

# 14 ALBA ST. APARTMENTS

Portland, Maine  
 MARCH 18, 2016  
 CONSTRUCTION SET

## DRAWING LIST

- CVR Cover, Drawing List, General Notes
- D1.1 Demolition Plans
- S1.1 Framing Plans
- A1.1 First and Second Floor Plans, Electrical Plans
- A2.1 Exterior Elevations
- A3.1 Building Sections
- A5.1 Interior Elevations
- A5.2 Enlarged Plans, Interior Elevations; Kitchens & Baths
- A5.3 Enlarged Plans, Interior Elevations; Stairs
- A6.1 Schedules

14 ALBA STREET  
 APARTMENTS  
 Portland, Maine

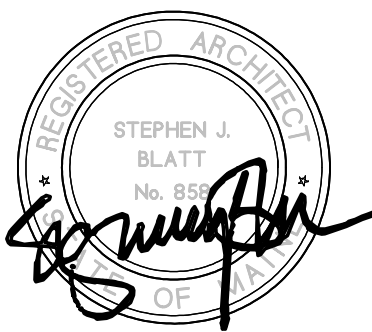
Revisions



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## GENERAL NOTES

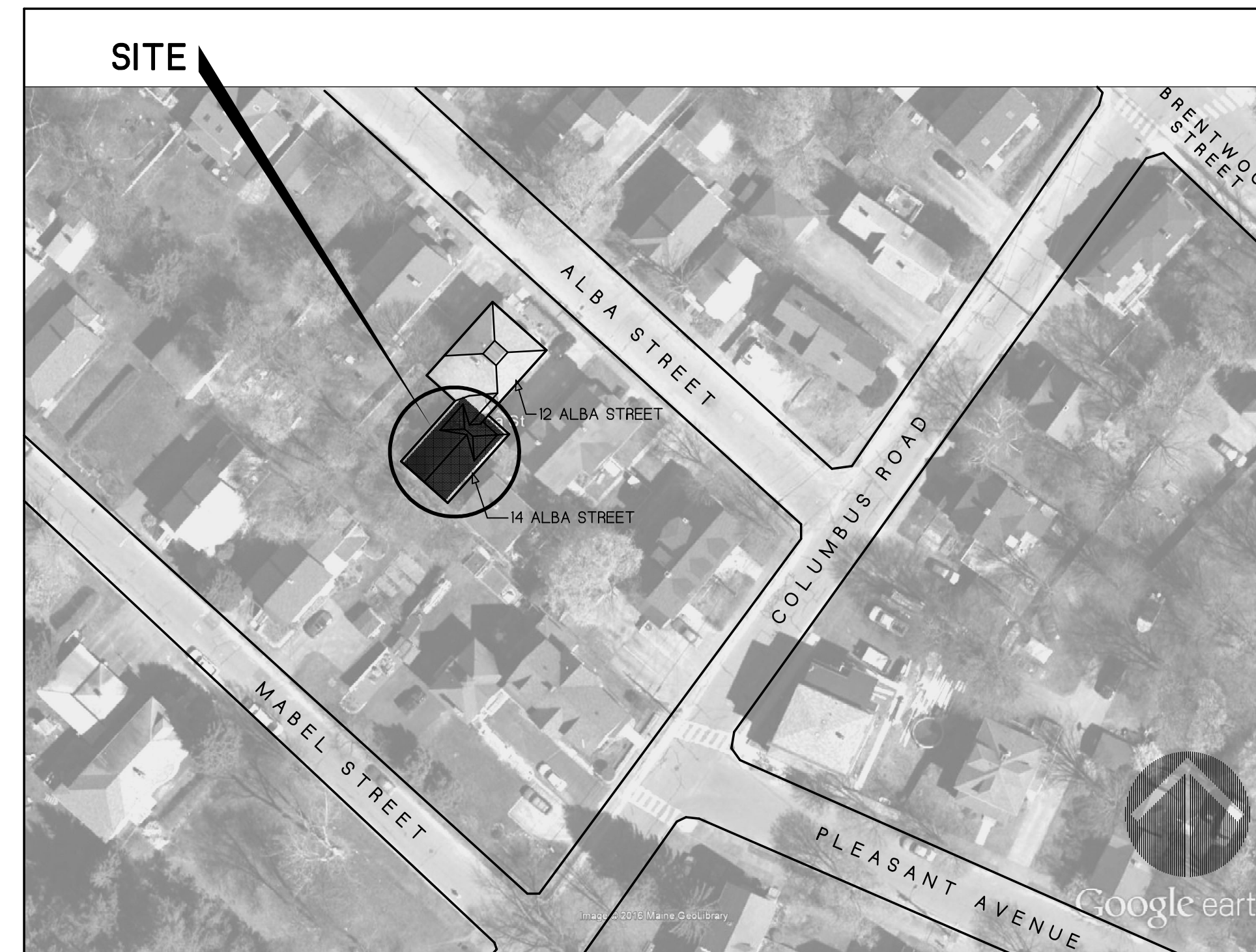
1. DIMENSIONS ARE TO THE FACE OF FRAMING/FOUNDATION UNLESS NOTED OTHERWISE.
2. DO NOT SCALE DRAWINGS. WORK FROM DIMENSIONS ONLY.
3. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
4. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, & LOCAL CODES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
6. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
7. CONTRACTOR SHALL INSTALL BLOCKING IN WALLS FOR CABINETS, SHELVING, HANDRAILS, MIRRORS, AND ACCESSORIES.
8. DOORS SHALL BE LOCATED A MINIMUM OF 5" FROM ADJOINING WALLS EXCEPT WHERE NOTED OR DIMENSIONED OTHERWISE.
9. WOOD BLOCKING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS AND WHERE NOTED "P.T." SEAL CUTS IN PRESERVATIVE TREATED WOOD WITH FIELD APPLIED PRESERVATIVE.
10. BEFORE PENETRATING OR OTHERWISE MODIFYING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS CONSULT WITH THE ARCHITECT ON MAXIMUM SIZE AND LOCATION.
11. PROVIDE DOUBLE STUDS AT ALL DOOR FRAMES.
12. ALL MATERIALS IN THIS BUILDING SHALL BE NEW AND NOT PREVIOUSLY USED, UNLESS NOTED OTHERWISE.
13. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES.
14. ALL PENETRATIONS THROUGH RATED WALLS AND FLOOR/CEILING ASSEMBLIES SHALL BE FRESTOPPED BY SPECIFIC SUBCONTRACTOR REQUIRING PENETRATION.
15. PROVIDE DOMESTIC SPRINKLER SYSTEM 13-D AS REQUIRED PER CITY CODE.



