

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070109

**PERMIT ISSUED**

JUL 30 2007

CITY OF PORTLAND

This is to certify that CITY OF PORTLAND /City of Portland Public Works Construction

as permission to Demolish old 31' x 107' Store building replace with 31' x 107' Building in same footprint

AT 0 EVERGREEN CEMETARY L 134 A001001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or enclosed-in 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. Craig Carr  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0109	Issue Date:	CBL: 134 A001001
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Location of Construction: 0 EVERGREEN CEMETARY	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: City of Portland Public Works Const	Contractor Address: 389 Congress Street Portland	Phone 2077978531
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: ROS

Past Use: Cemetary Storage Building	Proposed Use: Cemetary Storage Building - Demolish old 31' x 10 <sup>5</sup> Storage building replace with 31' x 10 <sup>5</sup> Building in same footprint	Permit Fee: \$1,620.00	Cost of Work: \$160,000.00	CEO District: 5
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Proposed Project Description: Demolish old 31' x 10 <sup>5</sup> Storage building replace with 31' x 10 <sup>5</sup> Building in same footprint	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>NO highly hazardous contents</i>	INSPECTION: Use Group: <i>5-2</i> Type: <i>2B</i>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 01/31/2007
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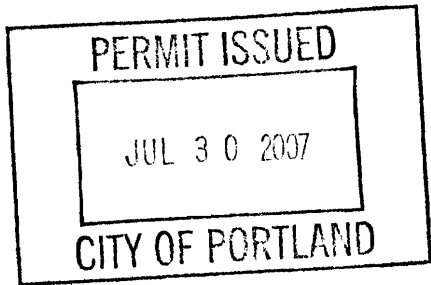
**Zoning Approval**

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland <i>N/A</i>
<input type="checkbox"/> Wetland
<input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i>
<input type="checkbox"/> Subdivision
<input type="checkbox"/> Site Plan <i>Requires A site plan review</i>
Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/>
Date: <i>5/31/07</i>

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date:

Historic Preservation
<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied <i>to DA 1/31/07</i>
Date: <i>D. Anderson 2/26/07</i>



*site plan exempt for replacement  
of non-conforming bldg on same footprint  
2-27-07 - Barbara Berhndt*

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

284-2251



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Stevens Ave.</u>		
Total Square Footage of Proposed Structure <u>31-105</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Owner: <u>City of Portland</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>n/a</u>	Applicant name, address & telephone: <u>Hardypond Construction</u> <u>1039 Riverside St</u> <u>797-6000</u>	Cost Of Work: \$ _____ Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>n/a</u> Proposed Specific use: <u>garage</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>5 bay garage, pre-fabricated metal building</u>		
Contractor's name, address & telephone: <u>Hardypond Construction</u>		
Who should we contact when the permit is ready: <u>Daphne Millay</u>		
Mailing address: <u>1039 Riverside Street #11</u> <u>Portland ME 04103</u>		
Phone: <u>318-7517</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>D. Millay</u>	Date: <u>6-18-07</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0109	Date Applied For: 01/31/2007	CBL: 134 A001001
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Location of Construction: 0 EVERGREEN CEMETARY	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST	Phone:
Business Name:	Contractor Name: City of Portland Public Works Const	Contractor Address: 389 Congress Street Portland	Phone (207) 797-8531
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Cemetery Storage Building - Demolish old 31' x 105' Storage building replace with 31' x 105' Building in same footprint	Proposed Project Description: Demolish old 31' x 105' Storage building replace with 31' x 105' Building in same footprint
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**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 02/26/2007**Note:** **Ok to Issue:** 

1) \* Metal siding to be dark green, matte finish. The entire facade should be a single color; no contrasting trim color. The intent is to make the structure as recessive as possible and make it relate to other storage structures immediately adjacent to it.

\* Applicant to confirm need for exterior light fixtures above garage doors. If absolutely needed, an alternative fixture should be proposed. The fixture should be as recessive as possible and be a cut-off type.

\* Roofing to be simple three-tab roofing in dark charcoal.

\*

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 01/31/2007**Note:** **Ok to Issue:** 

1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

2) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.

3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

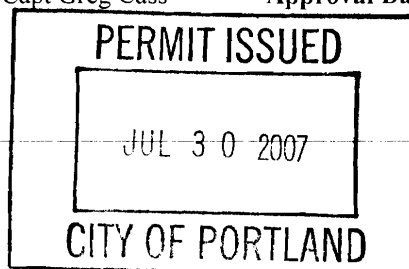
**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 07/30/2007**Note:** **Ok to Issue:** 

1) 1) A full special inspection program pursuant to section 1704 must occur during this project. A statement of special inspections must be reviewed and approved prior to the issuance of this permit.

2) 2) Because likelihood of development on the adjacent parcel is remote, the applicant is not required to rate the exterior wall immediately adjacent to the UNE as the nearest building is over 20' away. The fire separation distance is measured to an imaginary line halfway between the two buildings. Because it is slightly over 10 feet and type 2B (non-combustible) construction, no rating is required (see table 602 IBC2003) there are no openings on that side of the structure. If the abutting parcel is developed in such a way that decreases this distance, the City/Owner is required to rate that exterior wall in compliance with table 602.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 07/17/2007**Note:** **Ok to Issue:** 

1) No high hazard contents storage limited to ordinary hazard contents only.



<b>Location of Construction:</b> 0 EVERGREEN CEMETARY	<b>Owner Name:</b> CITY OF PORTLAND	<b>Owner Address:</b> 389 CONGRESS ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> City of Portland Public Works Const	<b>Contractor Address:</b> 389 Congress Street Portland	<b>Phone</b> (207) 797-8531
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	

**Comments:**

1/31/2007-mes: talked to Barbara - this requires a minor site plan review - also in Historic Overlay Zone & requires review. I also called Bob Leman and let him know about the site plan and Historic review. Reminded him NOT to demo until the permit is issued and he has called out the Code Enforcement Officer to locate the existing bldg. WAIT FOR SITE PLAN REVIEW SIGN OFF BEFORE ISSUING.

2/27/2007-gg: received granted site expmption as of 2/27/07. /gg Put in the commercial basket next to Jeanie.

4/4/2007-ldobson: 2)070109 Evergreen Cemetary  
Need plans etc.

7/18/2007-jmb: On hold waiting for SI statement as noted in the conditons in the review and approvals from MJN



# Certificate of Design Application

From Designer: Tooraj Rokni  
 Date: June 7, 2007  
 Job Name: Evergreen Cemetary KBS Job #532940  
 Address of Construction: Portland, ME

**2003 International Building Code**  
 Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) II  
 Type of Construction Metal Building new  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC no  
 Is the Structure mixed use? no If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Supervisory alarm System? no Geotechnical/Soils report: required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.1.1, 1607)

Floor Area Use	Loads Shown

### Wind loads (1603.1.4, 1609)

	Design option utilized (1609.1.1, 1609.5)
<u>95</u>	Basic wind speed (1609.2)
<u>1.0</u>	Building category and wind importance Factor, table 1604.5, 1609.5
<u>C</u>	Wind exposure category (1609.4)
<u>1.28</u>	Internal pressure coefficient (ASCE 7)
<u>0.38</u>	Component and cladding pressures (1609.1.1, 1609.6.2.2)
<u>0.38</u>	Main force wind pressure (1609.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

	Design option utilized (1614.1)
<u>C</u>	Seismic use group ("Category")
<u>0.37, 0.157</u>	Spectral response coefficients, $S_D$ & $S_{D1}$ (1615.1)
<u>D</u>	Site class (1615.1.5)

<u>20</u>	Live load reduction
<u>20</u>	Roof live loads (1603.1.2, 1607.11)
<u>58.8</u>	Roof snow loads (1602.7.1, 1606)
<u>70</u>	Ground snow load, $P_g$ (1604.5)
<u>58.8</u>	If $P_g > 10$ psf, flat-roof snow load $P_f$
<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, $C_e$
<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, $I_s$
<u>1.2</u>	Roof thermal factor, $C_t$ (1608.4)
<u>58.8</u>	Sloped roof snowload, $P_s$ (1608.4)
<u>I</u>	Seismic design category (1616.3)
	Basic seismic force resisting system (1617.4.2)
<u>3.0</u>	Response modification coefficient, $R$ , and deflection amplification factor, $C_d$ (1617.6.2)
	Analysis procedure (1616.6, 1617.5)
<u>11.2</u>	Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)  
 Elevation of structure

### Other loads

Concentrated loads (1607.4)  
 Partition loads (1607.5)  
 Misc loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



# New Commercial Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## One (1) complete Set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details *see WTC*
- n/a  Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Foundation plans with rebar specifications and required drainage and damp proofing (if applicable)
- n/a  Detail egress requirements and fire separations
- n/a  Insulation R-factors of walls, ceilings, floors and U-factors of windows as per the IECC 2003
- n/a  Complete the Accessibility Certificate and The Certificate of Design
- A statement of special inspections as required per the IBC 2003 ←
- n/a  Complete electrical and plumbing layout.
- n/a  Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review.
- n/a  Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- n/a  Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal & external plumbing, HVAC and electrical installations.

