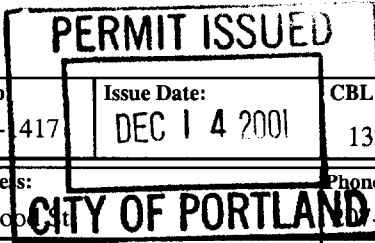


City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-417	Issue Date: DEC 14 2001	CBL: 132 C003001
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Location of Construction: 14 Brentwood St	Owner Name: Central Square Baptist Church	Owner Address: 14 Brentwood St	Phone: 773-2423
Business Name: Baptist Church	Contractor Name: Nedwell Builders	Contractor Address: 3 South Street Cape Elizabeth	Phone: 2077491223
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-1



Past Use: church call 749-1223 when ready	Proposed Use: church	Permit Fee: \$234.00	Cost of Work: \$35,000.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: <i>Boea 99</i>	

Proposed Project Description:
replace existing flat roof with a hip roof

Signature: *WJM* Signature: *DC*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jodinea	Date Applied For: 11/14/2001	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland <i>NO increased floor area only roof change</i></p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>11/21/01</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

01-1417

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14 Brentwood St, Portland ME 04103</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>132</u> Block# <u>C</u> Lot# <u>003</u>	Owner: <u>Central Square Baptist Church</u>	Telephone: <u>773-2423</u>
Lessee/Buyer's Name (If Applicable) <u>Central Square Baptist Church</u>	Applicant name, address & telephone: <u>Central Square Baptist Church 4 Brentwood St Portland, ME 04101</u>	Cost Of Work: \$ <u>35,000</u> Fee: \$ <u>234.00</u>
Current use: <u>Church</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Church</u>		
Project description: <u>replacing existing flat roof with a hip roof.</u> <u>*NO NEW FLOOR AREA - to eliminate flat roof leaks per</u>		
Contractor's name, address & telephone: <u>Nedwell Builders 3 south St Cape Elizabeth ME 04107</u>		
Who should we contact when the permit is ready: <u>Philip Nedwell</u> (207) 749-1223		
Mailing address: <u>3 south St Cape Elizabeth ME 04107</u>		
		11/21/01 Phone: <u>749-1223</u>

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT. Call

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>11/14/01</u>
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DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

