

Sent on behalf of Larry Sturdivant.

Helena Downing
Executive Assistant
Shawmut Design and Construction
560 Harrison Avenue, Boston MA 02118
tel 617 622 7526 fax 617 622-8526
email: Hdowning@shawmut.com

From: Sturdivant, Lawrence
Sent: Friday, May 23, 2008 10:37 AM
To: Downing, Helena
Subject: 3 Matthews Street

FAX 12078748716 I cannot get it to work

Attn: Tammy

RE: 3 Matthew Street Portland

Please find attached five sketches as requested. Please call me with any questions @ 207-752-0091. Thanks,

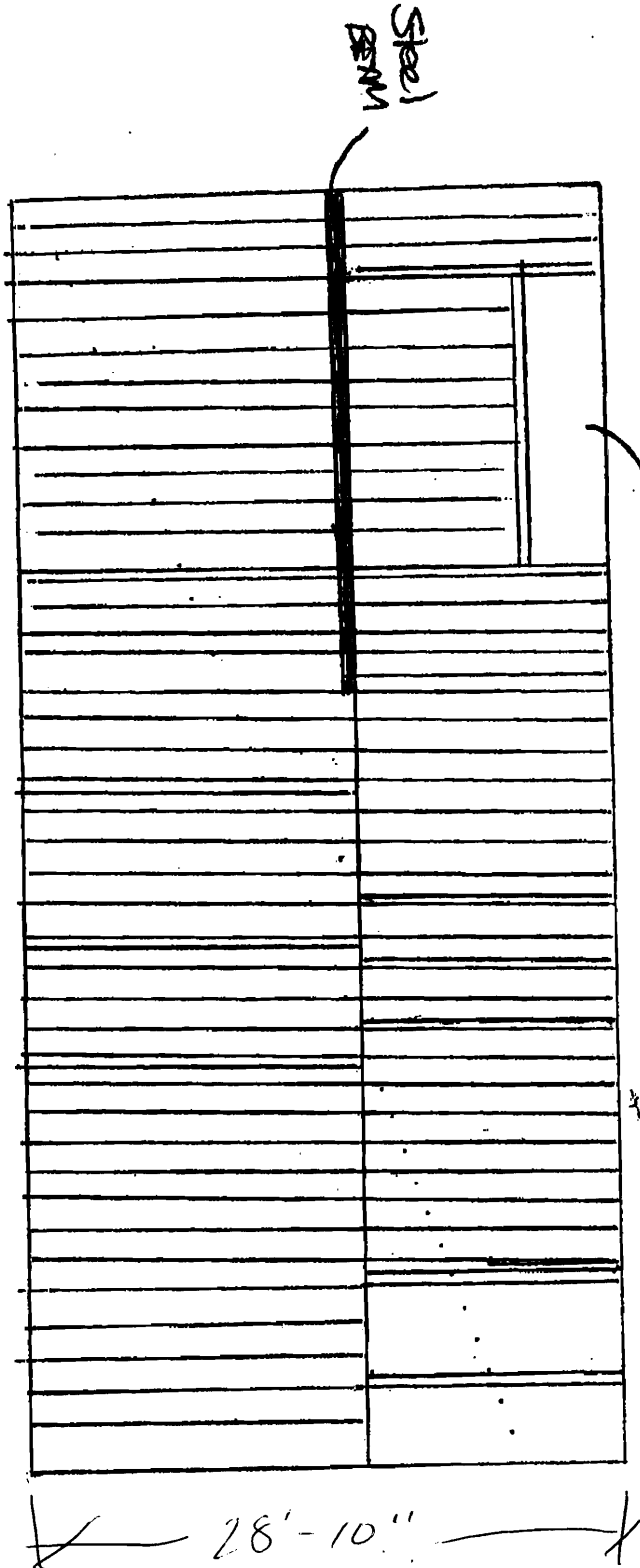
<<MATTHEWS STREET.pdf>>

Lawrence Sturdivant
Project Executive
Shawmut Design and Construction
560 Harrison Avenue
Boston, MA 02118
P 617.622.7550 • F 617.622.8550
www.shawmut.com

41 EA 2X12 FLOOR JOIST SUPPORTED BY LOAD BEARING WALL
STEEL BEAM 20'-2" SPANNING LIVING ROOM
2X12 FLOOR JOIST ATTACHED TO BEAM WITH JOIST HANGER
WOOD NAILER BOLTED TO PRE PUNCHED STEEL BEAM



STAIR ONLY @ 2ND FLOOR

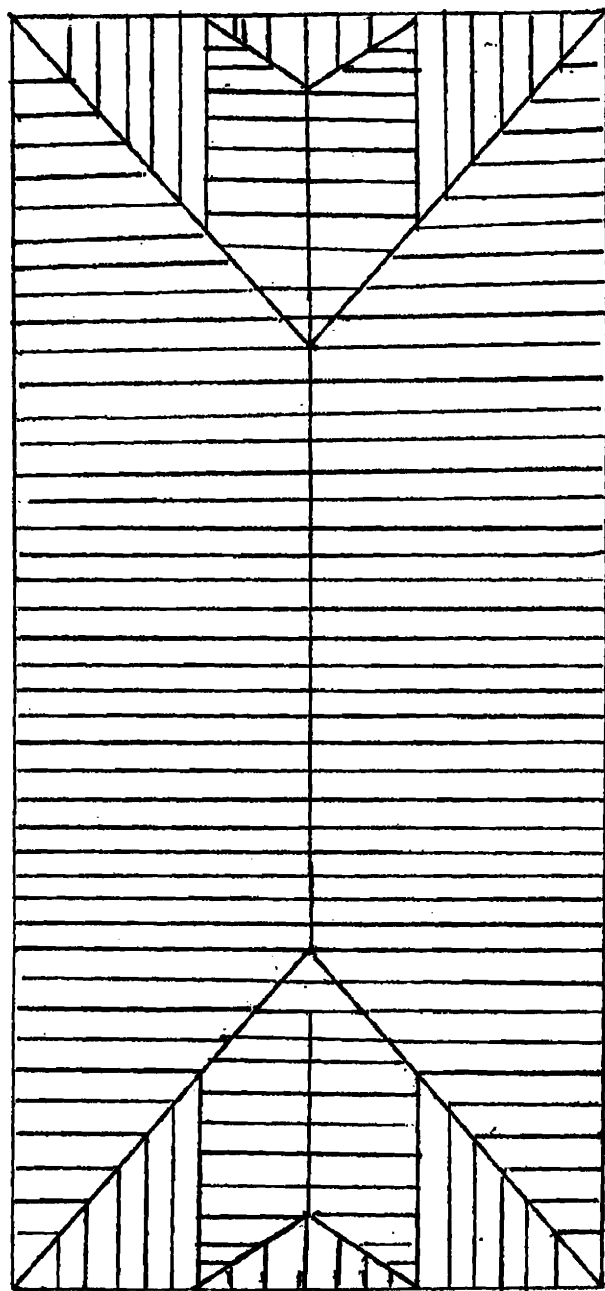


JOIST HANGER AS REQUIRED
DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENINGS

2ND FLOOR FRAMING
3RD FLOOR FRAMING

3 MATTHEWS STREET

MAIN RIDGE & HIP 1 3/4" x 14 LVL
HANGER PER CODE
2 X 12 ROOF RAFTER - MAIN ROOF 16" O.C.
2 X 8 ROOF RAFTER @ DORMER
2 EA 1 3/4" x 14 LVL TO SUPPORT DORMER WALL
1/2 PLYWOOD ROOF SHEATHING