## Nine (9) copies of the minor (< 10,000 sf) or major (> 10,000 sf) site plan application is required that includes:

- A stamped boundary survey to scale showing north arrow, zoning district and setbacks to a scale of  $\geq 1" = 20'$  on paper  $\geq 11" \times 17"$
- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Photocopies of the plat or hand draw footprints not to scale will not be accepted.
- Location and dimensions of parking areas and driveways, street spaces and building frontage
- Finish floor or sill elevation (based on mean sea level datum)
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Existing and proposed grade contours
- Silt fence (erosion control) locations

## **Fire Department requirements.**

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**





# Accessibility Building Code Certificate

**Designer:** \_\_\_\_\_

**Address of Project:** \_\_\_\_\_

**Nature of Project:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

**Signature:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Firm:** \_\_\_\_\_

**Address:** \_\_\_\_\_

\_\_\_\_\_

**Phone:** \_\_\_\_\_

**(SEAL)**

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

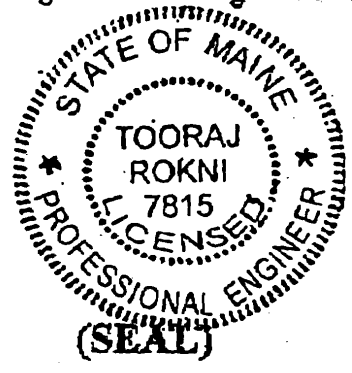
Date: June 7, 2007

From: Tooraj Rokni

These plans and / or specifications covering construction work on:

Evergreen Cemetary

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Tooraj Rokni

Title: Senior Design Engineer

Firm: Kirby Building Systems

Address: 124 Kirby Drive

Portland, TN 37148

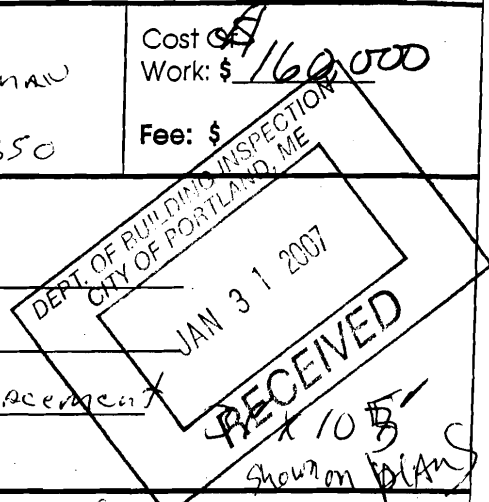
Phone: (615) 325-4165

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>672 Stevens Ave Portland</u>		
Total Square Footage of Proposed Structure <u>3300 Square Feet</u> <del>3500</del>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>134</u> Block# <u>A</u> Lot# <u>1</u>	Owner: <u>City of Portland</u> <u>Bob Leeman</u>	Telephone: <u>233-0350</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Bob Leeman</u> <u>City of Portland</u> <u>233-0350</u>	Cost of Work: \$ <u>160,000</u> Fee: \$
Current use: <u>Cemetery Storage Building</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Same, Building Replacement</u>		
Project description: _____		
Contractor's name, address & telephone: <u>Bob Leeman, City of Portland</u> <u>233-0350</u>		
Who should we contact when the permit is ready: <u>Bob Leeman</u>		
Mailing address: <u>City of Portland</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>233-0350</u>		



**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant:	Date: <u>1/31/07</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
**If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**



**Maine Department of Environmental Protection  
Lead & Asbestos Hazard Prevention Program**

17 State House Station, Augusta, Me 04333-0017

Tel: (207) 287-2651 Fax: (207) 287-7826



**Building Demolition Notification Form (BDNF)**

**Important Notice: Maine law requires the filing of this "Building Demolition Notification Form" prior to demolition of any building except a single-family home**

1) **Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition.** This notification is **not** required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also **not** required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. **Demolition** means the tearing down or intentional burning of a building or part of a building.

2) **Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building.** An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

3) **Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the Maine Asbestos Management Regulations by a DEP-licensed Asbestos Abatement Contractor.** This includes materials presumed to be ACM. Check [www.state.me.us/dep/rwm/asbestos/index.htm](http://www.state.me.us/dep/rwm/asbestos/index.htm) for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that **municipalities** have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were asbestos-containing materials found?  yes  no  no inspection or survey required (post-1980 2-4 unit)

property address: 672 Stevens Ave Portland MAINE	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other: GARAGE, WOOD FRAME, WOOD SIDING	Asphalt Roof  D.I.T Floor No utilities
asbestos survey performed by: (name & address) N/A Due To Building Materials	asbestos inspection performed by: (name of licensed Asbestos Consultant)	
telephone: property owner: (name & address) City of Portland Bob Leeman	telephone: demolition contractor: (name & address) City of Portland Bob Leeman	
telephone: 233-0350	telephone: 233-0350	
demolition start date: March 1, 2007	demolition end date: April 1 2007	

Notification Submitted by: (please print)

1/31/07  
Date Submitted

**Help save Maine fisheries – Remove and recycle mercury thermostats and fluorescent lamps from your building prior to demolition!**



# APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant

Application Date

Applicant's Mailing Address

Project Name/Description

Consultant/Agent/Phone Number

Address of Proposed Site

CBL: \_\_\_\_\_

Description of Proposed Development:

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment  
(Yes, No, N/A)

Planning Office  
Use Only

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓

Planning Division Use Only

Exemption Granted

Partial Exemption

Exemption Denied



13107



# HARDYPOND CONSTRUCTION

1039 RIVERSIDE STREET, PORTLAND, ME 04103

TEL: (207) 797-6066

FAX: (207) 797-8986

EMAIL: info@hardypond.com

## Jeanie

### FAX INFORMATION AND INSTRUCTION SHEET

Name of Individual: MIKE Nugent / Tom Markley

Name of Firm: City of Portland

Fax Number: 874-8716 Date Transmitted: 7-20-07  
**7:30**

From: Daphne Mulla

Reference: Evergreen Cemetery: Special Inspections

Total Pages (including cover) 9  
*you do not receive all pages, please call back as soon as possible*

Comments: Please find Special Inspections attached

- General Contractor
- Specializing in
- Commercial Construction,
- Custom Residential,
- Tenant Fit-ups, Design
- Build, and Construction
- Management.
- Current Projects
- Mina Office Building
- 10-12 City Center
- Portland, ME
- 32-Unit Condos
- Shawnee Peak Ski Area
- 199 Main St. Saco
- Historical Bldg Renovation
- 10,000 sf office & retail
- New Suncook Elementary
- Lovell, ME
- Controlled Humidity Preservation
- Project, Auburn ME
- Evergreen Cemetery
- 5 Bay Maintenance Facility
- Portland, ME
- Salvation Army Pavilion
- Renovations
- Old Orchard Beach, ME

Jeanie,

Mike has this said  
 we were all set with  
 building permit. Please  
 call up questions  
 Thanks - Daphne

CONFIDENTIALITY NOTICE: This communication and any accompanying documents are confidential, proprietary, and/or legally privileged information from Hardypond Construction. They are intended for the sole use of the addressee. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, or distribution of confidential, proprietary, or legally privileged information is strictly prohibited. If you have received this fax in error, please contact our office at 207.797.8066 and immediately discard all copies of this communication. Thank you. Hardypond Construction

cc: SW Cole

OFFICE OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 JUL 30 2007  
 RECEIVED

**L & L STRUCTURAL**  
**ENGINEERING SERVICES, INC.**  
 Six Q Street  
 South Portland, ME 04106  
 Phone: (207) 767-4830  
 Fax: (207) 799-5432

July 19, 2007

Daphnie Millay  
 Hardy Pond Construction  
 1039 Riverside Street - Suite 11  
 Portland, Maine 04103

Subject: Evergreen Cemetary - Portland, Maine.

Dear Ms. Millay,

Attached is the information required to apply for a building permit. Please review its contents and comment if necessary. Note that some additional items are required to be filled out by your office.

Sincerely,

L & L Structural Engineering Services, Inc.



Mark F. Leasure, P.E.  
 Principal





05-23-'07 20:09 FROM-



# Certificate of Design Application

Professional Designer: Teeraj Rekni  
 Date: June 7, 2007  
 Job Name: Evergreen Cemetary KBS Job #532940  
 Address of Construction: Portland, ME

**2003 International Building Code**  
 Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) II

Type of Construction \_\_\_\_\_

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC \_\_\_\_\_

Is the Structure mixed use? \_\_\_\_\_ If yes, separated or non-separated or non-separated (section 302.5) \_\_\_\_\_

Supervisory alarm System? \_\_\_\_\_ Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

Submitted for all structural members (1001 - 1001.1)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.1.1, 1607)

Minor Area Use

Loads Storage


### Wind Loads (1603.1.4, 1609)

Design option utilized (1602.1.1, 1609.4)

95 Basic wind speed (1609.3)

1.0 Building category and wind importance Factor,  $I_w$  (1604.5, 1609.5)

C Wind exposure category (1609.4)

1.28 Internal pressure coefficient (ASCE 7)

0.38 Component and cladding pressure (1609.1.1, 1609.6.2.2)

0.38 Main frame wind pressure (1609.1.1, 1609.6.2.2)

### Earth design data (1603.1.5, 1614-1625)

Design option utilized (1614.1)

C Seismic use group ("Category")

0.37, 0.157 Spectral response coefficients,  $S_{DS}$  &  $S_{D1}$  (1615.7)

D Site class (1615.1.5)

<u>20</u>	Live load reduction
<u>20</u>	Roof live loads (1603.1.2, 1607.17)
<u>58.8</u>	Roof snow loads (1603.7.3, 1608)
<u>70</u>	Ground snow load, $S_g$ (1602.5)
<u>58.8</u>	If $S_g > 10$ psf, flat-roof snow load $S_f$
<u>1.0</u>	If $S_g > 10$ psf, snow exposure factor, $C_e$
<u>1.0</u>	If $S_g > 10$ psf, snow load importance factor, $I_s$
<u>1.2</u>	Roof thermal factor, $C_t$ (1608.4)
<u>58.8</u>	Sloped roof snow load, $S_r$ (1608.4)
<u>I</u>	Seismic design category (1601.6.3)
<u>3.0</u>	Basic seismic force resisting system (1617.4.2)
<u>3.0</u>	Response modification coefficient, $R$ and reduction amplification factor, $C_d$ (1617.4.3)
	Analysis procedure (1616.1, 1617.5)
<u>11.2</u>	Design base shear (1617.4, 1617.5.1)
<b>Flood loads (1603.1.6, 1612)</b>	
	Flood Hazard area (1612.3)
	Elevation of structure
<b>Other loads</b>	
	Concentrated loads (1607.4)
	Partition loads (1607.5)
	Misc. loads (Table 1607.8, 1607.5.1, 1607.7, 1607.12, 1607.23, 1610, 1611, 2404)

**STATEMENT OF SPECIAL INSPECTIONS**

**PROJECT:** Evergreen Cemetary  
**LOCATION:** Portland  
**PERMIT APPLICANT:** Hardy Pond Construction  
**APPLICANTS ADDRESS:** 1039 Riverside Street- Portland, Maine 04103

**STRUCTURAL ENGINEER OF RECORD:** Mark F. Leasure, P.E. L&L Structural Engineering Services, Inc.  
*Name Firm*

**ARCHITECT OF RECORD:** N/A N/A  
*Name Firm*

This Statement of Special Inspections is submitted in accordance with **CHAPTER 17** of the 2003 International Building Code (IBC 2003). It includes a listing of special inspections applicable to this project, as well as, the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.

