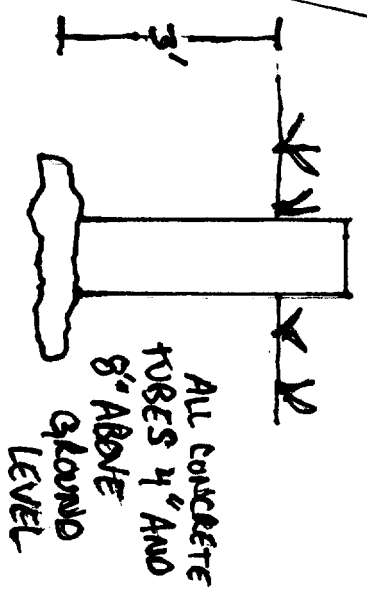
Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/67/2005
Note: **Ok to Issue:**

2x8 deck hangers
2 (2x10") standard w/plywood



ALL DECKING IS 1x6
CEDAR DECKING.
ALL RAILS ARE STAINLESS
STEEL RINGSHANK

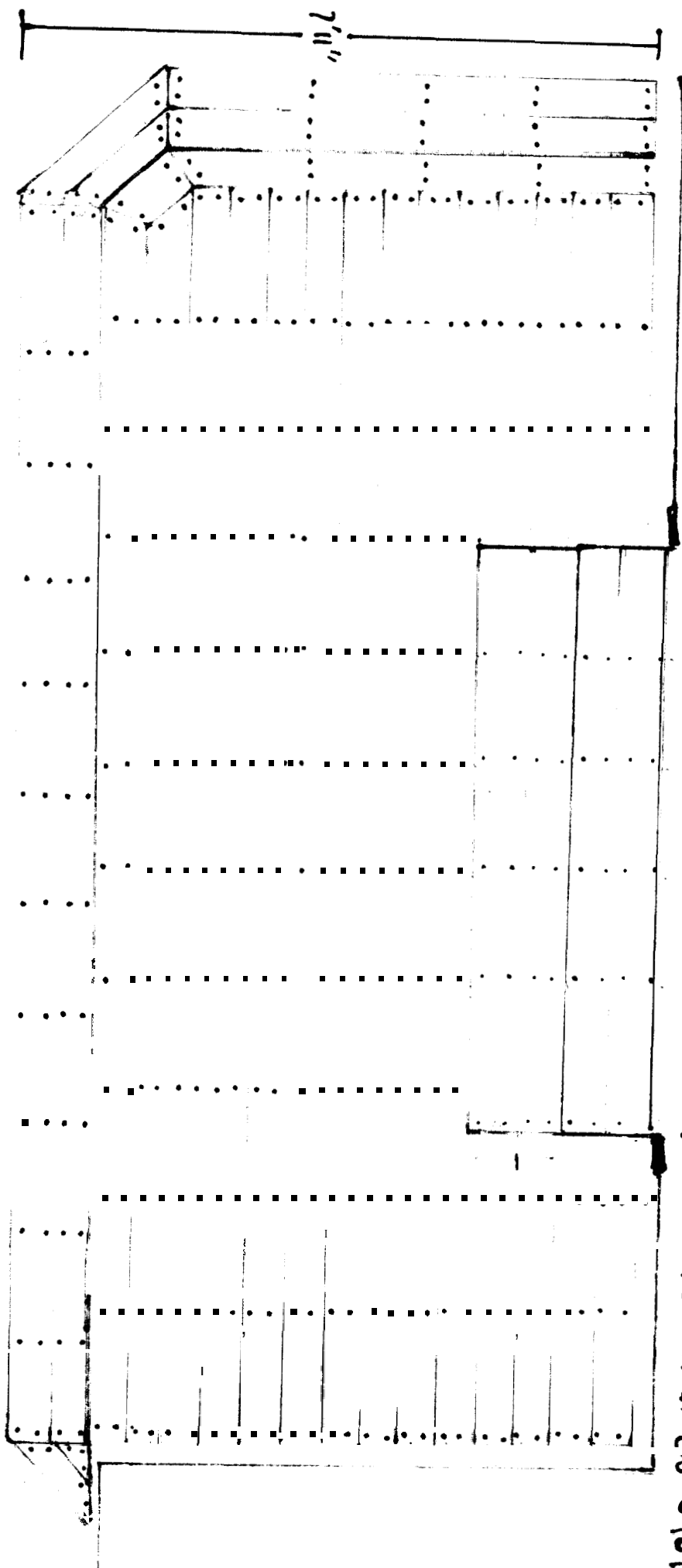
ALL 2x8' TREATED
LUMBER 16" ON CTR
AND SECURED WITH
METAL HANGERS