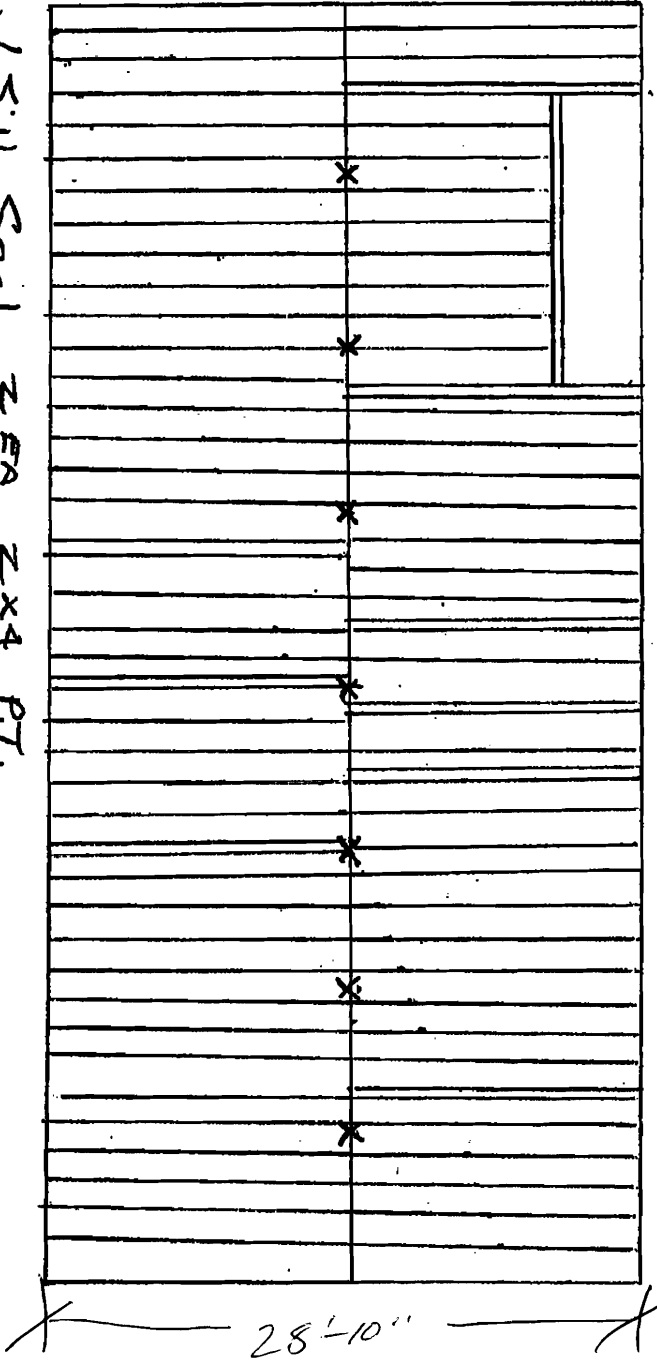


ROOF

3 MATTHEW STREET

Need more lally's

(3) 2X12 MAIN BEAM 2X2 CONTINGERS Both Sides
 (7) LALLY COLUMNS @ Approximately 7'-10" Apart
 4# EA 2X10 FLOOR JOIST EACH SIDE 16" OC - 15'-5" Max Span - OK
 DOUBLE FLOOR JOIST AT @// wall locations
 DOUBLE FLOOR JOIST @ ALL STAIR HEADERS
 WALL IN BASEMENT TO SUPPORT STAIR WELL OPENINGS
 RIM HEADER 2X10



Sill w/ Sill Seal 2EA 2X4 PT.

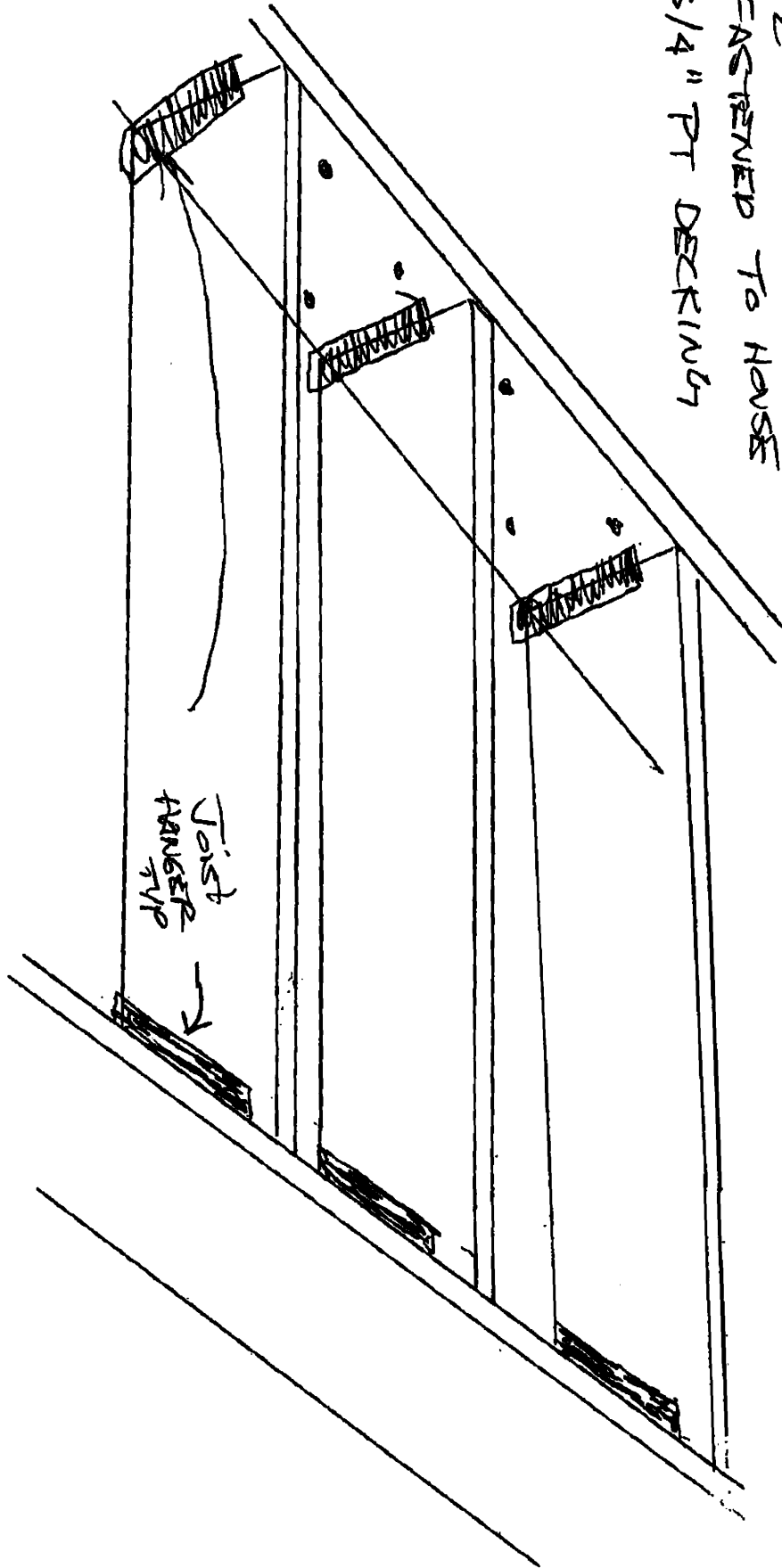
Anchor Bolts C/O O.C. @ Perimeter
 3/4 Plywood NAILED AND GLEUED PER NAIL SCHEDULE

1ST FLOOR FRAMING

3 MATTHEWS
 STREET

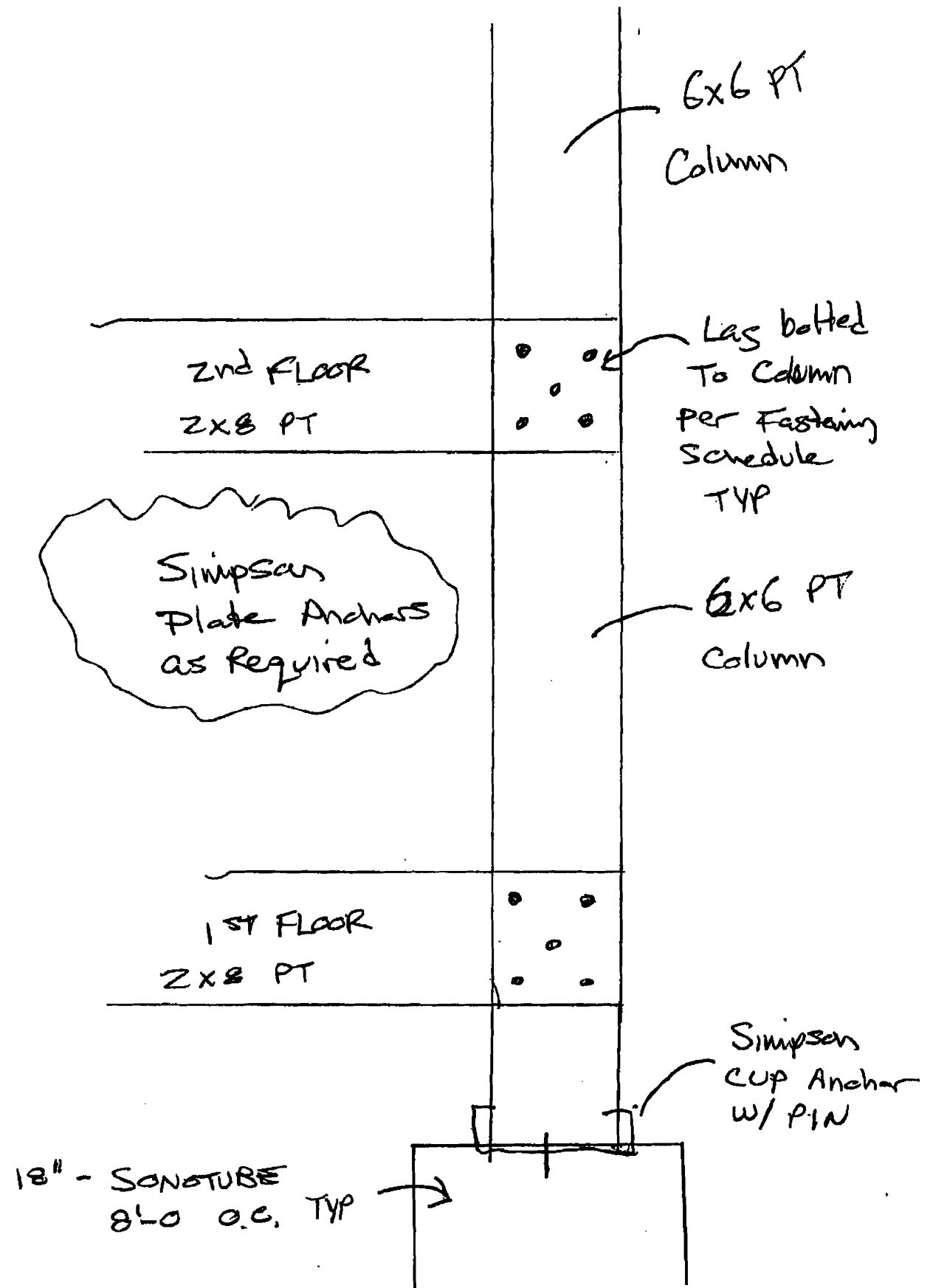
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2 X 8 P.T. PORCH JOIST WITH JOIST HANGER
1/2" X 4 1/2" LAG BOLT & WASHER SPACER PER FASTENING SCHEDULE
FASTENED TO HAUSE
3/4" PT DECKING