This is not a permit, you may not commence ANY work until the permit is issued

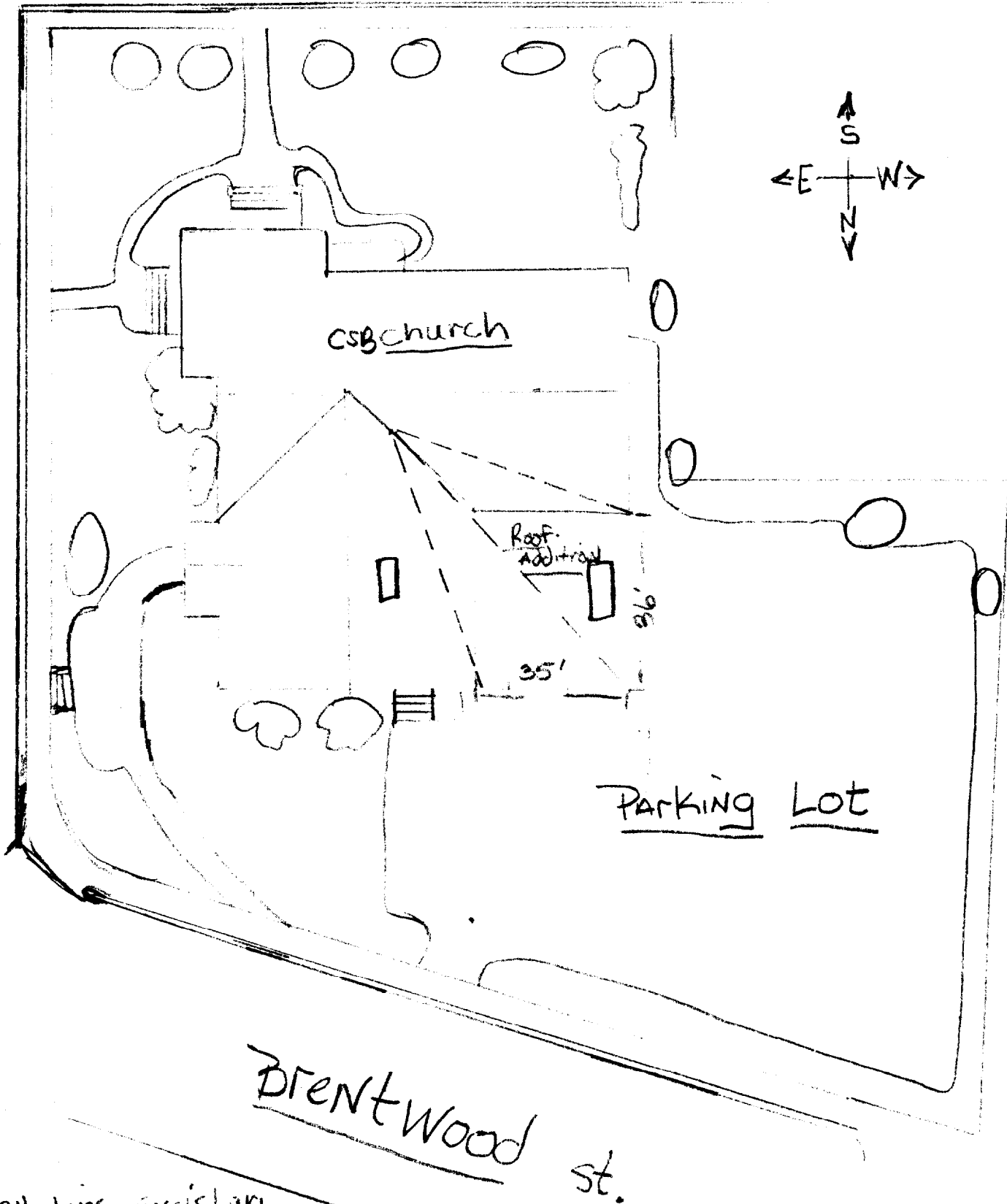
NOV 14 2001

11/15/01
Gault

Site Plan Central Square Baptist

Pleasant st.

Stevenson st.



All lines existing
except hyphenated
lines over NW corner

GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
- All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
- The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

- Building code:
BOCA National Building Code (1999)
- Design Live Loads:
Roof.....42 PSF + Drift
- Design wind loads are based on exposure B using 85 mph basic wind speed.

FOUNDATION NOTES:

- Foundations have been designed with a presumptive soil bearing capacity of 2000 PSF to be verified in the field.
- Interior spread footings and exterior strip footings shall be founded on undisturbed soil or compacted structural fill.
- Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90-100
NO.4	35-70
40	5-35
200	0-5

- Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
- Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
- Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
- Open excavations shall be adequately braced or properly benched.
- Backfill both sides of foundation walls and grade walls simultaneously.

CONCRETE NOTES:

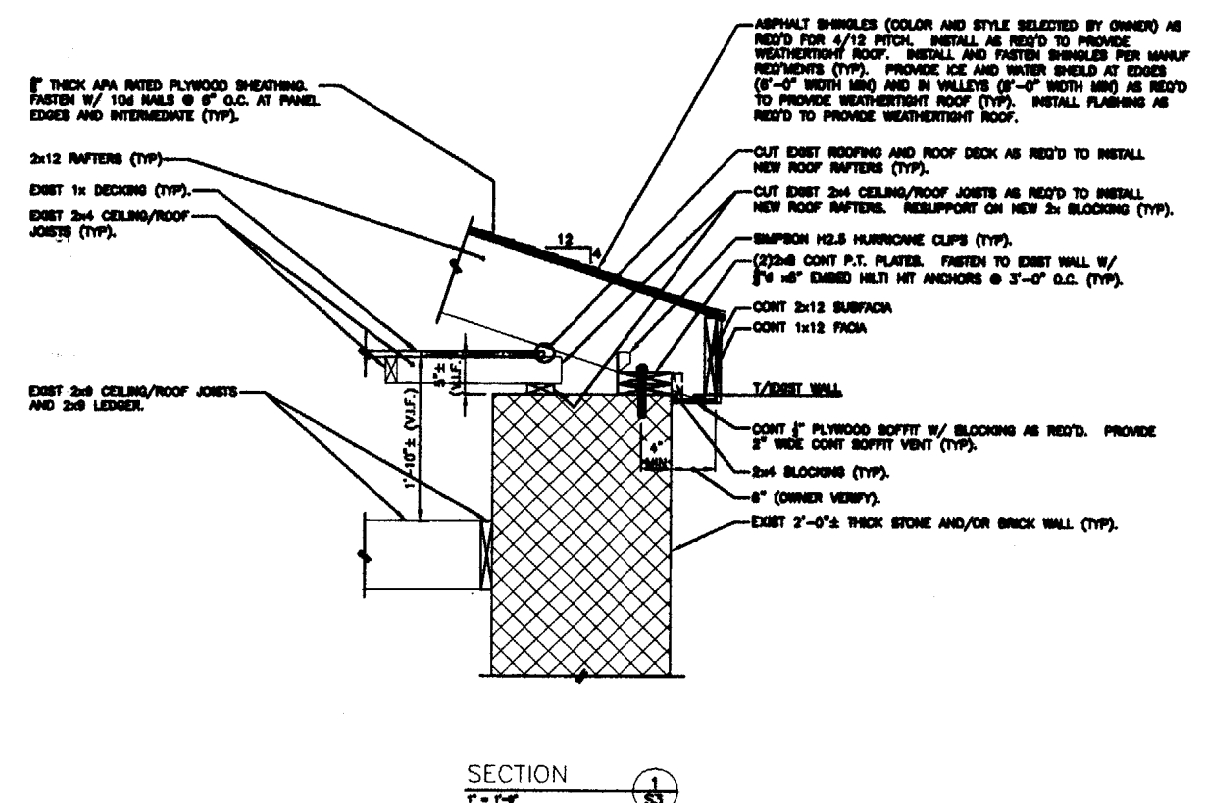
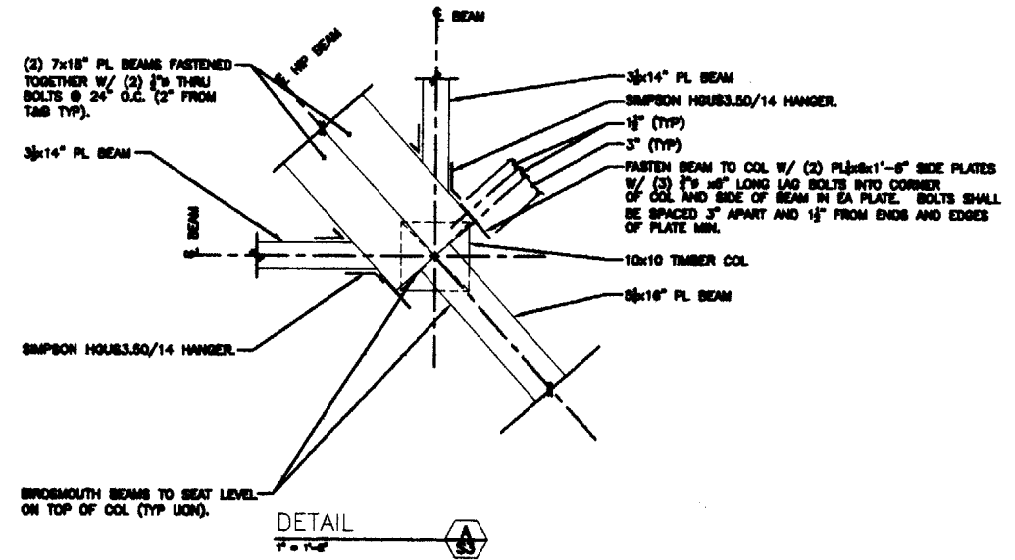
- All concrete work shall conform to ACI 318-89.
- Concrete strength at 28 days shall be 3000 PSI for footings and walls.
- All concrete shall be air entrained 4% to 6%.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs.
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
- Welded wire fabric shall be provided in flat sheets.
- Fiber reinforced concrete shall conform to ASTM C-1116.
- Splices of reinforcing bars shall be in accordance with ACI 318-89. Splices of WWF shall be 6" minimum.
- Concrete finishes: Per owner.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- The general contractor shall be responsible for coordination of door bondout locations and slab depression & bondout locations with Architectural, Mechanical & Plumbing drawings, and kitchen equipment vendors as necessary to properly install each specific item.

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Ninth edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

TIMBER FRAMING:

- All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
- Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
- Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
- Provide 2x solid lumber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
- Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
- Provide Simpson H2.5 Hurricane anchors at each end of timber rafters.
- Nailing not specified shall conform with BOCA appendix C.
- Provide 19/32" thick APA rated sheathing on roof framing.
- Provide 15/32" thick APA rated sheathing on exterior wall framing.
- Provide 23/32" thick APA rated sheathing on floor framing.



