

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 18 Brentwood St		Owner: Jones, William/Kimball, Charlotte		Phone:		Permit No: <b>970870</b>	
Owner Address:		Lessee/Buyer's Name: Donovan, Margaret/Bouton, Clay P.O. Box 10165 Portland, ME 04104		Phone:		Business Name: 04101	
Contractor Name: Broker/Agent Gloria Moline		Address: 781-4747		Phone:		Permit Issued: <b>PERMIT ISSUED</b> AUG 14 1997 <b>CITY OF PORTLAND</b>	
Past Use: Illegal 2-fam		Proposed Use: Legal 2-fam		COST OF WORK: \$		PERMIT FEE: \$ 25.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
				Signature:		Signature:	
Proposed Project Description: Legalize 2-fam dwelling (After the Fact)				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied			
				Signature:		Date:	
Permit Taken By: Mary Groat		Date Applied For: 12 August 1997					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Gloria Moline ADDRESS: \_\_\_\_\_ DATE: 12 August 1997 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zone: D-5 CBL: 132-C-004

Zoning Approval:

**Special Zone or Reviews:**

Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

**Historic Preservation**

- Not in District or Landmark
- Does Not Require Review
- Requires Review

**Action:**

- Approved
- Approved with Conditions
- Denied

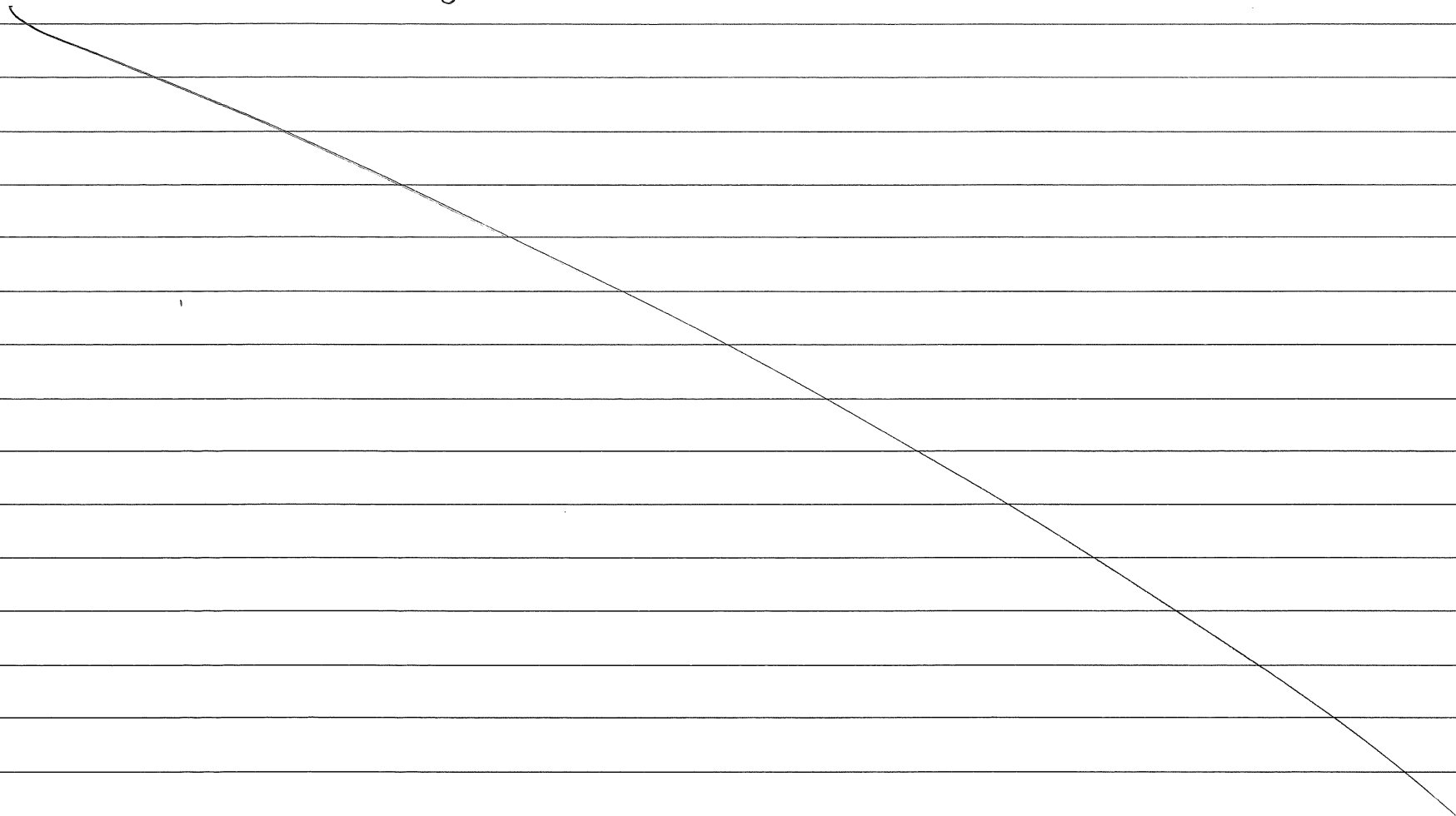
Date: 2/12/97

CEO DISTRICT 4

A. D. 1085

COMMENTS

8-20-97 Inspection verifying 2 units.



	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____

BUILDING PERMIT REPORT

DATE: 13 Aug 97 ADDRESS: 18 Brentwood ST.  
REASON FOR PERMIT: To Legalize a Family dwelling  
BUILDING OWNER: Jones, & Kimball  
CONTRACTOR: Broker/Agent Gloria Moline  
PERMIT APPLICANT: APPROVAL: \*1, \*8^12\*16, ~~DENIED~~

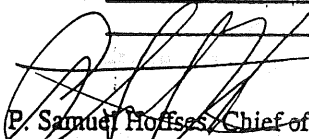
CONDITION(S) OF APPROVAL

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 3. Precaution must be taken to protect concrete from freezing.
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- 8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
- 9. Headroom in habitable space is a minimum of 7'6".
- 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
- 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 26. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- 27. \_\_\_\_\_
- 28. \_\_\_\_\_
- 29. \_\_\_\_\_