PORCH DETAILS

3 MATHEWS STREET



Builders and
Construction Managers

Shawmut Design and Construction
560 Harrison Avenue
Boston, Massachusetts 02118
Telephone 617-622-7000
Facsimile 617-622-7001



To:
Fax Number: 12078748716
Company:
Address 1:

From: Downing, Helena
Fax Number: 617-622-8526
Company: Shawmut Design and Construction
Voice Number: (617) 622-7297

Date: May 23, 2008
Subject: 3 Matthews Street

Total Pages: 7

Remarks:
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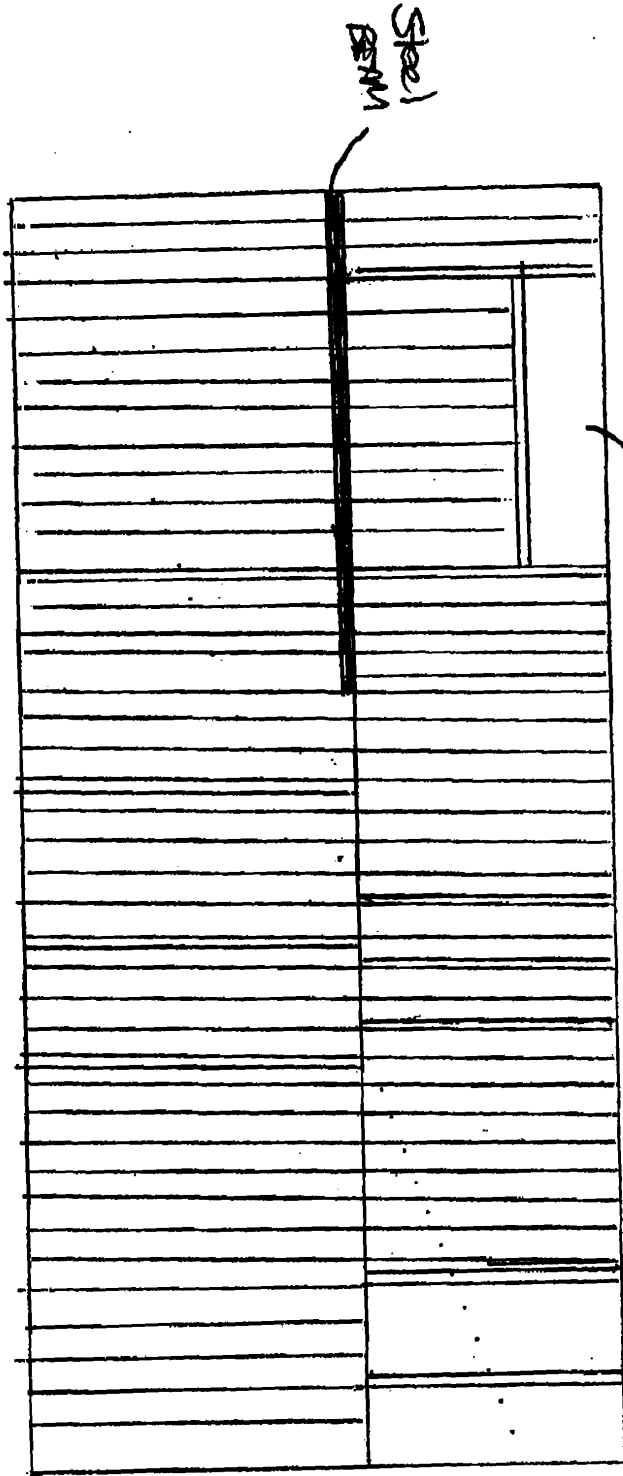
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STAIR ONLY @ 2ND FLOOR

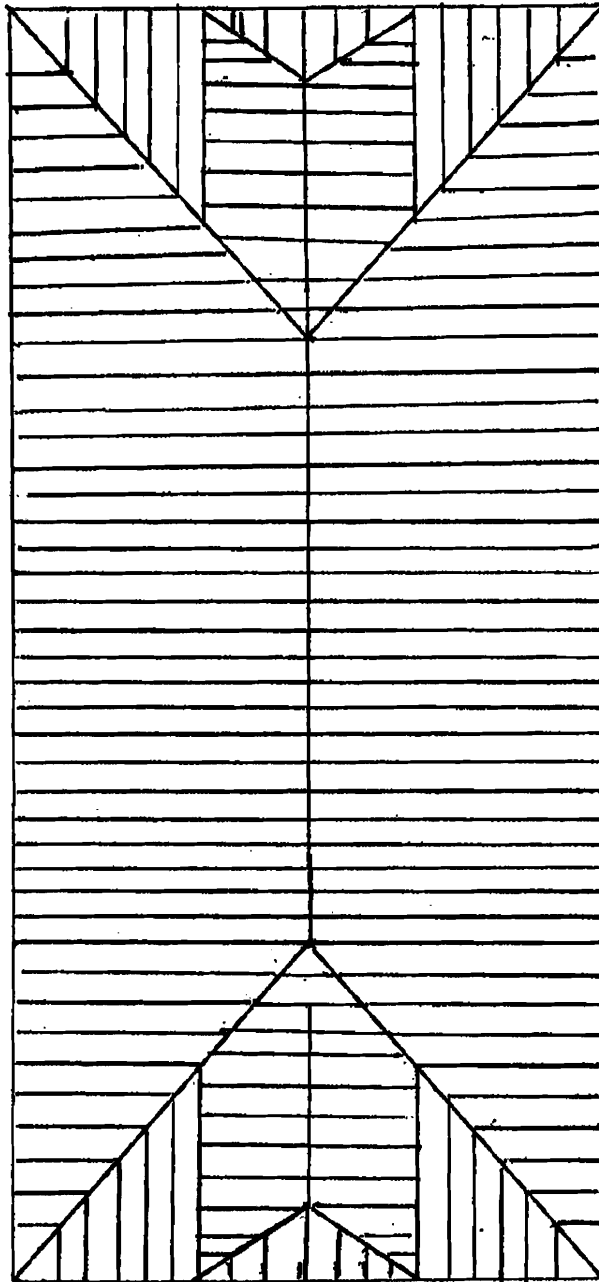


JOIST HANGER AS REQUIRED
DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENINGS

2ND FLOOR FRAMING
3RD FLOOR FRAMING

3 MATTHEWS STREET

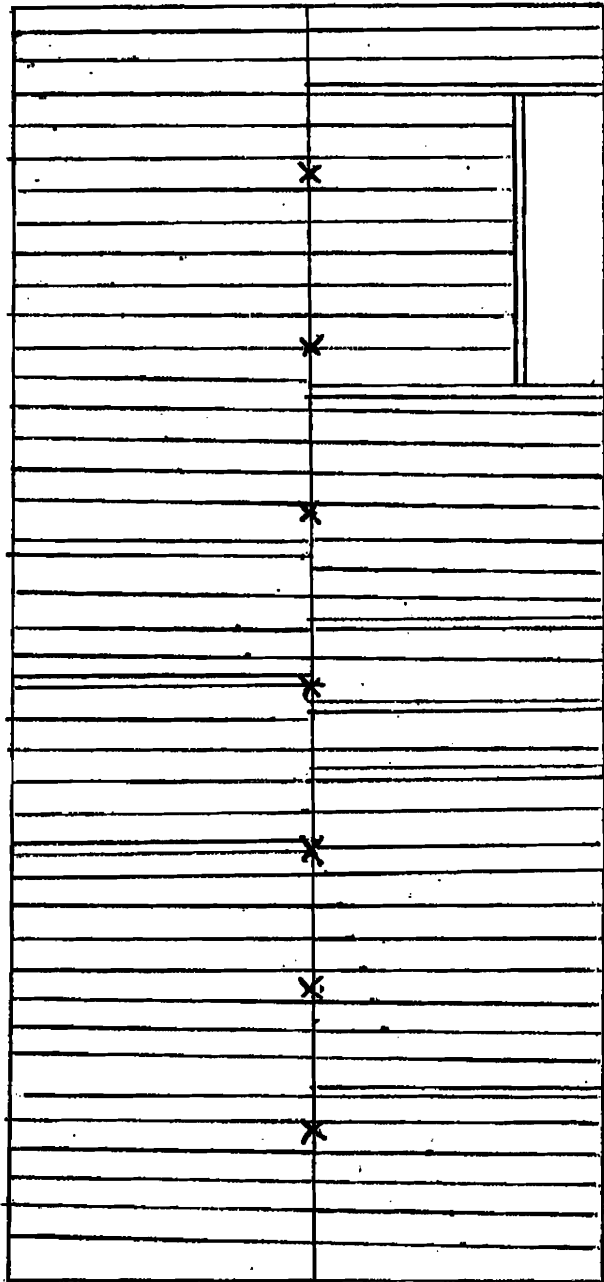
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ROOF