The special inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Code Official and to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected the discrepancies shall be brought to the attention of the Code Official and the Registered Design Professional of Record. Interim reports shall be submitted to the Code Official and Registered Design Professional of Record monthly, unless more frequent submissions are requested by the Code Official.

Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed. The special inspections on this project shall be provided by: S. W. Cole Engineering (Agent #1).

Prepared BY:

Mark F. Leasure, P.E.  
*NAME*  
Mark F Leasure 7-19-07  
*SIGNATURE DATE*



Applicant's Authorization:

Building Code Official:

\_\_\_\_\_  
*SIGNATURE DATE*

\_\_\_\_\_  
*SIGNATURE DATE*

**Schedule of Inspection and Testing Agencies**

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations  | <input type="checkbox"/> Spray Fire Resistant Material         |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Wood Construction                     |
| <input type="checkbox"/> Precast Concrete                  | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry                           | <input type="checkbox"/> Mechanical & Electrical Systems       |
| <input checked="" type="checkbox"/> Structural Steel       | <input type="checkbox"/> Architectural Systems                 |
| <input type="checkbox"/> Cold-Formed Steel Framing         | <input type="checkbox"/> Special Cases                         |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Special Inspection Coordinator	<i>L&amp;L Structural Engineering Services, Inc.</i>	<i>Six Q Street South Portland, Maine 04106 Tel: (207) 767-4830 Fax: (207) 799-5432</i>
2. Inspector #1	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, Maine 04039-9586 Tel: (207) 657-2886 Fax (207) 657-2840</i>
3. Inspector #2		<i>TBA</i>
4. Testing Agency #1	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, Maine 04039-9586 Tel: (207) 657-2886 Fax (207) 657-2840</i>
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

**Quality Assurance Plan**

---

**Quality Assurance for Seismic Resistance**

Seismic Design Category	<i>C / Site Class 'D'</i>
Quality Assurance Plan Required (Y/N)	<i>Y</i>

Description of seismic force resisting system and designated seismic systems:  
*The Seismic resisting system consists of braced frames as supplied by the building Manufacturer.*

**Quality Assurance for Wind Requirements**

Basic Wind Speed (3 second gust)	<i>95 mph</i>
Wind Exposure Category	<i>C</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

Description of wind force resisting system and designated wind resisting components:  
*The Wind resisting system consists of braced frames as supplied by the building Manufacturer. The Quality assurance plan is not required per IBC 2003, 1706.1.1. paragraph 1.*

**Statement of Responsibility**

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility.

### Qualifications of Inspectors and Testing Technicians

---

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

#### Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

#### American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

#### American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

#### American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

#### International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

#### National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

**SCHEDULE OF SPECIAL INSPECTIONS**

Project: Evergreen Cemetery

IBC 2003 CHAPTER 17

Page: 1 of 2

MATERIAL/ ACTIVITY	ITEM	SERVICE	Y/N	APPLICABLE TO THIS PROJECT	COMMENTS	AGENT #	DATE COMPLETED	REV #
				EXTENT (All, Sample, Other, None) and testing frequency (Freq:)				
<b>STEEL CONST.</b>								
Steel Fabrication	1.01	Submit Manuf. Cert. Mill Test Reports	Y	ALL		1		
	1.02	Submit welders certification	Y	ALL		1		
Weld Inspection Structural Steel	1.03	Inspection of field welded conn's	Y	50% Visual Inspection for fillet welds 50% Ultrasonic for moment conn's		1		
	1.04	Review joint details for Compliance w/ approved Const Doc's	Y	Sample		1		
<b>CONCRETE CONST.</b>								
Reinforcing Bars	1.01							
	1.02	Review bar size, location & splice length as indicated on the approved shop drawings and design drawings	Y	Freq: Prior to each Conc. placement		1		
Column Anchor Bolts	1.03	Review size and location	Y	Freq: Prior to Conc. Placment		1		
Concrete mix design	1.04	SER shall review and approve mix to be used on the project	Y	Freq: Once prior to Conc Placement		2		
Concrete Placement	1.05	Sample fresh concrete at time of placement in accordance w/ the project drawings & specification for Strength tests, Slump, Air Content and concrete temperature.	Y	Freq: Test as indicated in the project Manual.		1		
Concrete Placement Techniques	1.06	Inspect placement of fresh concrete (ACI 318: 5.9, 5.10)	Y	Freq: Performed in accordance with the Project Specifications.		1		
Concrete Curing Techniques	1.07	Review for compliance w/ project specifications (ACI 318: 5.11-5.13)	Y	Review after each slab placement		1		

07-30-'07 00:30 FROM-

T-419 P008/009 F-759



No	DATE	TIME	TX/RX	DESTINATION STATION	PAGE	COM TIME	MODE	RESULT
3	JAN. 25	14:01	RX	2077813871	1	0H00' 28"	STD	ECM OK
4	JAN. 25	16:26	RX	2077978863	3	0H01' 57"	STD	OK
5	JAN. 25	16:36	RX	2077978863	1	0H00' 42"	STD	OK
6	JAN. 25	16:40	RX		3	0H01' 37"	FINE	OK
7	JAN. 25	16:44	RX	2077979475	1	0H00' 28"	STD	ECM OK
8	JAN. 25	23:37	RX	207-772-3388	1	0H00' 34"	STD	OK
9	JAN. 26	16:02	RX	2076575647	2	0H00' 35"	STD	ECM OK
10	JAN. 26	21:36	RX	16036592151	5	0H01' 34"	STD	ECM OK
11	JAN. 27	12:49	RX	164708758	1	0H00' 46"	STD	ECM OK
12	JAN. 27	14:22	RX	13474360370	1	0H00' 44"	STD	ECM OK
13	JAN. 27	21:57	RX	13474360370	1	0H00' 35"	STD	ECM OK
14	JAN. 28	23:25	RX	207-772-3388	1	0H00' 34"	STD	OK
15	JAN. 29	07:59	RX	Bull Market	1	0H00' 49"	STD	ECM OK
16	JAN. 29	10:53	RX	207 774 3477	2	0H00' 39"	STD	ECM OK
17	JAN. 29	13:13	RX	2077973301	3	0H01' 52"	S-FINE	ECM OK
18	JAN. 29	14:44	TX	98282300	2	0H00' 53"	STD	ECM OK
19	JAN. 29	16:26	RX	2077728520	2	0H00' 47"	STD	ECM OK
20	JAN. 29	22:30	RX	207-772-3388	1	0H00' 34"	STD	OK
21	JAN. 30	09:51	TX	94822802	4	0H01' 15"	STD	ECM OK
22	JAN. 30	10:06	TX	918002007005	2	0H00' 45"	STD	OK
23	JAN. 30	11:53	RX	2072825003	6	0H02' 09"	FINE	ECM OK
24	JAN. 30	11:56	RX	2072825003	5	0H02' 04"	FINE	ECM OK
25	JAN. 30	13:35	RX		2	0H00' 40"	STD	ECM OK
26	JAN. 30	21:29	RX		1	0H00' 40"	STD	ECM OK
27	JAN. 30	22:41	RX	207-772-3388	1	0H00' 33"	STD	OK
28	JAN. 31	09:31	RX	+2077970919	1	0H00' 31"	STD	ECM OK
29	JAN. 31	10:08	RX	2078788515	5	0H01' 27"	STD	ECM OK
30	JAN. 31	11:03	TX	92873165	4	0H01' 10"	STD	ECM OK
31	JAN. 31	14:13	RX		2	0H01' 45"	FINE	ECM OK
32	JAN. 31	15:04	TX	92877826	2	0H00' 53"	STD	ECM OK
			TOTAL		41	0H15' 43"		
			RX		80	0H40' 55"		



**FAX**



To: DEP  
Fax Number: 287-7826  
From: City of Portland / Lannie  
Fax Number: 874-8716  
Date: 1.31.07  
Regarding: BDNF  
Total Number Of Pages Including Cover: 2  
Phone Number For Follow-Up: 874-8716

**Comments:**

City Of Portland, Maine  
Inspections Division Services  
389 Congress St Room 315 Portland Me 04101-3509  
Phone: (207) 874-8703 or (207)874-8693  
Fax: (207) 874-8716  
<http://www.portlandmaine.gov/>

Applicant: Bob Leeman/Evergreen Cemetery Date: 1/31/07

Address: Evergreen Rd/672 Stevens Ave - B-L: 13A-A-001 et al

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing

# 07-0109

Zone Location - ROS

Interior or corner lot -

cemetery is an existing use 31' x 105'  
to Demolish existing Storage Bldg & Rebuild in  
same footprint → Accessory Bldg

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25' min - 25' + shown

Rear Yard - 25' min 25' + shown

check for placement  
before

Side Yard - 12' min - existing 2.25'