  
P. Samuel Hoffes, Chief of Code Enforcement

cc: Lt. McDougall, PFD  
Marge Schmuckal

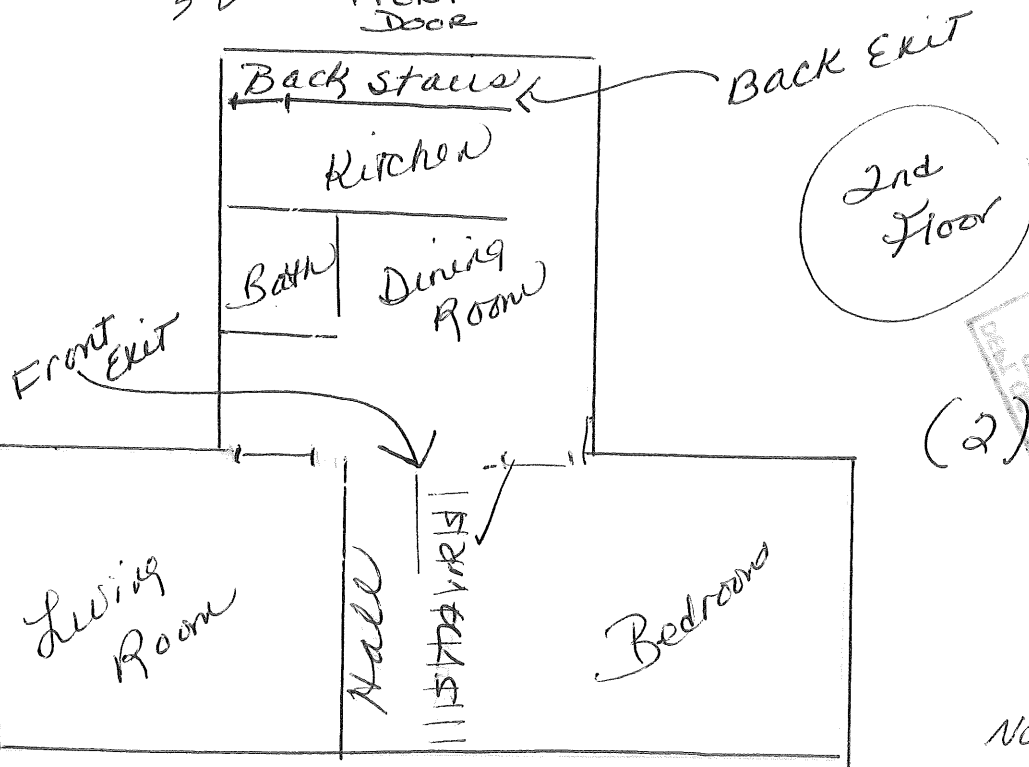
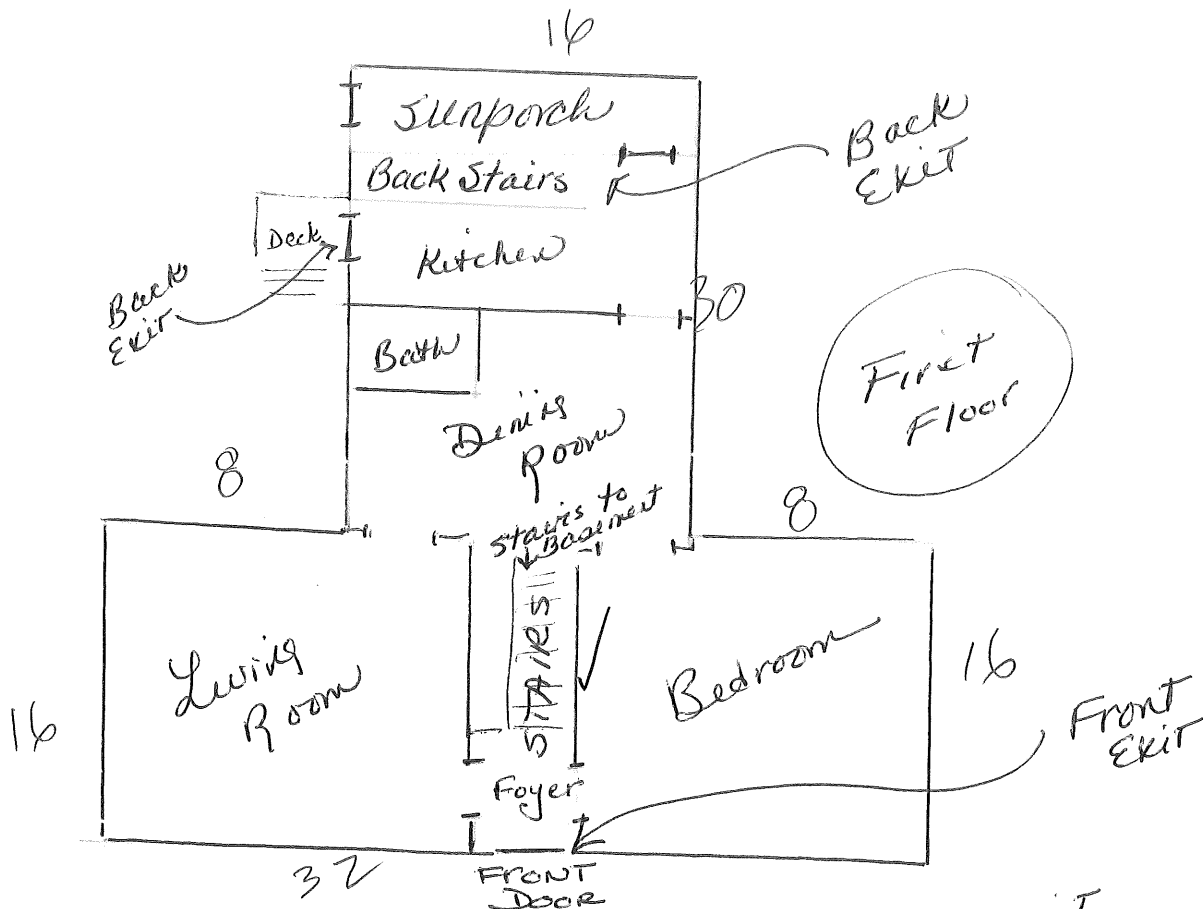
18 Baerwood St.