3 MATTHEW STREET

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 (7) LALLY COLUMNS @ APPROXIMATELY 7'-10" APART
 41 BA 2X10 FLOOR JOIST EACH SIDE 16" OC
 DOUBLE FLOOR JOIST AT @11 WALL LOCATIONS
 DOUBLE FLOOR JOIST @ ALL STAIR HEADERS
 WALL IN BASEMENT TO SUPPORT STAIR WELL OPENINGS
 RIM HEADER 2X10



Sill w/ Sill Seal 2EA 2X4 PT.

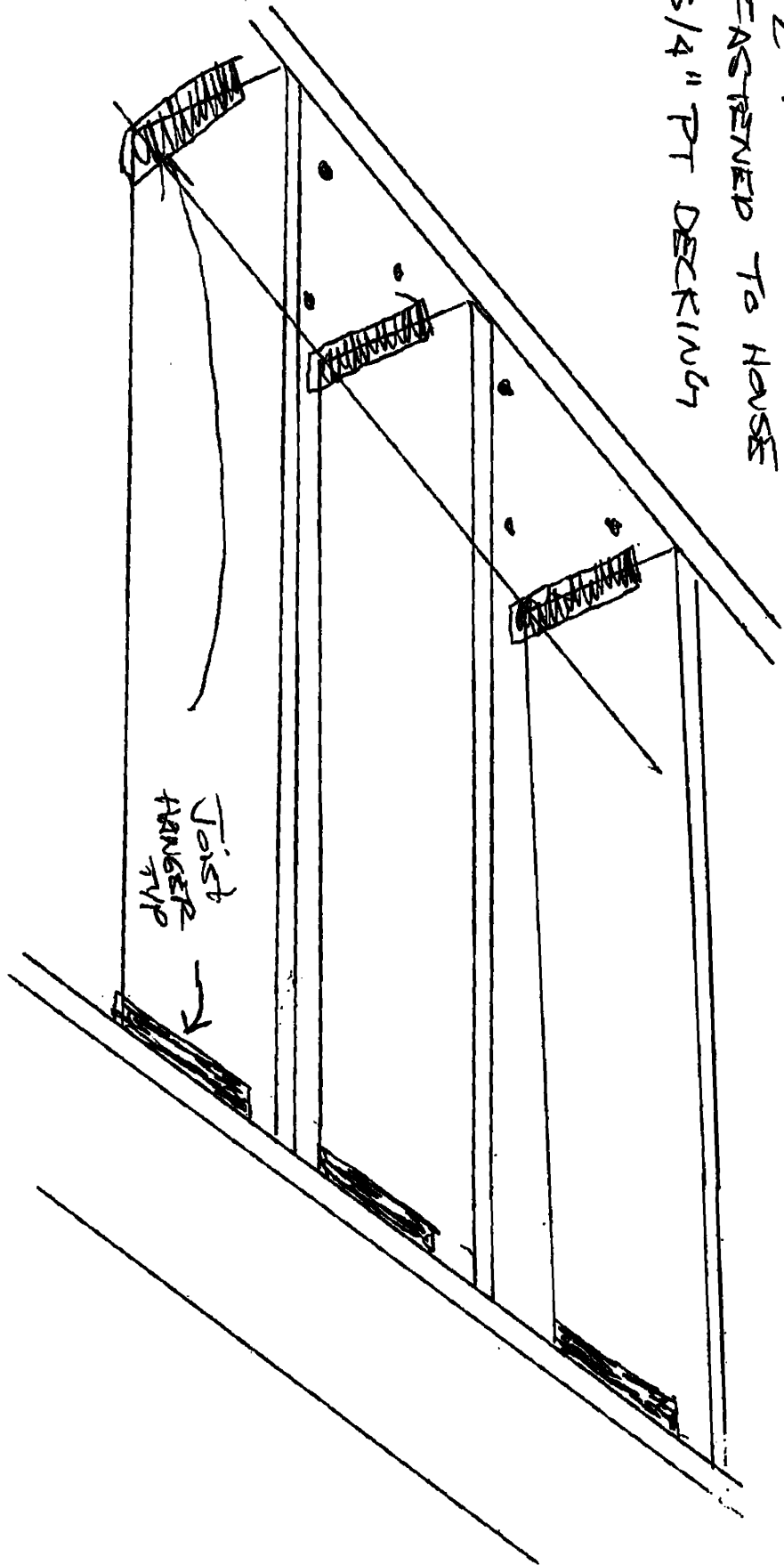
Anchor Bolts 1'-0" OC. @ Perimeter
 3/4 Plywood NAILED AND GLUED PER NAIL SCHEDULE

1ST FLOOR FRAMING

3 MATTHEWS
 STREET

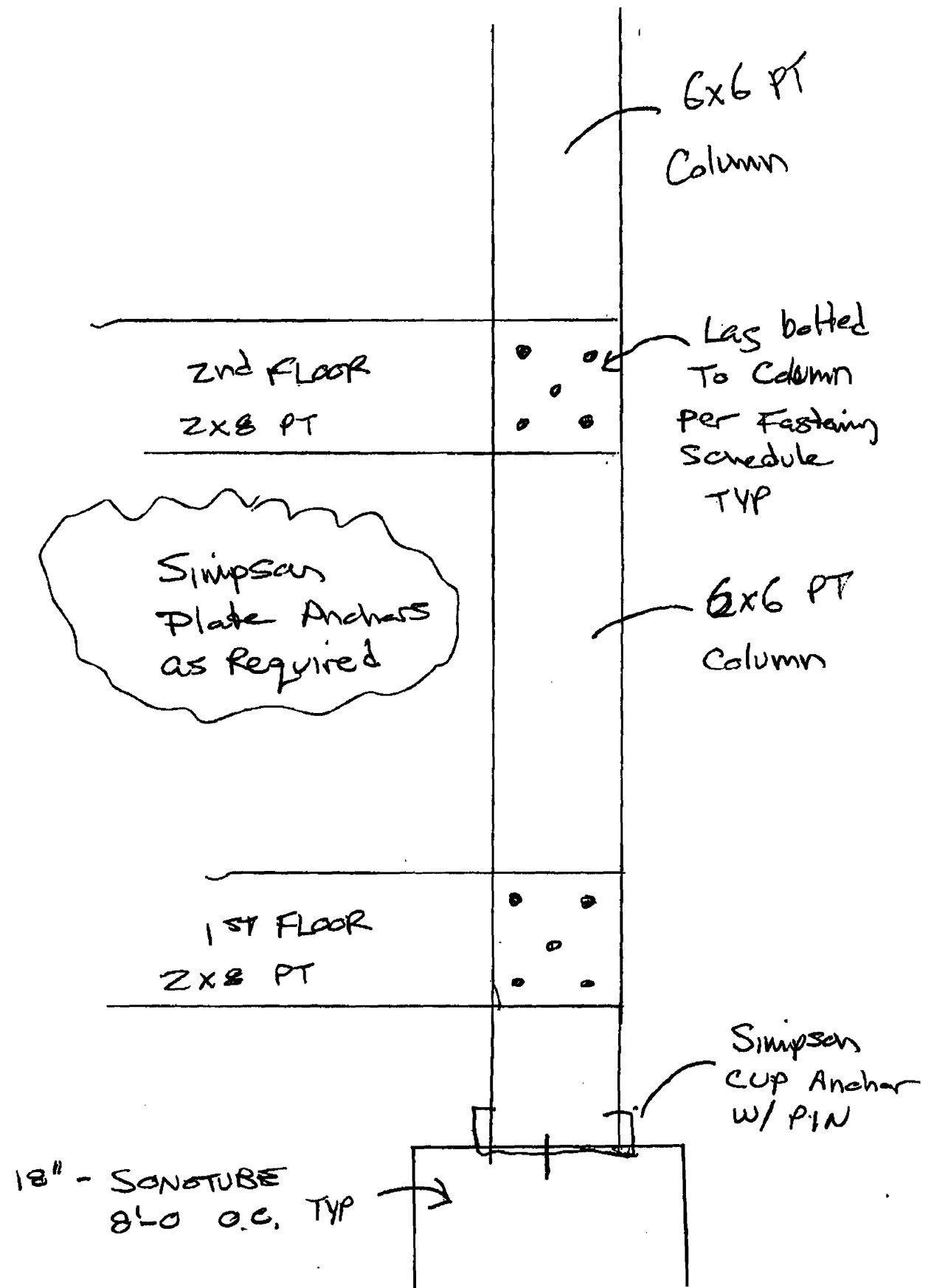
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1/2" X 4 1/2" LAG BOLT & WASHER SPACER PER FASTENING SCHEDULE
FASTENED TO HAUSE
3/4" PT DECKING