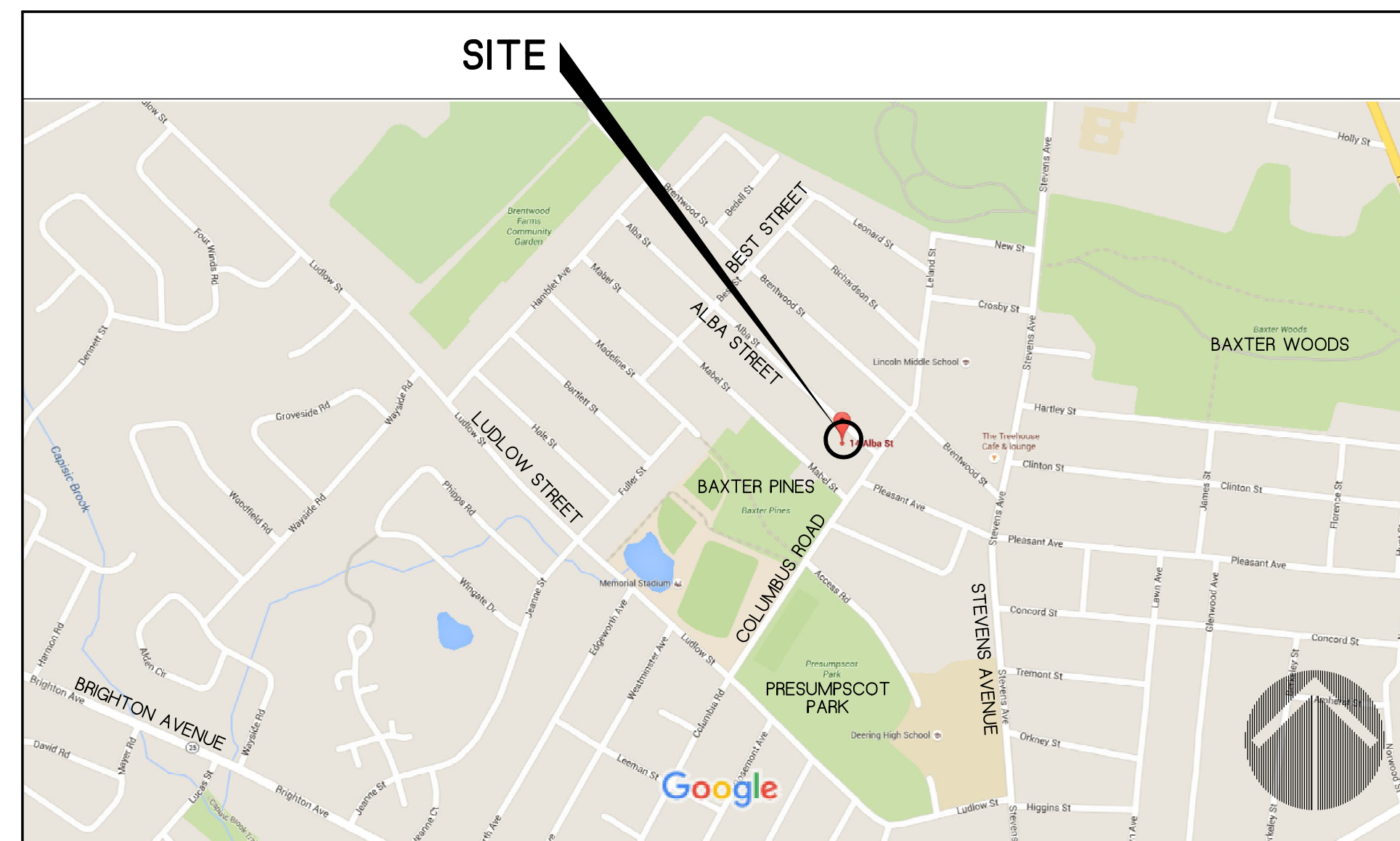
Consultants

Structural Engineer  
 PINKHAM & GREER

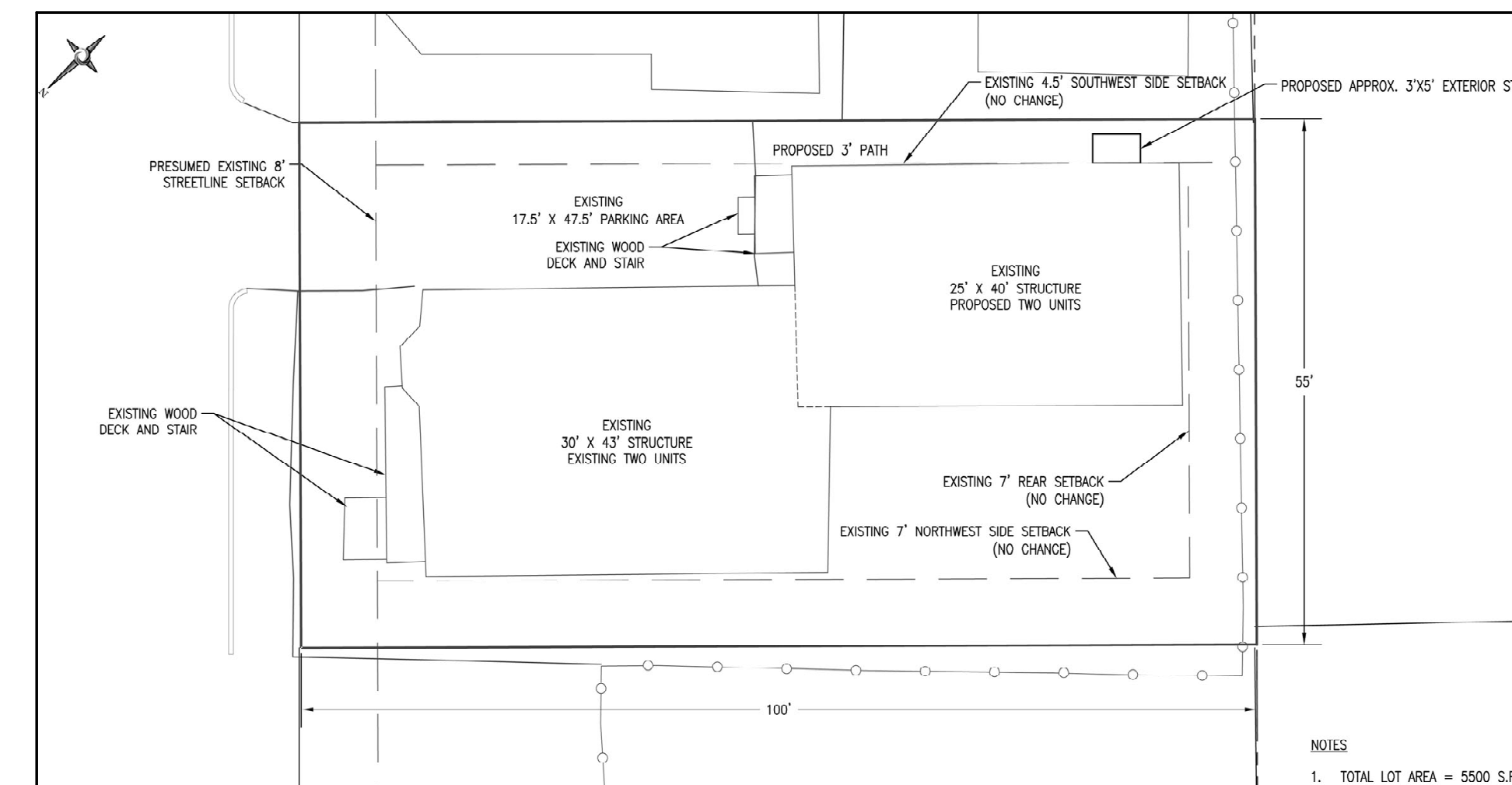
## SITE SKETCH



## LOCATION



## SITE



Job No.: 16.05  
 Date: MARCH 18, 2016  
 Scale: N/A  
 Drawn by: CR  
 Checked by: SJB

Drawing Title:  
 COVER, SITE PLAN,  
 DRAWING LIST,  
 GENERAL NOTES

# CVR

CONSTRUCTION SET