R5 zone

map 132

Block C

Lot 4



(2) 1 Bedroom units

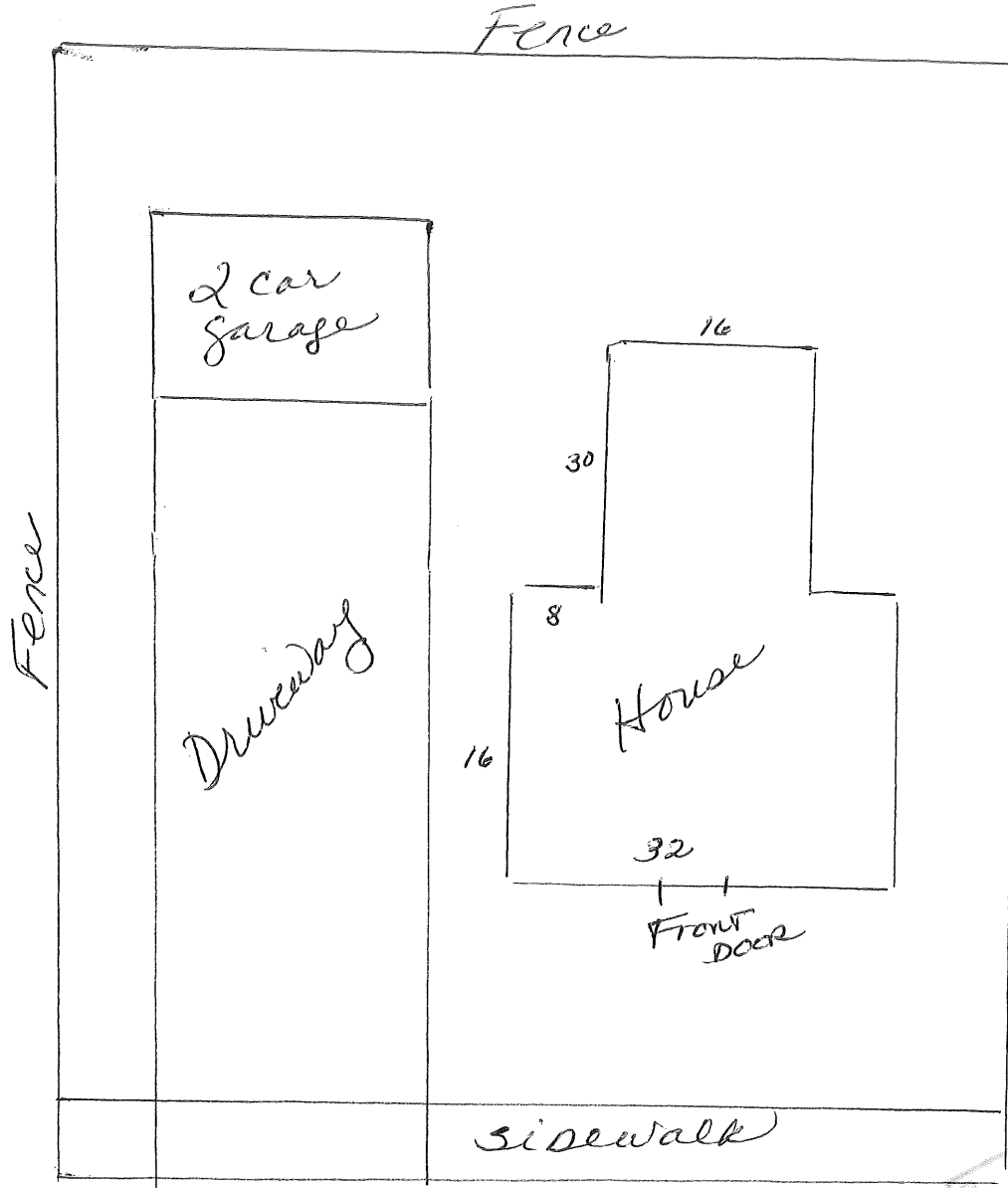
NOT TO SCALE

18 Brentwood St.

6600 St Lot

map 132

Lot C-4.