PORCH DETAILS

3 MATTHEWS STREET



FAX JOURNAL REPORT

TIME : 05/23/2008 13:06
 NAME :
 FAX : 2078748716
 TEL :
 SER.# : 000D7J529371

NO.	DATE	TIME	FAX NO./NAME	DURATION	PAGE(S)	RESULT	COMMENT
#355	05/14	14:08	97975882	19	02	OK	TX ECM
	05/14	16:00	207 772 3388	25	01	OK	RX
	05/14	22:07		15	02	OK	RX ECM
	05/15	10:38		23	01	OK	RX ECM
#356	05/15	12:08	918663703635	01:26	06	OK	TX ECM
	05/15	16:08	207 772 3388	25	01	OK	RX
	05/15	17:16	866 281 3468	36	01	OK	RX ECM
	05/16	13:56		20	01	OK	RX ECM
	05/17	10:36	207 772 3388	25	01	OK	RX
	05/19	10:08		28	02	NG	RX ECM
	05/19	10:10		15	01	NG	RX ECM
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#358	05/19	14:03	98928900	35	02	OK	TX ECM
	05/19	14:17		38	03	NG	RX ECM
	05/19	14:20		01:03	07	OK	RX ECM
	05/19	14:38	7814490325	01:05	02	OK	RX
#359	05/19	14:50	98741077	36	02	OK	TX ECM
	05/19	16:20	207 772 3388	25	01	OK	RX
#360	05/20	13:47	97671766	01:33	07	OK	TX ECM
	05/20	15:01		32	01	OK	RX ECM
#361	05/20	15:29	97257499	57	02	OK	TX ECM
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#363	05/21	13:42	97662676	24	01	OK	TX ECM
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	05/22	08:42		25	01	OK	RX ECM
	05/22	11:01	7757917	04:27	01	OK	RX ECM
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	05/22	11:31	207 874 2801	01:26	02	OK	RX ECM
	05/22	12:18		53	03	OK	RX ECM
#364	05/22	12:39	97732833	19	01	OK	TX ECM
#365	05/22	14:42	98746705	25	02	OK	TX ECM
	05/22	14:43		37	01	OK	RX
	05/22	14:45		31	01	OK	RX
	05/22	15:33		01:06	04	OK	RX ECM
	05/22	15:40		01:05	04	OK	RX ECM
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	05/22	15:46		01:04	03	NG	RX ECM
	05/22	15:49		36	01	NG	RX ECM
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	05/22	15:53		17	00	NG	RX ECM
	05/22	15:54		16	00	NG	RX ECM
	05/22	15:57	207 772 3388	25	01	OK	RX
	05/23	09:04		21	01	OK	RX ECM
	05/23	10:48	207 874 6705	19	02	OK	RX ECM
	05/23	11:53	207 797 5105	27	01	OK	RX ECM
	05/23	12:04	207 699 2120	28	02	OK	RX ECM
	05/23	13:04		01:45	07	OK	RX ECM

BUSY: BUSY/NO RESPONSE
 NG : POOR LINE CONDITION / OUT OF MEMORY
 CV : COVERPAGE
 POL : POLLING
 RET : RETRIEVAL
 PC : PC-FAX

6 Type of Heating System	<i>Not shown</i>	
Means of Egress (Sec R311 & R312) Basement Number of Stairways — <i>Need stair framing sections</i> Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) — <i>Not shown</i> Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3) — " "	<i>Not shown</i>	
Smoke Detectors (Section R313) Location and type/Interconnected	<i>OK - labeled</i>	
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)		
6 Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)	<i>Need better detail</i>	
7 Deck Construction (Section R502.2.1)	<i>Not shown</i>	