Projections -

Width of Lot -

Height - 45' max - 13.75' scaled

Lot Area - existing

Lot Coverage/Impervious Surface - 25% max - no change

Area per Family -

Off-street Parking - N/A

Loading Bays -

Site Plan - required per Barbara 1/31/07

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 zone X

MAX Floor Area Ratio: .05 - actually slightly reduced

## TRANSMITTAL



TO: Phillip R. Labbe  
Manager of Parks & Cemeteries Div.  
City of Portland  
17 Arbor Street  
Portland, ME 04103

DATE: 01/25/07  
PROJECT NAME: Evergreen Cemetery  
PROJECT NUMBER: 203848.28

RE: Plans and Specifications for Evergreen Cemetery

**WE ARE SENDING:**

- |                                       |                                   |   |   |
|---------------------------------------|-----------------------------------|---|---|
| <input type="checkbox"/> Quotation    | <input type="checkbox"/> Drawings | <input checked="" type="checkbox"/> Bid Package (Draft) | <input type="checkbox"/> Floppy Disk / CD |
| <input type="checkbox"/> Brochure     | <input type="checkbox"/> Schedule | <input type="checkbox"/> Installation Package           | <input type="checkbox"/> Sample           |
| <input type="checkbox"/> Change Order | <input type="checkbox"/> Manuals  | <input type="checkbox"/> Other (specify) _____          |   |

Qty.	Doc. No.	Rev. No.	Dated	Description
2			June 2006	Specifications – Evergreen Cemetery
2			June 2006	Drawings – Evergreen Cemetery

**For Your:**

- USE
- APPROVAL
- REVIEW/COMMENTS
- INFORMATION
- OTHER

**Sent By:**

- REGULAR MAIL
- FEDERAL EXPRESS
- UPS
- COURIER
- OTHER

134-A-1

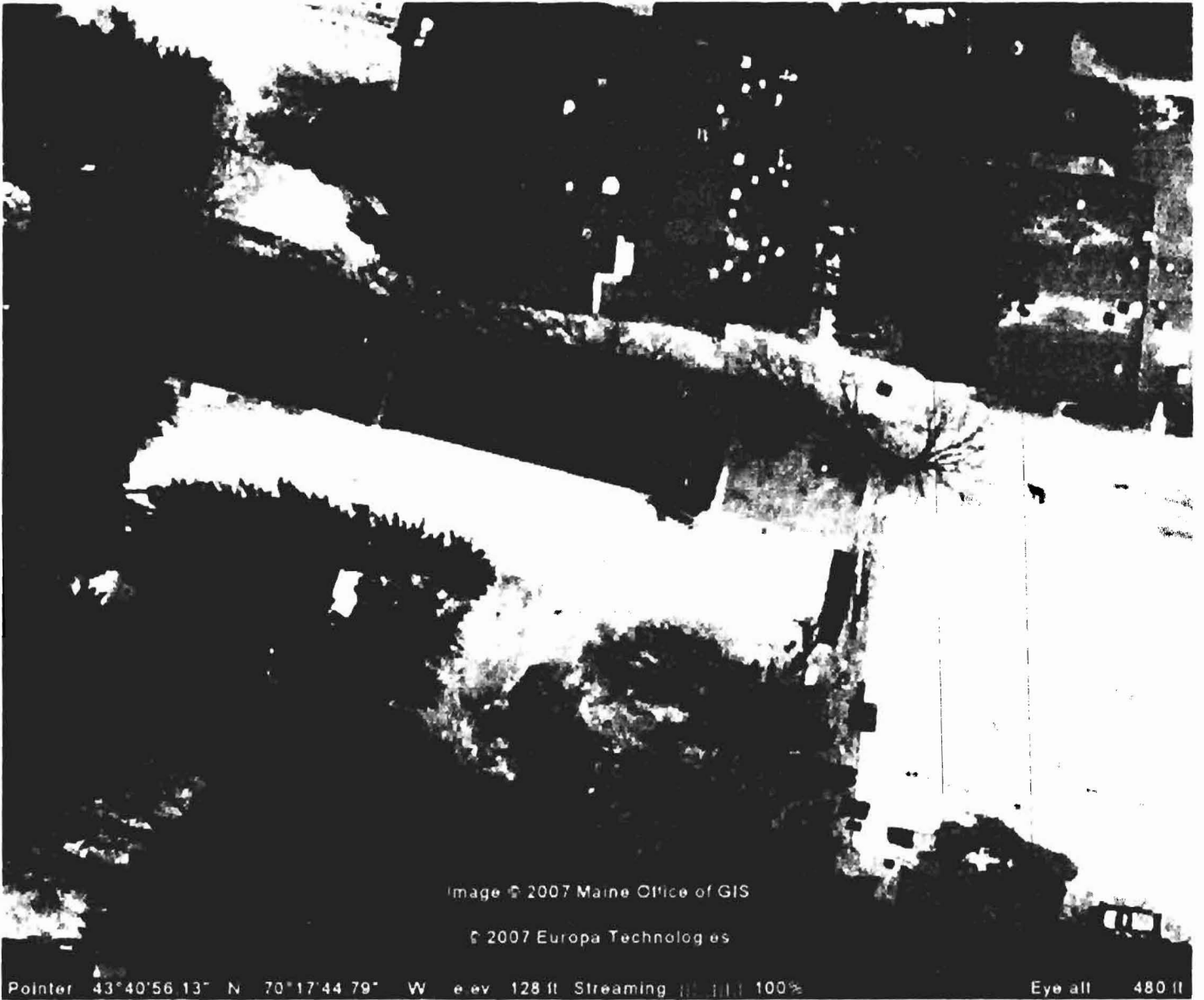
**COMMENTS:**

Phil and Bob,

Enclosed are copies of the bid-ready plans and specifications for the Evergreen Cemetery Building Replacement Project that we prepared in June of 2006. We understand you want to finalize and release for bidding; please provide your review comments and W&C will work with Purchasing to finalize accordingly.

Cc: Bob Leeman

BY: Diana Tidwell, Project Assistant



Buildings with X is to be removed



# Demolition Call List & Requirements

Site Address: 672 Stevens Ave Portland Owner: City of Portland  
 Structure Type: Wood, Storage Buildings Contractor: City of Portland

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>Tanya Bridges, 1/31/07</u>
Northern Utilities	797-8002 ext 6241	<u>Mark Allen, 1/31/07</u>
Portland Water District	761-8310	<u>Jan Walker 1/31/07</u>
Dig Safe 16352	1-888-344-7233	<u>2007 0502613</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Lucy Cote 1/31/07</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>Carol Merritt 1/31/07</u>
Historic Preservation	874-8726	<u>Deb Andrews 1/31/07</u>
Fire Dispatcher	874-8576	<u>Jim Richards 1/31/07</u>

## Additional Requirements

- 1) Written Notice to Adjoining Owners
- 2) A Photo of the Structure(s) to be demolished
- 3) Certification from an asbestos abatement company

DEP – Environmental (Augusta) 287-2651 Sandy Mandy 1/31/07

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

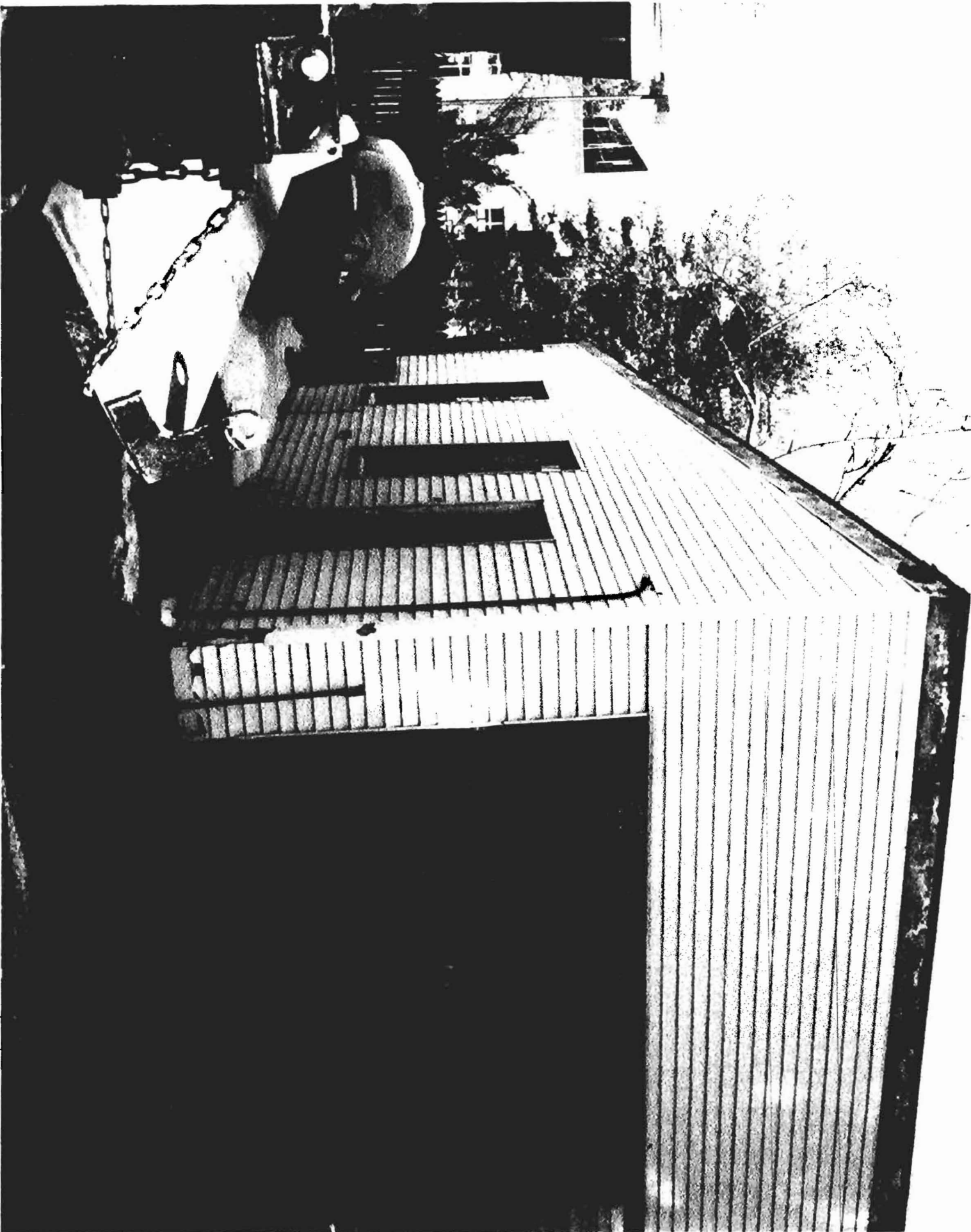
Demo / Reno Clerk  
 US EPA Region I (SEA)  
 JFK Federal Building  
 Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature] Date: 1/31/07

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)





**AGREEMENT BETWEEN THE  
CITY OF PORTLAND  
AND**

\_\_\_\_\_  
**(CONTRACTOR)**

**AGREEMENT** entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2006 by and between the **CITY OF PORTLAND**, a body politic and corporate, (hereinafter the "CITY"), and \_\_\_\_\_, located at \_\_\_\_\_ (hereinafter the "CONTRACTOR").