ALL CONCRETE
POSTS 4" AND
8" ABOVE
GROUND
LEVEL

25 NEWMAN ST., PORTLAND MAINE BATES RESIDENCE

ADDENDUM T)
PERMIT # 15-0469

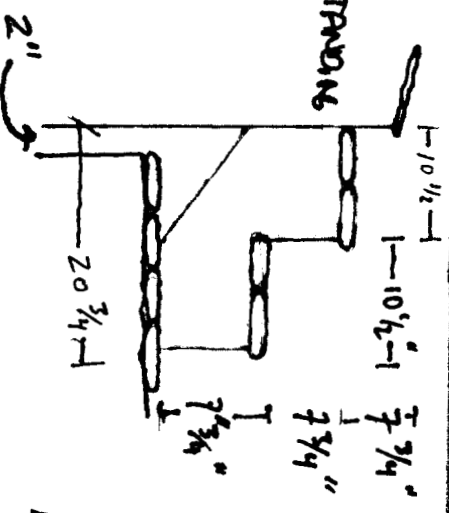


15'

6' 10 3/4"

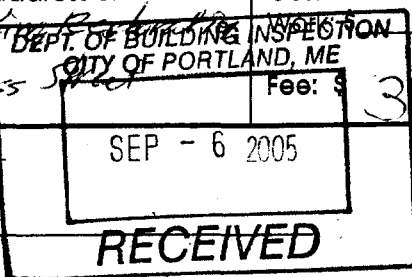
7 1/2"

* DECK IS FREE STANDING FROM HOUSE.



ALL STEPS CURRENTLY HAVE A 10 1/2" STEP AND A 7 3/4" RISE

FIRST RISE FROM GROUND WRAPT WITH FLASHING

Total Square Footage of Proposed Structure <i>120</i>		Square Footage of Lot <i>5000</i>	
Tax Assessor's Chart, Block & Lot Chart# <i>34</i> Block# <i>C</i> Lot# <i>001</i>		Owner: <i>Aaron + Kathy Baltus</i>	Telephone: <i>797-3816</i>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <i>Viking Restoration 1817 Congress Street</i>	Cost Of DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME Fee: \$ <i>30.00</i>	
Current use: <i>Single Family Room</i>	If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____	Proposed use: <i>Amend to permit # 05-0466 - to add 8x15 deck</i>		
Project description: _____			
Contractor's name, address & telephone: <i>Viking Restoration 1817 Congress Portland</i>			
Who should we contact when the permit is ready: <i>Tony Christensen</i>			
Mailing address: _____			
We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <i>835-2900</i>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Christensen</i>	Date: <i>9-6-05</i>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 2840 PAGE 71 COUNTY Cumberland
 PLAN BOOK 15 PAGE 23 LOT 11

ADDRESS: 25 Newman Street, Portland, Maine

Job Number:

Buyers: Aaron & Katherine Baltes

Inspection Date: 4-22-04

Scale:

Sellers: Marie Hurley

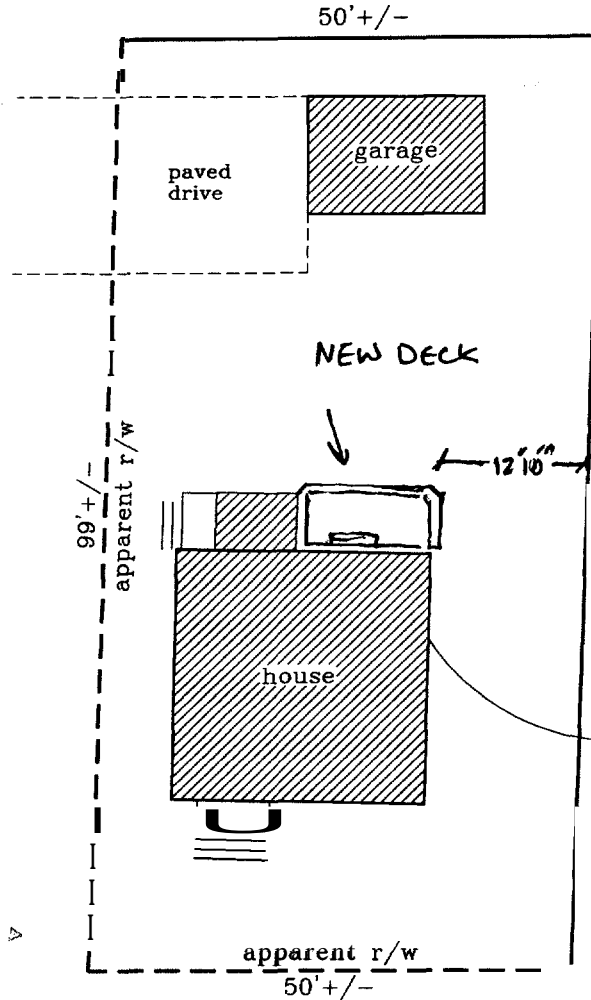
Client File#: 24-0738zc 909544

RS Zone
 Rear 20'
 Side 8'

Hyde Street

5000
 X .40

 2000 SF



1 3/4 story wood structure w/
 concrete block foundation

Note:
 Lines of occupation
 are shown.
 A boundary survey
 may yield different
 results.

Newman Street

to Brentwood St.

I HEREBY CERTIFY TO: Guaranty Title Co.; Price Financial

Services and its title insurer.

Monuments found did not conflict with the deed description.

The **dwelling** setbacks do not violate town zoning requirements

As delineated on the Federal Emergency Management Agency Community Panel: 230051-0007 C

The structure does not fall within the special flood hazard zone.

The land **does** not fall within the special flood hazard zone.

A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

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Livingston - Hughes

Professional Land Surveyors

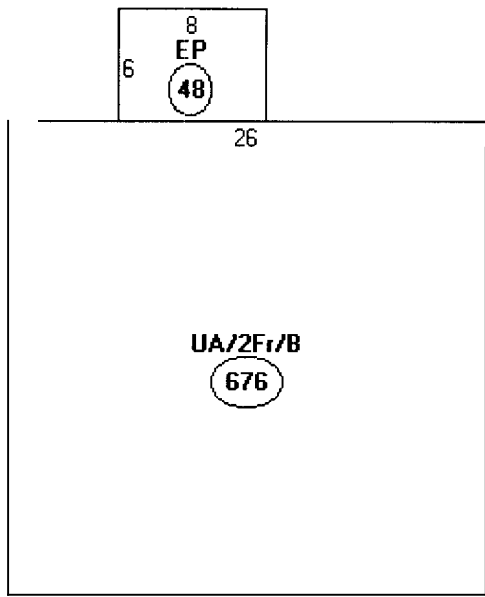
88 Guinea Road

Kennebunkport - Maine 04046

207-967-9761 phone

207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY



Descriptor/Area

A:UA/2Fr/B
676 sqft

E:EP
48 sqft

> 724

216 garage

~~940~~

120 deck

~~1060~~

200 SF allowed

OK