TO: CITY OF PORTLAND

ATTN: TAMMY

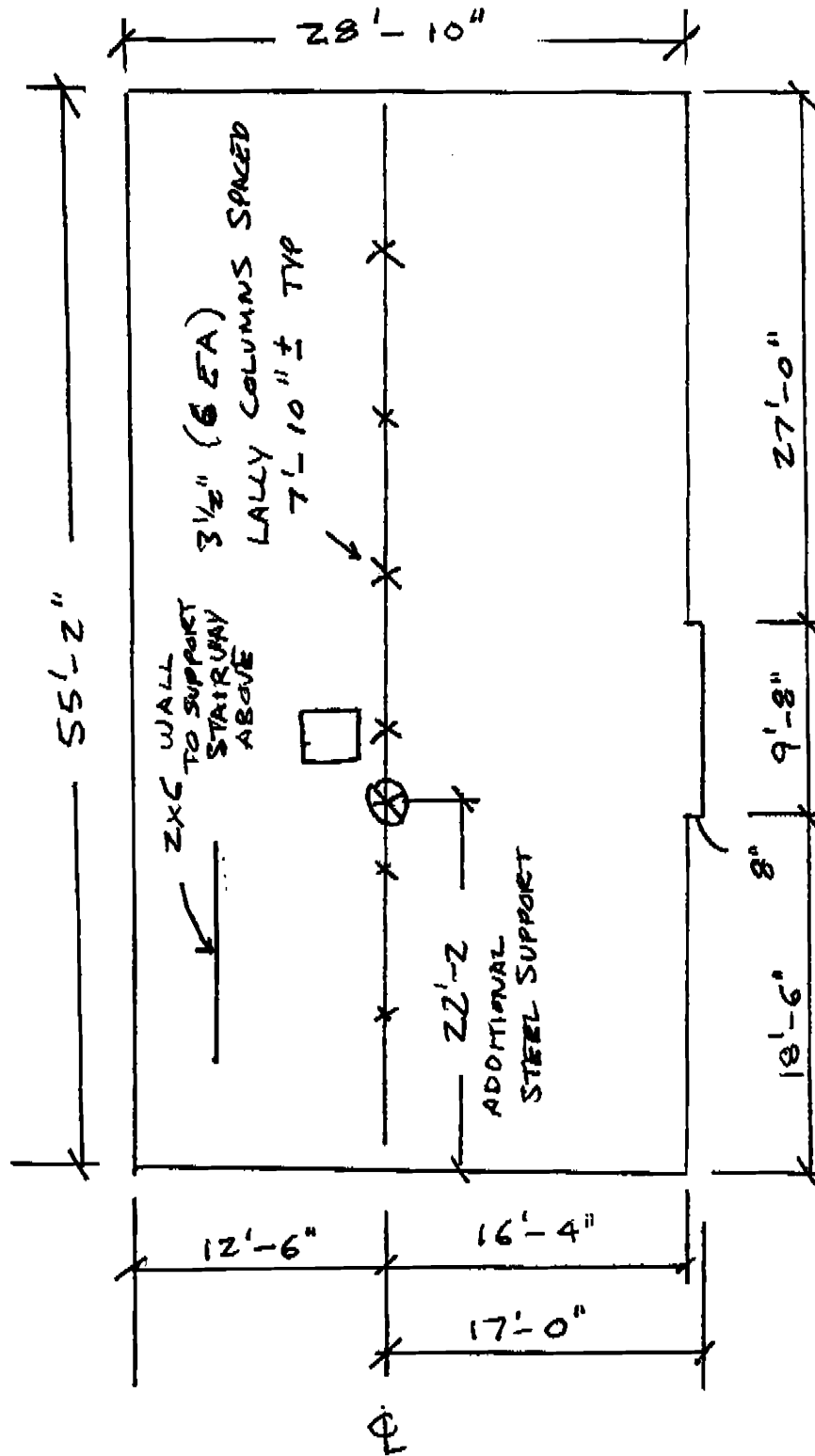
RE: 3 MATTHEW STREET

PAGES : 5

FROM: LARRY STURDIVANT

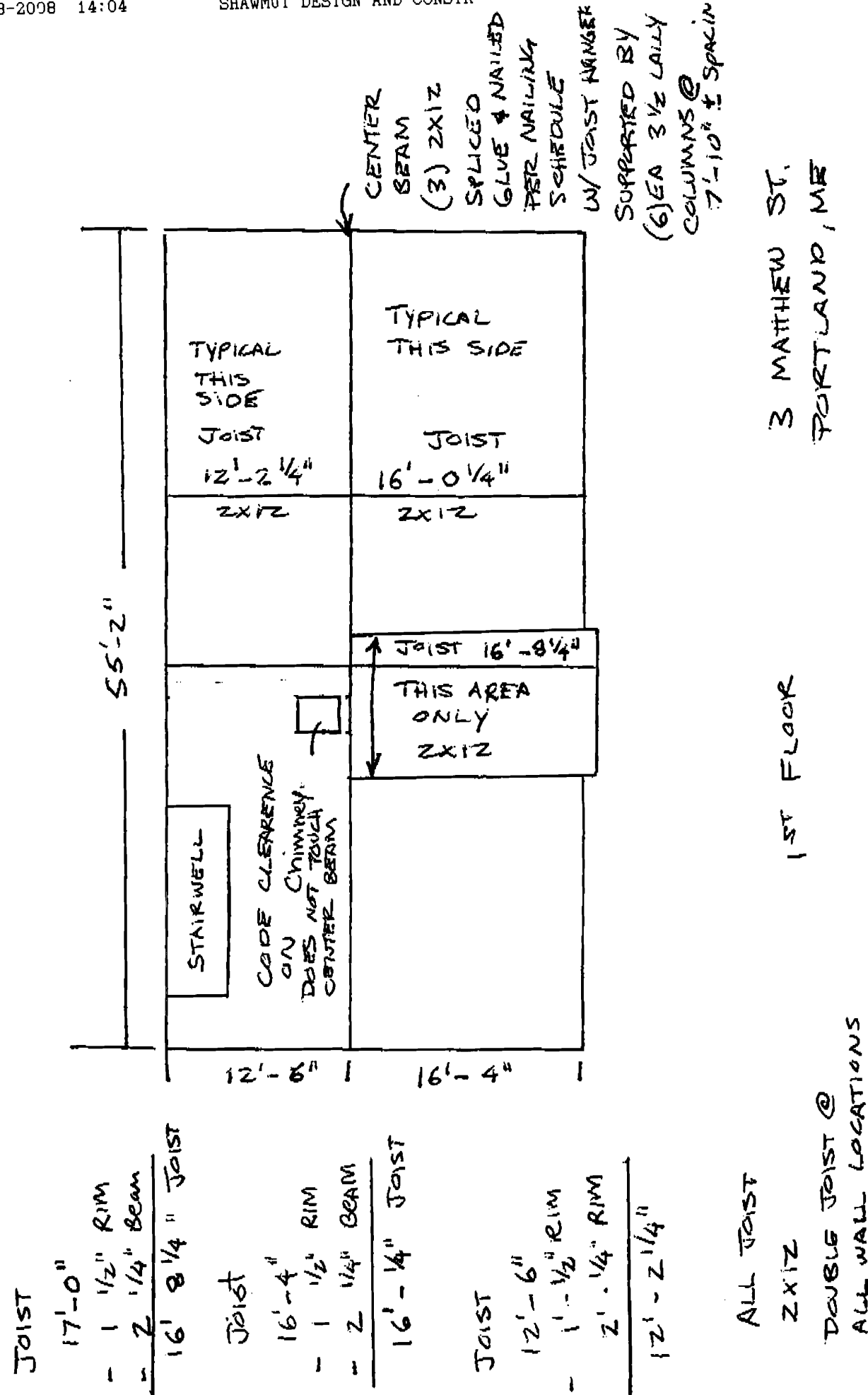
FAX NUMBER: 207-874-8716

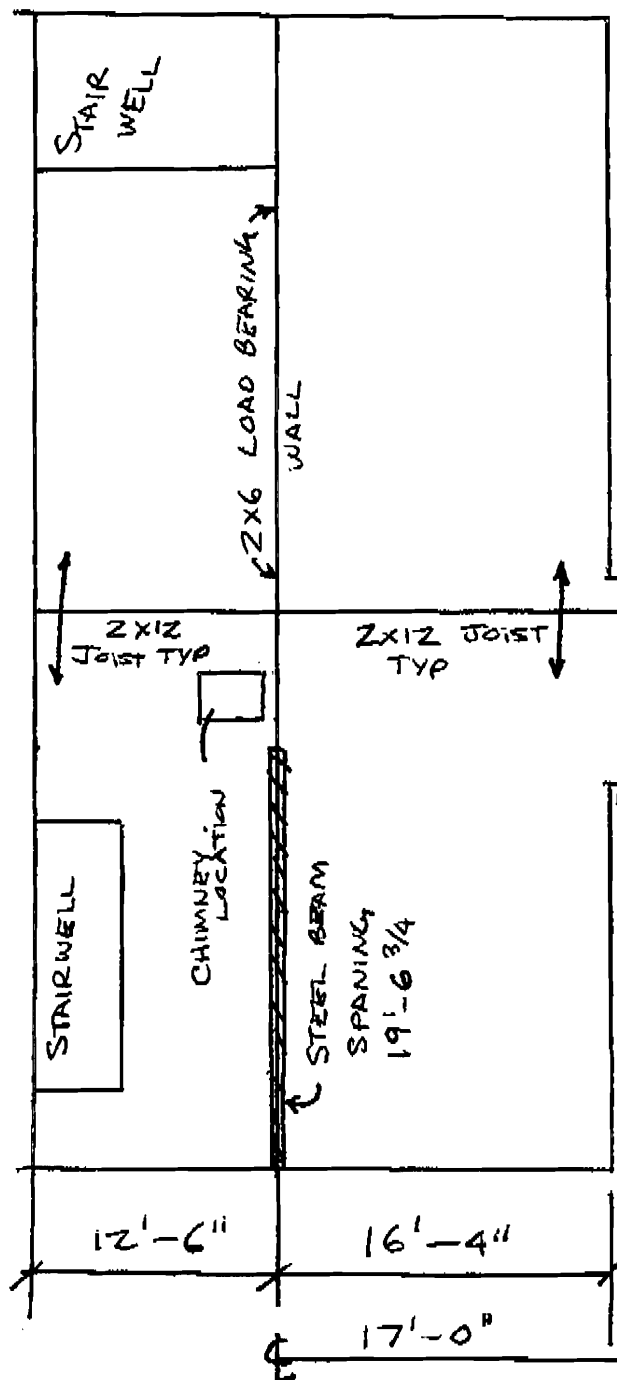
LARRY
752.0091



BASEMENT

3 MATHEWS STREET
PORTLAND, ME

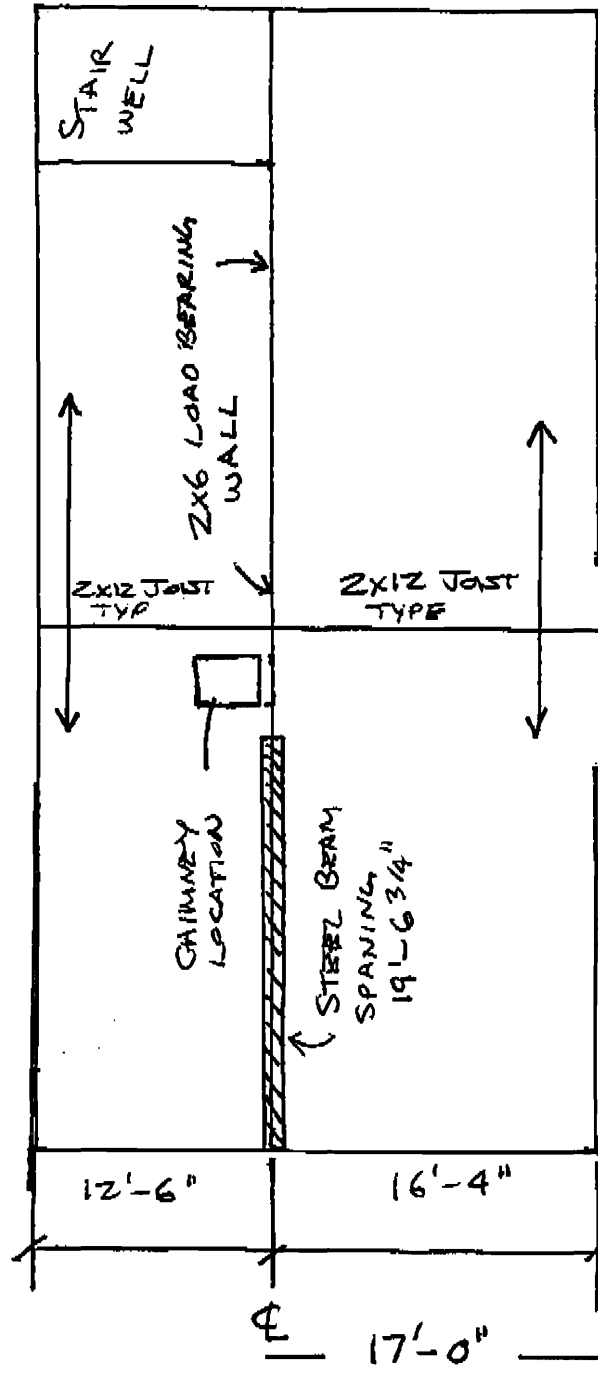




- (22'-6")
- (W12 X 26 12 1/4" X 6 1/2")
- (STEEL BEAM)
- (DRILLED AND PUNCHED)
- (TO RECEIVE WOOD NAILERS)
- (ANCHORED INTO TOP OF)
- (WALL W/ 2 5/8" LAG BOLTS)
- (WITH 5/8 WASHER, 6 X 8)
- (LVL SUPPORT TO BASEMENT)