**WITNESSETH**

**WHEREAS**, the CITY did advertise by **Bid #10006**, entitled **Evergreen Cemetery Garage Replacement**, and

**WHEREAS**, the **CONTRACTOR** did under date June 22, 2006 submit a Bid for such work; and

**WHEREAS**, after due consideration of all the Bids, the **CITY** did award the Bid to the **CONTRACTOR**;

**NOW THEREFORE**, in consideration of the mutual promises made by each party to the other, the parties covenant and agree as follows:

1. The **CONTRACTOR** shall furnish all labor, materials, fixtures, supplies, equipment and transportation and shall perform all work required for the construction and completion of the Evergreen Cemetery Garage Replacement project in accordance with the specifications contained in the contract documents entitled Evergreen Cemetery Garage Replacement, Bid #10006, dated July 12, 2006 (hereinafter referred to as "Contract Documents") of which this Agreement is a part. All work shall be performed in strict conformance with the provisions of this Agreement, the Invitation for Bids, the **CONTRACTOR's** Bid, and any and all General and Detailed Provisions, Plans, "Supplemental Specifications", and "Special and General Provisions" of the Contract Documents which are attached hereto and made a part of this Agreement; and in conformance with the State of Maine, Department of Transportation Standard Specifications for Highways and Bridges, Revision of December, 2002 except as amended herein, and including all current amendments or revisions thereof, all of which are made a part of this Contract.



2. The restatement in this Contract of any of the terms of said Contract Documents and Standard Specifications shall not be deemed to waive any terms not so restated.
3. It is agreed that the amount given on the "Bid" in the **CONTRACTOR's** Bid Section of the Contract Documents will be used as the basis for determining the amount due under this Contract Agreement, and that the amount due under this Agreement so determined is (\$ \_\_\_\_\_) (hereinafter referred to as the "Contract Price"). The **CITY** will have the right to increase or decrease the amount and extent of the work by giving reasonable notice in writing to the **CONTRACTOR**. The **CITY** will pay for the work performed and the materials furnished for any such increase.
4. **CONTRACTOR** covenants and agrees that all work performed and materials used shall be free from all defects, and that all work be performed as specified.
5. **CONTRACTOR** shall supply the **CITY** with a performance bond, and labor and materials payment bond, each in the amount of (\$ \_\_\_\_\_), guaranteeing one hundred percent (100%) performance of this Agreement, including the guarantee period and free and clear of any and all liens, attachments and encumbrances. All such bonds shall comply with the requirements of Maine State law.
6. The **CITY** reserves the right to require Waivers of Lien from subcontractors and/or suppliers prior to each progress payment made to **CONTRACTOR** pursuant to the terms of this Agreement.
7. Prior to the execution of this Agreement, **CONTRACTOR** shall procure and maintain Public Liability Insurance coverage and Automobile Insurance coverage in amounts of not less than Four Hundred Thousand Dollars (\$400,000.00) combined single limit and aggregate for bodily injury, death, and property damage, naming the **CITY** as an additional insured thereon, and shall also procure Workers' Compensation Insurance coverage. **CONTRACTOR** shall furnish and thereafter maintain certificates evidencing such coverage, which certificates shall guarantee thirty (30) days' notice of termination of insurance from insurance company or agent.
8. To the fullest extent permitted by law, the **CONTRACTOR** shall defend, indemnify and hold harmless the **CITY**, its officers and employees, from and against all claims, damages, losses, and expenses, just or unjust, including but not limited to the costs of defense and attorneys' fees arising out of or resulting from the performance of the Agreement, provided that any such claims, damage, loss or expense (1) is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property, including the loss of use therefrom, and (2) is caused in whole or in part by any negligent act or omission of the **CONTRACTOR**, anyone directly or indirectly employed by it, or anyone for whose act it may be liable.
9. Upon receipt of executed contracts, bonds, and insurance as required, the **CITY** will promptly send an executed **CITY** contract and a "Notice to Commence Work" to the **CONTRACTOR**. The **CONTRACTOR** agrees to perform no work under this Agreement until it receives said Notice and to complete the work in the time specified by the contractor on the "Bid", but to complete the work by October 27, 2006. The time set for such completion may be extended only by written consent of the Portland Public Buildings Division Director (hereinafter referred to as the "**DIRECTOR**").

10. Any mechanic's lien or any other lien which may be filed against the premises which are subject of this Contract by reason of the work described herein shall be defended (by counsel reasonably acceptable to the **CITY**) and promptly discharged by the **CONTRACTOR** at its own expense. The **CITY** may require the **CONTRACTOR** to provide a bond satisfactory to **CITY** and indemnify it against any lien and as substitution in place of a lien.
11. If the **CONTRACTOR** should fail either to defend the **CITY** against the lien or to discharge it, then the **CITY** may do so at the **CONTRACTOR**'s expense. In the event of such an undertaking by the **CITY**, the **CONTRACTOR** will promptly reimburse the **CITY** for all its costs and expenses in so doing including, but not limited to, reimbursement of the **CITY**'s reasonable counsel fees, as well as costs which may be incurred by it in substituting a bond in place of the lien.
12. The **CONTRACTOR** shall perform the work to the satisfaction of the responsible **CITY** official who will have the right of inspection at all times, and whose approval and acceptance of the work will be a condition precedent to payments by the **CITY** under this Contract. **CITY** inspectors will have the authority to stop work in progress if such work is being done contrary to the plans, specifications, or engineering practice.
13. In the event that any dispute as to the amount, nature or scope of the work required under this Contract, the decision and judgment of the responsible **CITY** official will be final and binding.
14. The **CONTRACTOR** shall guarantee the work for a period of one (1) year for the faithful remedy of any defects due to faulty materials or workmanship and payment for any damage resulting therefrom.
15. **CONTRACTOR** shall keep accurate records of all services performed under this Agreement and shall submit such information to the **CITY** on a monthly basis. Payment for such services shall be made to **CONTRACTOR** not more than thirty (30) days after receipt of said forms and acceptance of the work by the **DIRECTOR**.
16. The **CITY** may terminate this Agreement for cause by written Notice to the **CONTRACTOR**. In the event of such termination, **CONTRACTOR** shall not be entitled to any further payment under this Agreement from the date of receipt of said Notice.
17. The **CITY** will have the right to terminate this Agreement at any time for its convenience on prior written Notice to **CONTRACTOR**. If Agreement is terminated by the **CITY** for convenience, the **CITY** will pay the **CONTRACTOR** for all work performed and all materials purchased pursuant to this Agreement prior to receipt of said Notice.

**IN WITNESS WHEREOF**, the said **CITY OF PORTLAND** has caused this Agreement to be signed and sealed by Joseph E. Gray, Jr., its City Manager, thereunto duly authorized, and \_\_\_\_\_ has caused this Agreement to be signed and sealed by \_\_\_\_\_, its \_\_\_\_\_, thereunto duly authorized, the day and year first above written.

**WITNESS**

**CITY OF PORTLAND**

\_\_\_\_\_

BY: \_\_\_\_\_

Joseph E. Gray, Jr.  
Its City Manager

**CONTRACTOR**

\_\_\_\_\_

By: \_\_\_\_\_

\_\_\_\_\_  
(Print or type name)

Its \_\_\_\_\_

Approved as to Form:

Approved as to funds:

\_\_\_\_\_  
Corporation Counsel's Office

\_\_\_\_\_  
Budget Office

NOTICE OF AWARD

To: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Project Description: **Evergreen Cemetery Garage Replacement**

The OWNER has considered the Bid submitted by you for the above described Work in response to its advertisement for Bids dated July 12, 2006, and Information for Bidders.

You are hereby notified that your Bid has been accepted for items in the amount of \$ \_\_\_\_\_

You are required by the Information for Bidders to execute the Agreement and furnish the required CONTRACTOR'S Performance Bond, Payment Bond and certificates of insurance within ten (10) calendar days from the date of this Notice to you.

If you fail to execute said Agreement and to furnish said Bonds within ten (10) days from the date of this Notice, said OWNER will be entitled to consider all your rights arising out of the OWNER'S acceptance of your Bid as abandoned. The OWNER will be entitled to such other rights as may be granted by law.