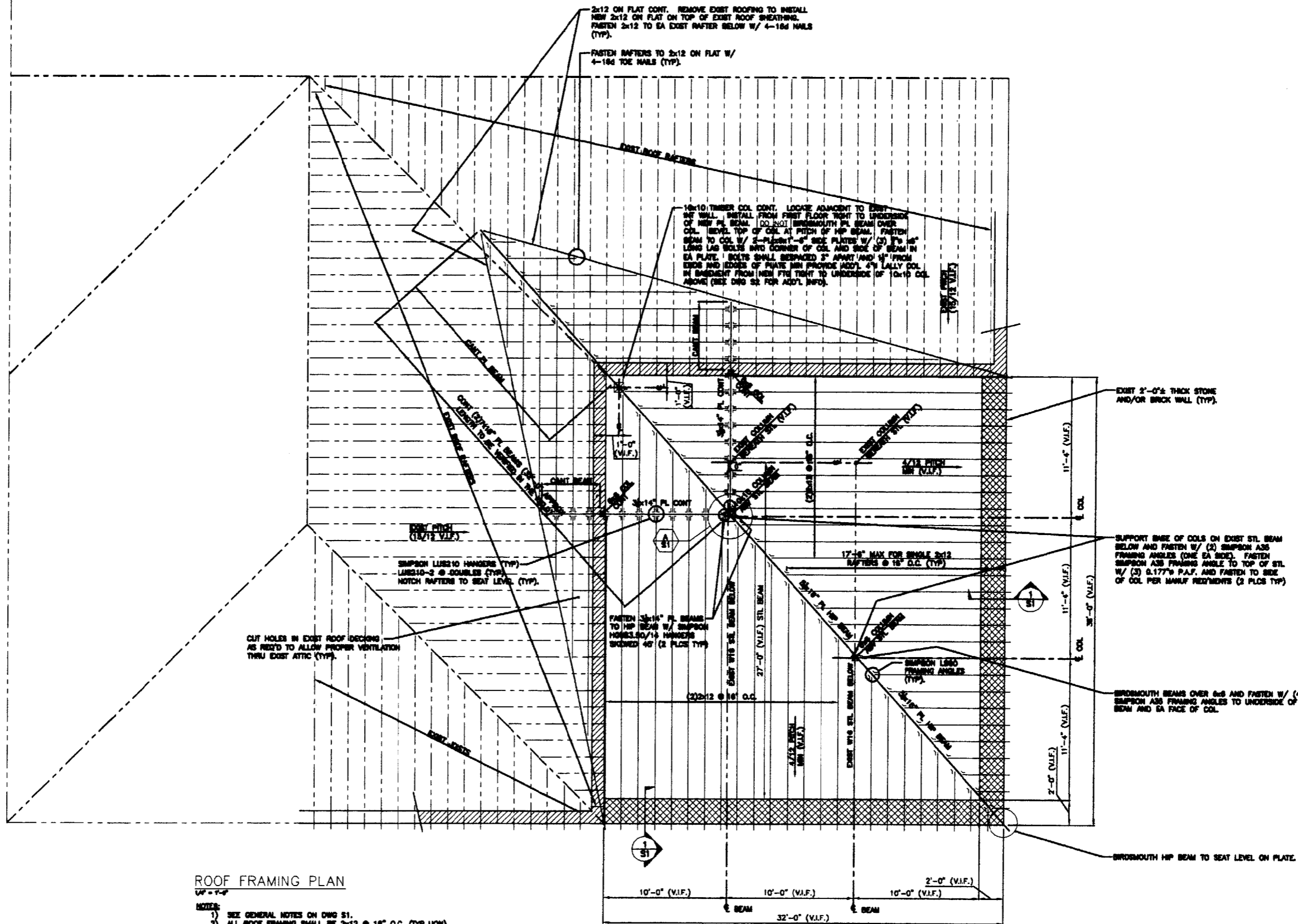
L & L STRUCTURAL ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106
 PHONE: (207) 787-6630
 FAX: (207) 789-5432
 EMAIL: LLENG@LLENG.COM



Designed by: JLL	Checked by: JLL
Drawn by: JLL	Scale: 1/8" = 1'-0"
Date: JULY 9, 2008	Sheet: 1 of 1
Project: 08071	

CENTRAL SQUARE BAPTIST CHURCH
 STEVENS AVENUE
 PORTLAND, MAINE
 GENERAL NOTES, SECTIONS AND DETAILS

S1



ROOF FRAMING PLAN

- NOTES:
- 1) SEE GENERAL NOTES ON DWG S1.
 - 2) ALL ROOF FRAMING SHALL BE 2x12 @ 16" O.C. (TYP UNO).
 - 3) "PL" INDICATES PARALLAM BEAM MANUFACTURED BY TRUS-JOIST MACMILLAN OR APPROVED EQUAL.

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 797-4637
FAX: (207) 799-5432
EMAIL: LLD@LLOL.COM



Project #	20071
Client	CENTRAL SQUARE BAPTIST CHURCH
Location	STEVENS AVENUE, PORTLAND, MAINE
Drawn by	JLL
Checked by	JLL
Scale	1/4" = 1'-0"
Date	JULY 9, 2007
Print Date	JULY 9, 2007

CENTRAL SQUARE BAPTIST CHURCH
STEVENS AVENUE
PORTLAND, MAINE

ROOF FRAMING PLAN



DRAWING NOT TO SCALE