2nd FLOOR

3 MATHIEW STREET
PORTLAND, ME



STEEL BEAM
 W/12 X 26 12' 1/4" X 6 1/2"
 LENGTH 22'-6"
 DRILLED AND PUNCHED
 TO RECEIVE WOOD NAILERS
 ANCHORED INTO TOP OF
 WALL W/ Z BR 5/8" LAG BOLTS
 WITH WASHER. 6 X 8 LVL
 SUPPORT TO BASEMENT

3rd FLOOR

3 MATTHEW STREET
 PORTLAND, ME

1-207-874-8716

ATTN: TAMMY

RE: 3 MATTHEWS STREET

6 pages

Call me when you get this

Thanks

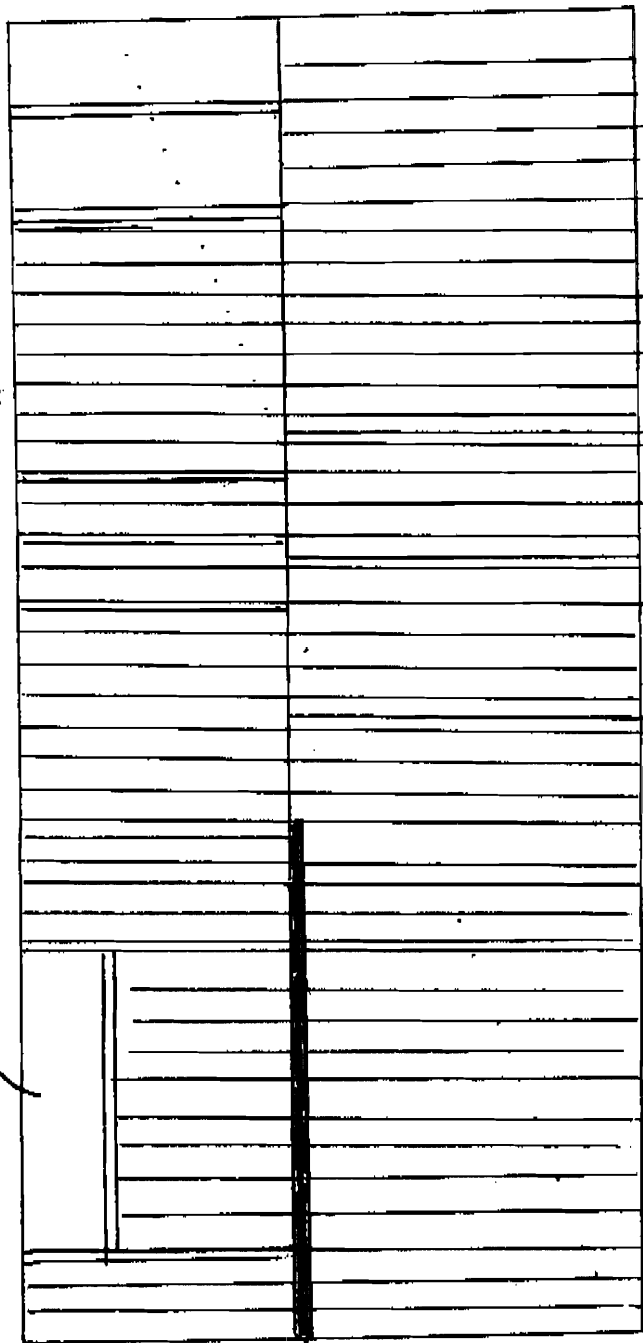
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Larry

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STAIR ONLY @ 2ND FLOOR



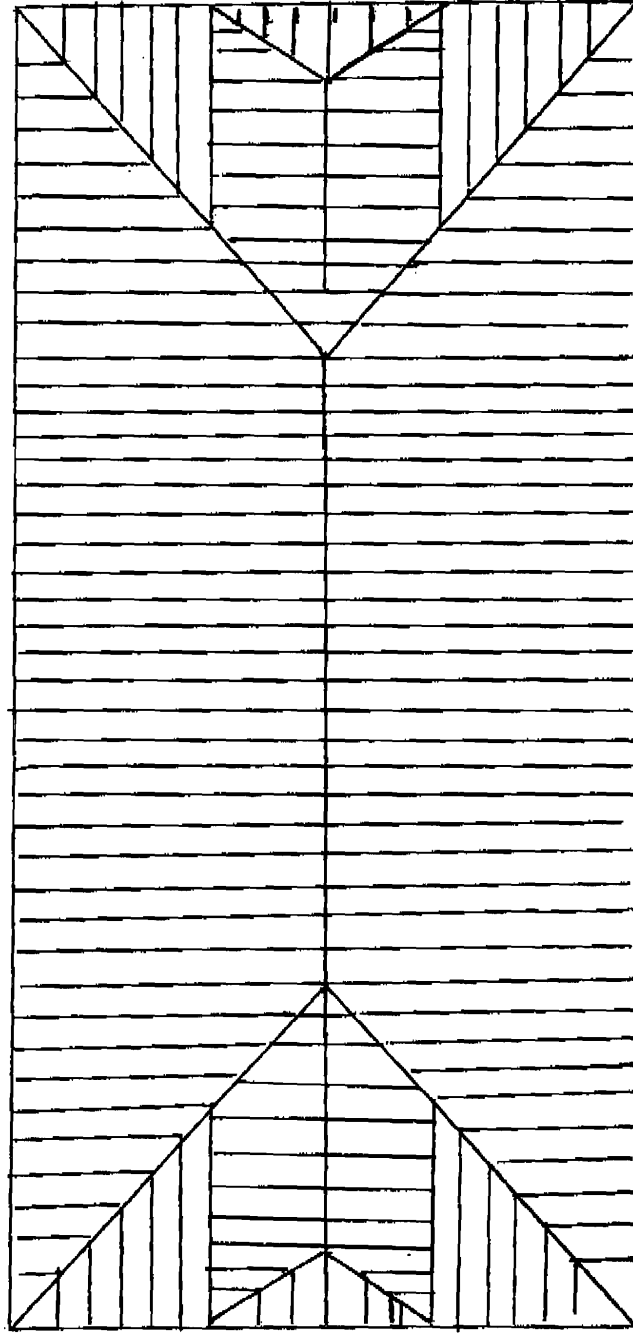
Steel
 BEAM
 SIZED

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 DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENINGS

2ND FLOOR FRAMING
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3 MATTHEWS STREET

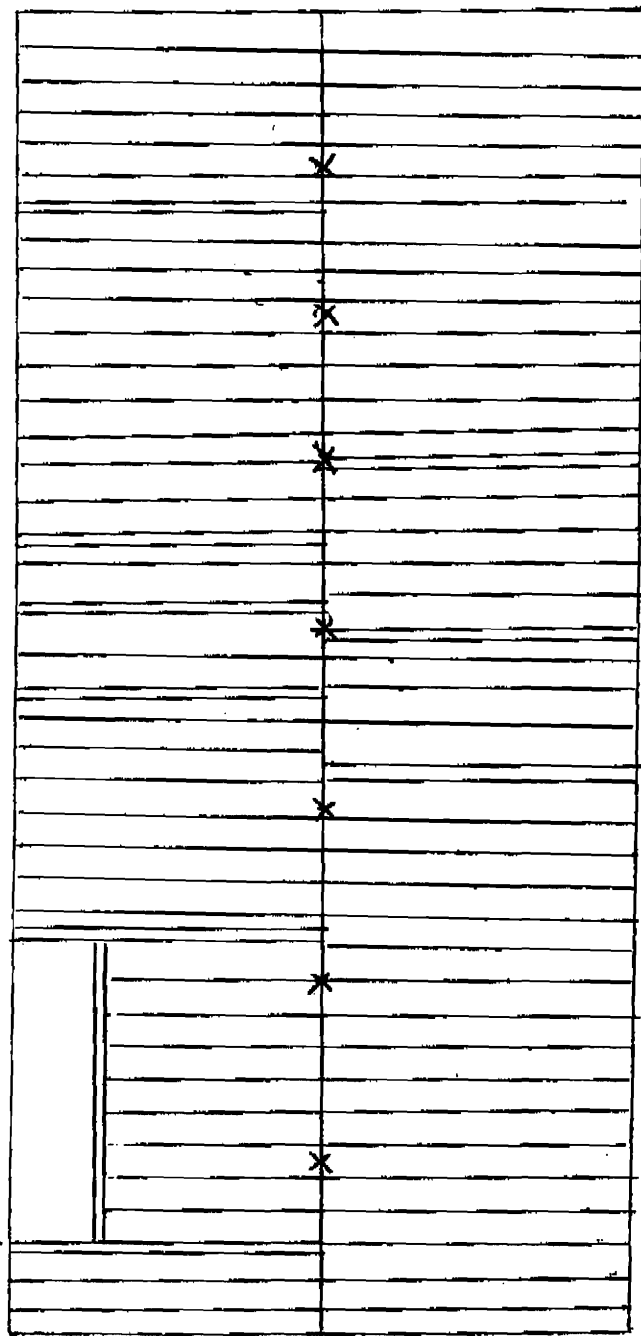
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Roof

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Sill w/ Sill Seal 2 EA 2X4 P.T.