You are required to return an acknowledged copy of this Notice of Award to the OWNER.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

OWNER: \_\_\_\_\_  
City of Portland

By: \_\_\_\_\_

Title: \_\_\_\_\_

ACCEPTANCE OF NOTICE

Receipt of the above NOTICE OF AWARD is hereby acknowledged

by \_\_\_\_\_

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

By \_\_\_\_\_

Title \_\_\_\_\_

END OF SECTION

NOTICE TO PROCEED

To: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date: \_\_\_\_\_

**Project: Evergreen Cemetery Garage Replacement**

You are hereby notified to commence Work in accordance with the Agreement dated \_\_\_\_\_, 2006, on \_\_\_\_\_, 2006.

The date of final completion of all Work is \_\_\_\_\_, 2006.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

OWNER: \_\_\_\_\_  
City of Portland

By: \_\_\_\_\_

Title: \_\_\_\_\_

ACCEPTANCE OF NOTICE

Receipt of the above NOTICE TO PROCEED is hereby acknowledged

by \_\_\_\_\_

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

By \_\_\_\_\_

Title \_\_\_\_\_

END OF SECTION

WAIVER OF LIEN  
MATERIAL OR LABOR

State of \_\_\_\_\_

County of \_\_\_\_\_

To all whom it may concern:

Whereas \_\_\_\_\_ the undersigned \_\_\_\_\_  
has been employed to furnish for the project known as :

**Evergreen Cemetery Garage Replacement**

City of Portland County of Cumberland  
State of Maine.

Know then for know ye that \_\_\_\_\_ the undersigned for  
\_\_\_\_\_ and in consideration of the sum of

\$ \_\_\_\_\_ and other good and valuable consideration the receipt

whereof is hereby acknowledged, do hereby waive and release from any and all, or claim the  
right to lien on said above described project under the status of the State of

Relating to Mechanic's Lien on account of Labor or Material or both furnished or which may be  
furnished by the undersigned to or on account of said \_\_\_\_\_ for said  
building and premise.

Given under \_\_\_\_\_ my hand and seal this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_\_.

Notarized: \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

My commission expires \_\_\_\_\_.

CERTIFICATE OF SUBSTANTIAL COMPLETION OF WORK

OWNER'S Project No. \_\_\_\_\_ ENGINEER'S Project No. \_\_\_\_\_

Project: **Evergreen Cemetery Garage Replacement**

CONTRACTOR \_\_\_\_\_ Contract Date \_\_\_\_\_

Contract for **Evergreen Cemetery Garage Replacement**

Project or Specified Part Shall Include \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DEFINITION OF SUBSTANTIAL COMPLETION

The date of Substantial Completion of a Project or specified part of a Project is the date when the construction is sufficiently completed, in accordance with the Contract Documents, so that the Project or specified part of the Project can be utilized for the purpose for which it was intended.

To: City of Portland, Maine

And To \_\_\_\_\_  
(CONTRACTOR)

Date of Substantial Completion \_\_\_\_\_

The Work performed under this contract has been inspected by authorized representatives of the OWNER, CONTRACTOR and ENGINEER, and the Project is hereby declared to be substantially completed on the above date.

A tentative list of items to be completed or corrected is appended hereto. The failure to include an item on it does not alter the responsibility of the CONTRACTOR to complete all the Work in accordance with the Contract Documents.

City of Portland  
OWNER

\_\_\_\_\_  
AUTHORIZED REPRESENTATIVE      DATE

\_\_\_\_\_  
ENGINEER

\_\_\_\_\_  
AUTHORIZED REPRESENTATIVE      DATE

---

The CONTRACTOR accepts the above Certificate of Substantial Completion and agrees to complete and correct the items on the tentative list.

---

CONTRACTOR	AUTHORIZED REPRESENTATIVE	DATE
------------	---------------------------	------

---

EXCEPTIONS AS TO GUARANTEES AND WARRANTIES:

---

ATTACHMENTS:

END OF SECTION



CERTIFICATE OF FINAL COMPLETION OF WORK

CONTRACT NO. \_\_\_\_\_ AGREEMENT DATE \_\_\_\_\_

CONTRACT DESCRIPTION: CERTIFICATE OF FINAL COMPLETION OF WORK

CONTRACT NO. \_\_\_\_\_ AGREEMENT DATE \_\_\_\_\_

CONTRACT DESCRIPTION: **Evergreen Cemetery Garage Replacement**

FINAL CERTIFICATION OF CONTRACTOR

I hereby certify that the Work as identified in the Final Payment Request for construction Contract Work dated \_\_\_\_\_, represents full compensation for the actual value of Work completed. All Work completed conforms to the terms of the Agreement and authorized changes.

\_\_\_\_\_  
Date  
\_\_\_\_\_  
CONTRACTOR  
\_\_\_\_\_  
Signature  
\_\_\_\_\_  
Title

FINAL CERTIFICATION OF ENGINEER

I have reviewed the CONTRACTOR'S Final Payment Request dated \_\_\_\_\_ and hereby certify that to the best of my knowledge, the cost of the Work identified on the Final Estimate represents full compensation for the actual value of Work completed and that the Work has been completed in accordance with the terms of the Agreement and authorized changes.

\_\_\_\_\_  
Date  
\_\_\_\_\_  
ENGINEER  
\_\_\_\_\_  
Signature  
\_\_\_\_\_  
Title

FINAL ACCEPTANCE OF OWNER

I, as representative of the OWNER, accept the above Final Certifications and authorize Final Payment in the amount of \$\_\_\_\_\_ The guaranty for all Work completed subsequent to the date of Substantial Completion, expires one (1) year from the date of this Final Acceptance.

\_\_\_\_\_  
Date

\_\_\_\_\_  
City of Portland  
OWNER

\_\_\_\_\_  
Authorized Representative

\_\_\_\_\_  
Signature

END OF SECTION

FINAL CERTIFICATION OF CONTRACTOR

I hereby certify that the Work as identified in the Final Payment Request for construction Contract Work dated \_\_\_\_\_, represents full compensation for the actual value of Work completed. All Work completed conforms to the terms of the Agreement and authorized changes.

\_\_\_\_\_  
Date

\_\_\_\_\_  
CONTRACTOR

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

FINAL CERTIFICATION OF ENGINEER

I have reviewed the CONTRACTOR'S Final Payment Request dated \_\_\_\_\_ and hereby certify that to the best of my knowledge, the cost of the Work identified on the Final Estimate represents full compensation for the actual value of Work completed and that the Work has been completed in accordance with the terms of the Agreement and authorized changes.

\_\_\_\_\_  
Date

\_\_\_\_\_  
ENGINEER

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

FINAL ACCEPTANCE OF OWNER

I, as representative of the OWNER, accept the above Final Certifications and authorize Final Payment in the amount of \$\_\_\_\_\_ The guaranty for all Work completed subsequent to the date of Substantial Completion, expires one (1) year from the date of this Final Acceptance.

_____	_____
Date	City of Portland OWNER
	_____
	Authorized Representative
	_____
	Signature

END OF SECTION

SECTION 01010 - SUMMARY OF WORK

PART 1 - GENERAL:

1.01 PROJECT/WORK IDENTIFICATION:

- A. General: The project name is "Evergreen Cemetery Garage Replacement". Project is job number 203848.28 on Contract Documents by Woodard & Curran, Inc., Portland, Maine. Drawings and specifications are dated June 12, 2006.
- B. Summary by References: Work of Contract can be summarized by reference to the Contract, General Conditions, Supplementary Conditions, Specification Sections as listed in the "Index of Specification Sections" bound herewith, Drawings as listed in "Drawing List" bound herewith, and Addenda issued subsequent to the initial printing of this project manual.

1.02 DESCRIPTION OF WORK:

The Work of this project includes all materials and labor to demolish and dispose of the existing wood-framed garage, and construct a 31' x 105' prefabricated metal building with cast-in-place reinforced concrete foundation and slab. Building construction will include foundation design, the metal frame, skin and roof with man doors and sectional overhead doors as shown on the Drawings and specified. The building walls will be uninsulated, with exception to glass fiber blanket insulation as specified in Additive Alternate #1. Building ceiling shall be insulated as specified.

1.03 COORDINATION:

- A. General: The Work of this Contract includes coordination of entire Work of project, and control of site utilization, from the beginning of activity, through the project close-out and warranty periods. CONTRACTOR shall coordinate construction activities with the City of Portland Public Buildings Division and submit a schedule of planned progress to the ENGINEER for approval.

PART 2 - PRODUCTS: (Not Applicable)

PART 3 - EXECUTION: (Not Applicable)

\*\*\* END OF SECTION \*\*\*

## SECTION 01025 - MEASUREMENT AND PAYMENT

### PART 1 GENERAL:

#### 1.01 DESCRIPTION:

- A. Scope: This section describes the measurement and payment for the Work to be completed in the Bid. Work specified but not specifically designated is considered incidental to all Bid items.
- B. Payment Procedures are described in the agreement, General Conditions and related documents.

#### 1.02 SUBMITTALS:

- A. Schedule of values: Within 10 days of the date of the agreement, submit a schedule of values for lump sum item. Suggested format for schedule of values is by specification division. Break down items in detail sufficient to determine value of work at any degree of completion.

#### 1.03 DESCRIPTION OF PAY ITEMS:

##### A. Bid Item #1: Demolition:

- 1. Payment: Lump sum price as stated in the Bid.
- 2. Measurement: Determine value of work completed to date from the schedule of values.
- 3. Includes demolition of existing 9-bay wood constructed garage including all doors and windows, associated concrete foundation and slab, removal of underground storage tanks at each end of the garage, removal of pavement within the area shown on the drawings, and the discontinuation of electrical power to the garage while maintaining temporary power to the other buildings. Also includes demolition of existing goose house and goose pen.

##### B. Bid Item #2: Foundation:

- 1. Payment: Lump sum price as stated in the Bid.
- 2. Measurement: Determine value of work completed to date from the schedule of values.
- 3. Includes foundation design, excavation, forms, reinforcing, concrete walls and slab. Also includes cutting or forming joints, piping, conduit, suitable backfill, compaction, testing, and grading.