House  
1984 SF  
1st and  
2nd  
Floor  
plus walk  
up  
attic

NOT TO SCALE

DISTRICT OF COLUMBIA  
DEPARTMENT OF LAND AND NATURAL RESOURCES

Applicant: Gloria Malone  
Address: 18 Brentwood St

Date: 8/12/97  
C-B-L: 132-C-004

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1980  
Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - change of use to legalize 2 family

Sewage Disposal - City

Lot Street Frontage -

Front Yard -

Rear Yard - Existing

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area - 6,000<sup>#</sup> min 6,600<sup>#</sup> shown

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - 1 for existing 1/2 for new apt - 2 1/2 req - 3+ shown -

Loading Bays - N/A

Site Plan - N/A

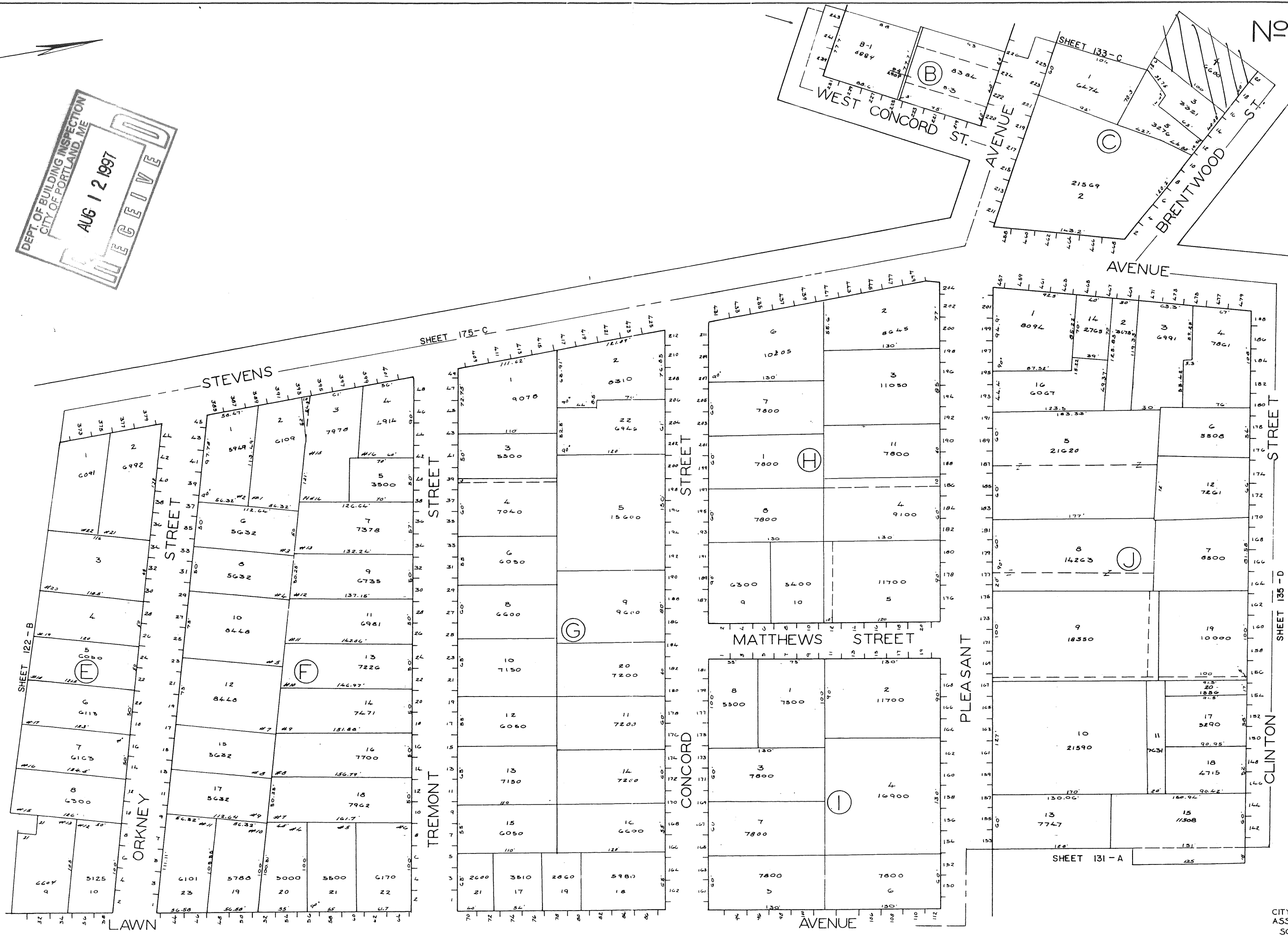
Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A