##### C. Bid Item #3: Metal Building System:

- 1. Payment: Lump sum price as stated in the Bid.
- 2. Measurement: Determine value of work completed to date from the schedule of values.
- 3. Includes: Installation of all new framing members, roof and wall sheathing, doors, windows, flashings, insulation, penetrations, and temporary closure thereof. Also includes installation of electrical wiring, lighting, conduit, equipment and panels.

## SECTION 01068 - DEFINITIONS AND STANDARDS

### PART 1 - GENERAL:

#### 1.01 DEFINITIONS:

- A. As used in this specification, "provide" means "furnish and install", "furnish" means "to purchase and deliver to the project site complete with every necessary appurtenance and support and to store in a secure area in accordance with manufacturers instructions", and "install" means "to unload at the delivery point at the site or retrieve from storage, move to point of installation and perform every operation necessary to establish secure mounting and correct operation at the proper location in the project".
- B. Approve: Where used in conjunction with ENGINEER's response to submittals, requests, applications, inquiries, reports and claims by CONTRACTOR, the meaning of term "approved" will be held to limitations of ENGINEER's responsibilities and duties as specified in General and Supplementary Conditions. In no case will "approval", by ENGINEER be interpreted as a release of CONTRACTOR from responsibilities to fulfill requirements of contract documents.
- C. Directed, Requested, etc.: Where not otherwise explained, terms such as "directed," "requested," "authorized," "selected," "approved," "required," "accepted," and "permitted" mean "directed by ENGINEER," "requested by ENGINEER," etc. However, no such implied meaning will be interpreted to extend ENGINEER's responsibility into CONTRACTOR's area of construction supervision.
- D. Finished Areas. In general, areas with carpet or tile floors, lay-in or fixed ceiling tile, special architectural ceiling treatment, or tiled, plastered, or paneled walls shall be considered finished areas.
- E. Furnish: Except as otherwise defined in greater detail, term "furnish" is used to mean supply and deliver to project site, ready for unloading, unpacking, assembly, installation, etc., as applicable in each instance.
- F. General Explanation: A substantial amount of specification language constitutes definitions for terms found in other contract documents, including drawings which must be recognized as diagrammatic in nature and not completely descriptive of requirements indicated thereon. Certain terms used in contract documents are defined generally in this article. Definitions and explanations of this section are not necessarily either complete or exclusive, but are general for the work to extent not stated more explicitly in another provision of the contract documents.
- G. General Requirements: The provisions or requirements of Division-1 sections. General Requirements apply to entire work of Contract and, where so indicated, to other elements which are included in project.
- H. Hazardous (Classified) Areas. Hazardous (classified) areas are designated on the drawings in conformance with the National Electric Code (NEC). All equipment and the installation shall conform to requirements for installation in the designated hazardous area as described in Articles 501 of the NEC.
- I. Indicated: The term "Indicated" is a cross-reference to details, notes or schedules on drawings, to other paragraphs or schedules in the specifications, and to similar means of recording requirements in contract documents. Where terms such as "shown," "noted," "scheduled," and "specified" are used in lieu of "indicated," it is for purpose of helping reader locate cross-reference, and no limitation of location is intended except as specifically noted.
- J. Install: Except as otherwise defined in greater detail, term "install" is used to describe operations at project site including unloading, unpacking, assembly, erection, placing, anchoring, applying, working to dimension, finishing, curing protecting, cleaning and similar operations, as applicable in each instance.

- A. General Applicability of Standards: Applicable standards of construction industry have same force and effect (and are made a part of contract documents by reference) as if copied directly into contract documents, or as if published copies were bound herewith.
  - 1. Referenced standards (referenced directly in contract documents or by governing regulations) have precedence over non-referenced standards which are recognized in industry for applicability to work.
  - 2. Non-referenced standards recognized in the construction industry are hereby defined, except as otherwise limited in contract documents, to have direct applicability to the work, and will be so enforced for performance of the work.
- B. Copies of Standards: Provide where needed for proper performance of the work; obtain directly from publication sources.
- C. Abbreviation and Names: Where acronyms or abbreviations are used in specifications or other contract documents they are defined to mean the industry recognized name of trade association, standards generating organization, governing authority or other entity applicable to context of text provision. Refer to "Encyclopedia of Associations," published by Gale Research Co., available in large libraries.

1.05 SUBMITTALS:

- A. Permits, Licenses and Certificates: For the OWNER's records, submit copies of permits, licenses, certifications, inspection reports, releases, notices, receipts for fee payments, judgements, and similar documents, correspondence and records established in conjunction with compliance with standards and regulations bearing upon performance of the work.

PART 2 - PRODUCTS: (Not Applicable)

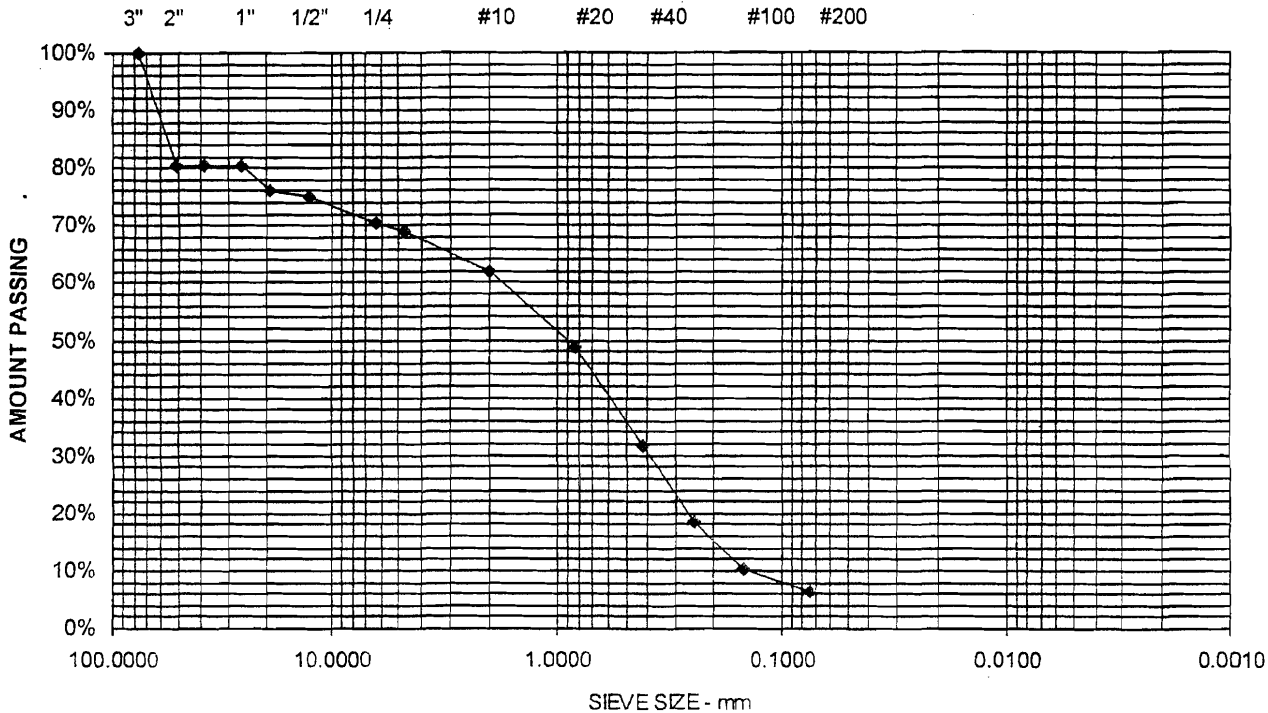
PART 3 - EXECUTION: (Not Applicable)

\*\*\* END OF SECTION \*\*\*

Project Name: PORTLAND - EVERGREEN CEMETERY GARAGE - GEOTECHNICAL  
 Client: WOODARD & CURRAN, INC.  
 Exploration: TP-1  
 Material Source: S-1 4-5'

Project Number: 05-1416  
 Lab ID: 4877G  
 Date Received: 4/14/2006  
 Date Complete: 4/17/2006  
 Tested By: MICHAEL BISSON

<u>STANDARD DESIGNATION (mm/μm)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	
150 mm	6"	100	
125 mm	5"	100	
100 mm	4"	100	
75 mm	3"	100	
50 mm	2"	80	
38.1 mm	1-1/2"	80	
25.0 mm	1"	80	
19.0 mm	3/4"	76	
12.5 mm	1/2"	75	
6.3 mm	1/4"	71	
4.75 mm	No. 4	69	30.9% Gravel
2.00 mm	No. 10	62	
850 μm	No. 20	49	
425 μm	No. 40	32	62.6% Sand
250 μm	No. 60	18	
150 μm	No. 100	10	
75 μm	No. 200	6.5	6.5% Fines

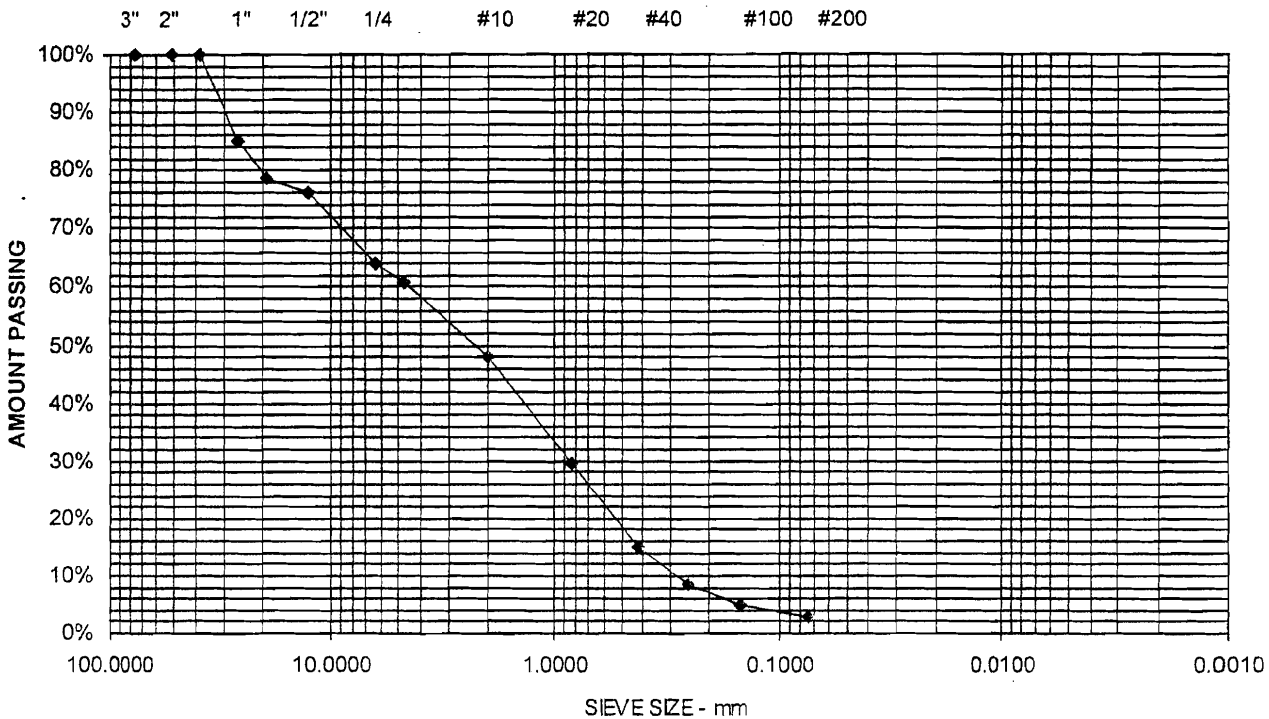




Project Name: PORTLAND - EVERGREEN CEMETERY GARAGE - GEOTECHNICAL  
 Client: WOODARD & CURRAN, INC.  
 Exploration: TP-2  
 Material Source: S-1 4-5'

Project Number: 05-1416  
 Lab ID: 4878G  
 Date Received: 4/14/2006  
 Date Complete: 4/17/2006  
 Tested By: MICHAEL BISSON

STANDARD DESIGNATION (mm/ $\mu$ m)	SIEVE SIZE	AMOUNT PASSING (%)	
150 mm	6"	100	
125 mm	5"	100	
100 mm	4"	100	
75 mm	3"	100	
50 mm	2"	100	
38.1 mm	1-1/2"	100	
25.0 mm	1"	85	
19.0 mm	3/4"	79	
12.5 mm	1/2"	76	
6.3 mm	1/4"	64	
4.75 mm	No. 4	61	39.3% Gravel
2.00 mm	No. 10	48	
850 $\mu$ m	No. 20	29	
425 $\mu$ m	No. 40	15	57.8% Sand
250 $\mu$ m	No. 60	9	
150 $\mu$ m	No. 100	5	
75 $\mu$ m	No. 200	2.9	2.9% Fines



486A to assure permanent and effective grounds.

3.03 FIELD QUALITY CONTROL

- A. At Date of Substantial Completion, clean luminaires and replace lamps in lighting fixtures that are observed to be noticeably dimmed after Contractor's use and testing, as judged by the Engineer.

\*\*\* END OF SECTION \*\*\*

**GEOTECHNICAL ENGINEERING SERVICES  
PROPOSED EVERGREEN CEMETERY GARAGE  
STEVENS AVENUE  
PORTLAND, MAINE**

**05-1416      April 25, 2006**

Prepared for:

Woodard & Curran, Inc.  
Attention: Barry Sheff  
41 Hutchins Drive  
Portland, Maine 04102

Prepared by:



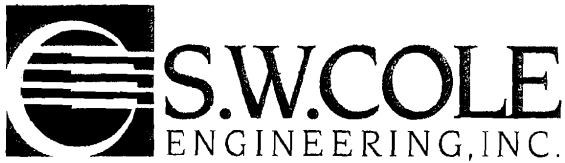
Attention: Tim Boyce  
286 Portland Road  
Gray, Maine 04039

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## TABLE OF CONTENTS

1.0 PROPOSED CONSTRUCTION.....	1
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Attachment A	Limitations
Sheet 1	Exploration Location Plan
Sheet 2	Test Pit Logs
Sheet 3	Key to Notes and Symbols
Sheets 4 and 5	Gradation Test Results



• *Geotechnical Engineering* • *Field & Lab Testing* • *Scientific & Environmental Consulting*

05-1416

April 25, 2006

Woodard & Curran, Inc.  
Attention: Barry Sheff  
41 Hutchins Drive  
Portland, Maine 04102

Subject: Geotechnical Engineering Services  
Proposed Evergreen Cemetery Garage  
Stevens Avenue  
Portland, Maine

Dear Mr. Sheff:

In accordance with our Agreement dated March 2, 2006, we have observed test pit explorations and made a bearing capacity assessment of the subsurface soils for foundation support of the proposed garage building at the above referenced site. Our scope of work was limited to observation of test pit explorations and an assessment of bearing capacity of the foundation soils, the need for foundation drainage and recommendations for subgrade preparation. This report summarizes our findings and recommendations and its contents are subject to the limitations set forth in Attachment A.

## **1.0 PROPOSED CONSTRUCTION**

Based on information provided by Woodard & Curran (project engineer), we understand plans call for demolition of an existing wood-framed garage structure and replacement with a new 31' x 105' pre-engineered metal building. We understand the new garage building will be a contractor design-build with geotechnical parameters for foundation design provided by the City of Portland (project owner). We understand the new garage will likely be steel-framed with a concrete floor. We understand the building will be unheated. Existing site features are shown on the "Exploration Location Plan", attached as Sheet 1.

GRAY, ME OFFICE

286 Portland Road, Gray, ME 04039-9586 ■ Tel (207) 657-2866 ■ Fax (207) 657-2840 ■ E-Mail [infogray@swcole.com](mailto:infogray@swcole.com) ■ [www.swcole.com](http://www.swcole.com)

*Other offices in Augusta, Bangor, and Caribou, Maine & Somersworth, New Hampshire*

## **2.0 EXPLORATION AND TESTING**

Two test pit explorations (TP-1 and TP-2) were made at the site on April 13, 2006 by City of Portland cemetery crews. The test pit locations were selected by S. W. COLE ENGINEERING, INC. based on limitations of site access. The approximate test pit locations are shown on the "Exploration Location Plan" attached as Sheet 1. Logs of the test pits are attached as Sheet 2. A key to the notes and symbols used on the logs is attached as Sheet 3.

Selected samples of soils were obtained from the test pits and returned to our soils laboratory for testing. The results of two grain size analyses are shown on Sheets 3 and 4. The results of moisture content tests are shown on the logs.

## **3.0 SUBSURFACE CONDITIONS**

In general, the test pits encountered a soil profile consisting of 2 to 3 feet of sandy fill with varying fractions of silt, gravel and organics overlying medium-dense gravelly sand with trace to some silt and cobbles. Groundwater was not observed within the depth explored. Test pit TP-1 was terminated at a depth of 5.5 feet and TP-2 at a depth of 6.2 feet. Not all the strata were encountered at each of the explorations. Refer to the attached logs for more detailed descriptions of the subsurface findings at the test pit locations.

Based on discussions with Cemetery staff while on-site, we understand that underground storage tanks (USTs) once existed adjacent to the ends of the existing barn. We understand the USTs have been abandoned in-place; however, there was some questions as to the means of abandonment. The investigation of the USTs and potential environmental concerns are not part of our scope; however, we felt it necessary to convey the information provided to us for planning consideration by others.

## **4.0 EVALUATION AND RECOMMENDATIONS**

Based on the subsurface findings and our understanding of the proposed construction, it is our opinion that foundation support of the proposed garage building appears feasible using conventional spread footing foundations and on-grade floor slabs.

#### **4.1 Site and Subgrade Preparation**

Demolition should include complete removal of existing foundations and reported USTs, including any associated UST backfill, from beneath the building and a normal 1H:1V bearing splay extending outward and downward from the building perimeter. The excavations from demolition should be backfilled with clean sand and gravel meeting the requirements of Structural Fill as given herein. The existing 2 to 3 feet of fills within the building footprint are frost susceptible. Therefore, we recommend these fill soils existing within the building footprint be removed and replace with compacted Structural Fill.

Based on the subsurface findings and our understanding of the proposed construction, we anticipate subgrade soils at foundation bearing elevation will consist of medium-dense gravelly sand. Subgrade soils should be densified with several passes of a ½-ton vibratory sled compactor after excavation. Excavations for foundations must be properly shored or sloped in accordance with OSHA regulations to prevent sloughing or caving of the excavation sidewalls.

#### **4.2 Spread Footings and Floor Slabs**

For spread footings founded on properly prepared subgrades, we recommend an allowable soils bearing pressure of 2.0 ksf with a base friction factor of 0.35 for foundation design. Foundations exposed to freezing temperatures must be placed at least 4.5 feet below finish grade in order to provide frost protection.

Reinforced concrete slab-on-grade floors in unheated spaces may be designed using a subgrade reaction modulus of 150 pci (pounds per cubic inch) provided the slab is underlain by at least 3 inches of MDOT Type A Crushed Gravel overlying Structural Fill overlying undisturbed native gravelly sands to a depth of at least 4.5 feet. As presented herein, this will require overexcavation and removal of 2 to 3 feet of existing frost susceptible fill soils beneath the building footprint and backfilling with Structural Fill.

#### **4.3 Foundation Drainage**

Based on the subsurface findings, it appears the native soils beneath the proposed building consist of well-drained gravelly sand that appears to infiltrate stormwater runoff. Additionally, groundwater was not encountered within the anticipated foundation depth. Consequently, it is our opinion that foundation drains are not required.