No outside fire escapes or stairways planned

Not less than 600<sup>#</sup>  
2nd floor  
New unit  
16 x 30 = 480  
16 x 32 = 512  
992<sup>#</sup>  
Old unit  
16 x 30 = 480  
16 x 32 = 512  
8 x 11 = 992  
deck per assessors 88  
1080<sup>#</sup>

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
AUG 12 1997  
RECEIVED





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Contractor Name: Broker/Agent Gloria Moline	Address: 761-4747	Phone:	<div style="border: 2px solid black; padding: 5px;"> <b>PERMIT ISSUED</b>                  Permit Issued:                  AUG 14 1997  <b>CITY OF PORTLAND</b> </div>	
Past Use: Illegal 2-fam	Proposed Use: Legal 2-fam	COST OF WORK: \$		
Proposed Project Description:  Legalize 2-fam dwelling (After the Fact)		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <b>R3</b> Type: <b>5B</b>	Zone: <b>R-5</b> CBL: 132-C-004 Zoning Approval: <i>[Signature]</i> 8/12/97 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Signature:	Signature: <i>[Signature]</i>	
Permit Taken By: Mary Gresik		Date Applied For: 12 August 1997	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

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 SIGNATURE OF APPLICANT Gloria Moline	ADDRESS:	DATE: 12 August 1997	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		PHONE:	

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT 4  
*A. Powers*

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 10/20/97

LOCATION: 18 Brentwood St

Permit # 03088

OWNER Margaret Donovan ADDRESS \_\_\_\_\_

								TOTAL EACH FEE			
<b>OUTLETS</b>		Telephone		Data		CATV			.20		
		Receptacles		Switches		Smoke Detector			.20		
<b>FIBER OPTICS</b>									15.00		
<b>FIXTURES</b>		incandescent		fluorescent					.20		
		fluorescent strip							.20		
<b>SERVICES</b>	X	Overhead			200	TTL AMPS TO	800	X	15.00	15.00	
		Underground					800		15.00		
<b>Temporary Service</b>		Overhead				AMPS OVER	800		25.00		
		Underground					800		25.00		
<b>METERS</b>	2	(number of)						2	1.00	2.00	
<b>MOTORS</b>		(number of)							2.00		
<b>RESID/COM</b>		Electric units							1.00		
<b>HEATING</b>		oil/gas units		Interior		Exterior			5.00		
		Ranges		Cook Tops		Wall Ovens			2.00		
Insta-Hot		Water heaters		Fans		Dryers			2.00		
Disposals		Dishwasher		Compactors		Others (denote)			2.00		
<b>MISC. (number of)</b>		Air Cond/win							3.00		
		Air Cond/cent				Pools			10.00		
		HVAC		EMS		Thermostat			5.00		
		Signs							10.00		
		Alarms/res							5.00		
		Alarms/com							15.00		
		Heavy Duty(CRKT)							2.00		
		Circus/Carnv							25.00		
		Alterations							5.00		
		Fire Repairs							15.00		
		E Lights							1.00		
		E Generators							20.00		
	<b>PANELS</b>	2	Service		Remote		Main		2	4.00	8.00
	<b>TRANSFORMER</b>		0-25 Kva							5.00	
		25-200 Kva							8.00		
		Over 200 Kva							10.00		
							TOTAL AMOUNT DUE				
							<b>MINIMUM FEE/COMMERCIAL 35.00</b>	<b>MINIMUM FEE</b>	<b>25.00</b>	<b>25.00</b>	

INSPECTION: Will be ready \_\_\_\_\_ or will call XX

CONTRACTORS NAME Seacoast Electric MASTER LIC. # 03088

ADDRESS 74 Greenwood Lane, Portland 04103 LIMITED LIC. # \_\_\_\_\_

TELEPHONE 774-6179

SIGNATURE OF CONTRACTOR *J. C. P. [Signature]*





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 18 Brentwood St

Issued to Margaret Donovan/Clay Bouton

Date of Issue 26 August 1997

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970870, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Two Family Dwelling

**Limiting Conditions:**

This certificate supersedes  
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.