Anchor Bolts C'-o O.C. @ PERIMETER

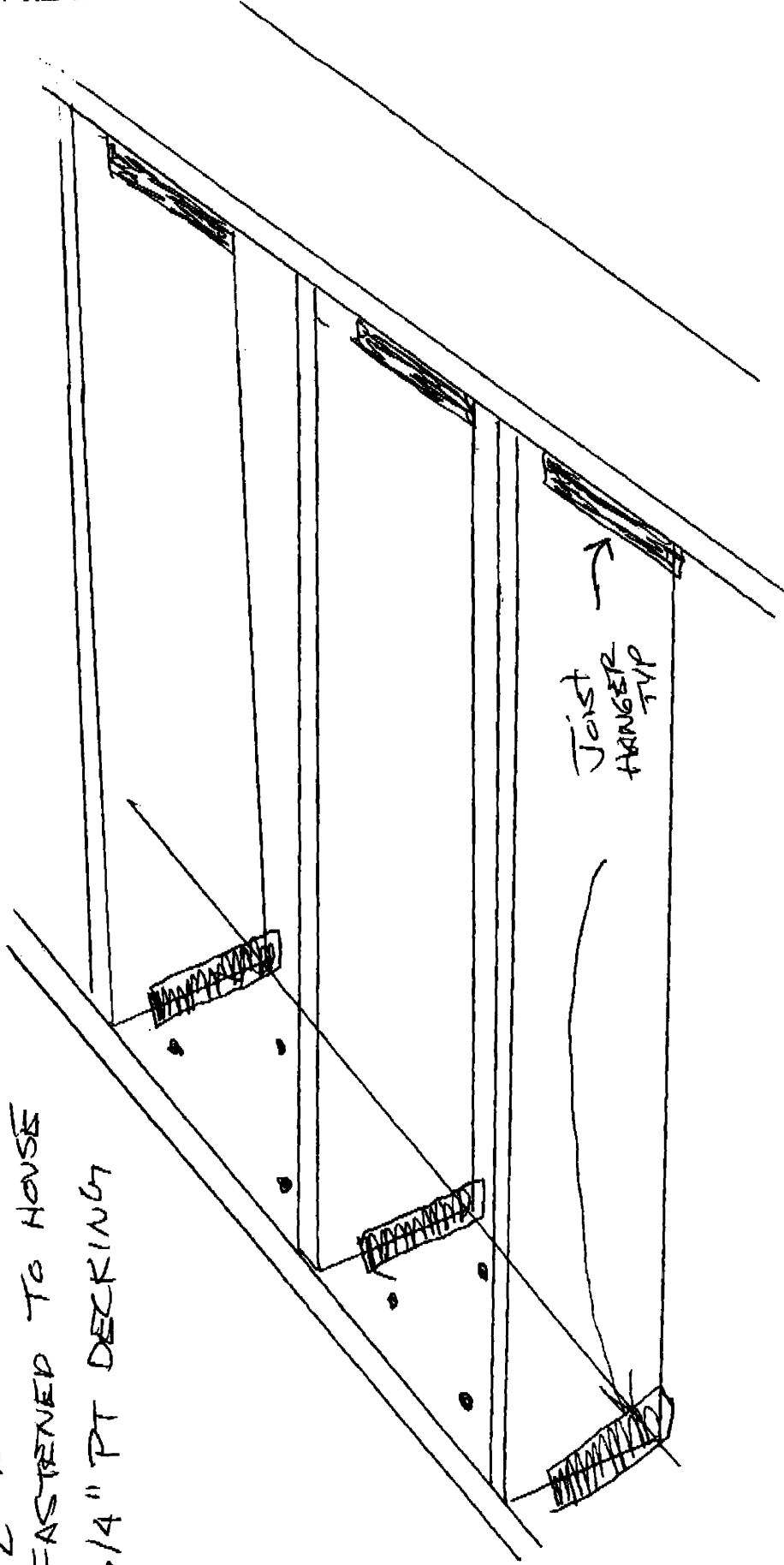
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1ST FLOOR FRAMING

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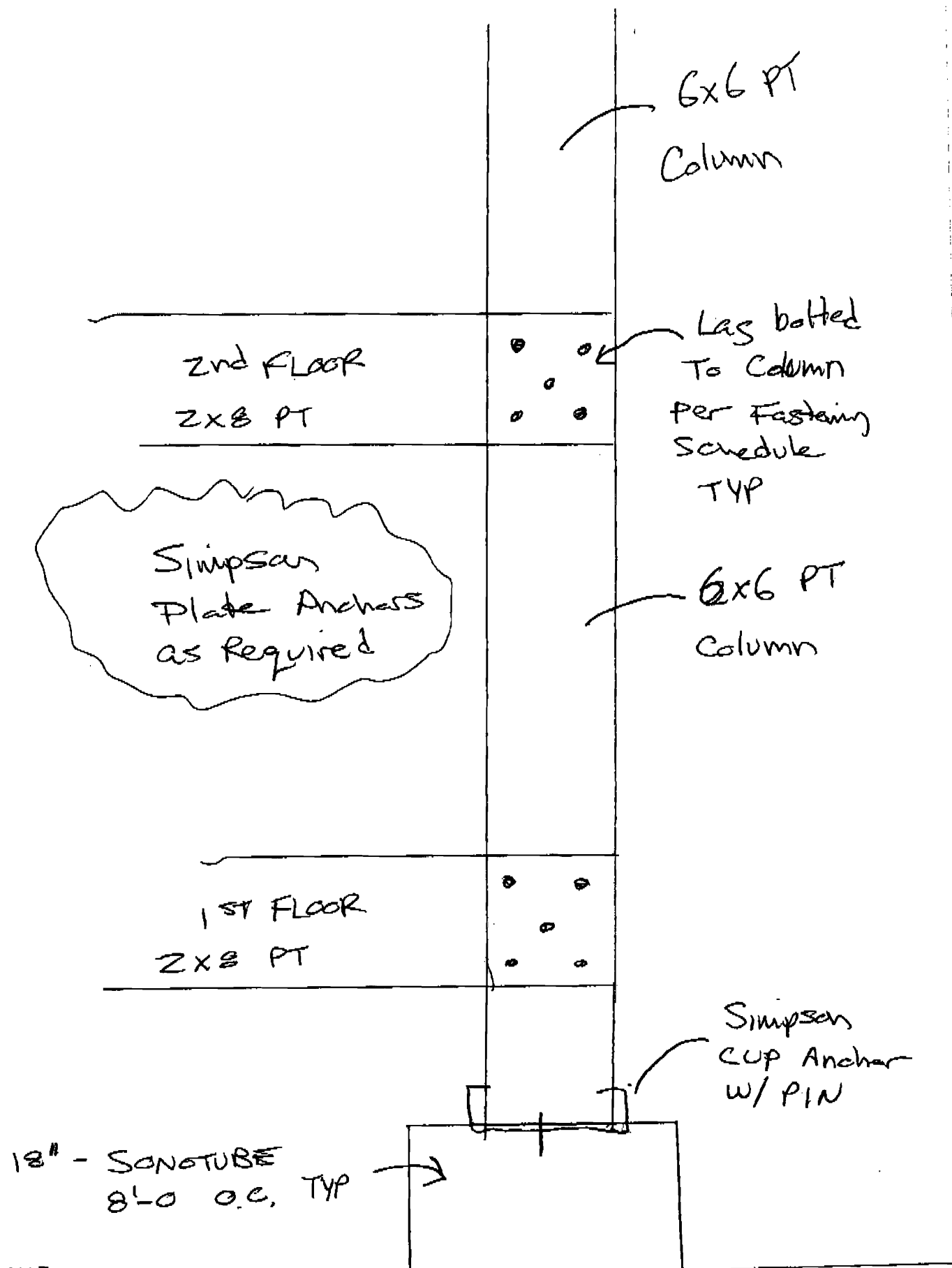
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FASTENED TO HOUSE
3/4" PT DECKING



PORCH DETAILS

3 MATHEWS STREET



1-207-874-8716

AHN: TAMMY

RE: 3 MATTHEWS STREET

6 pages

Call me when you get this

Thanks

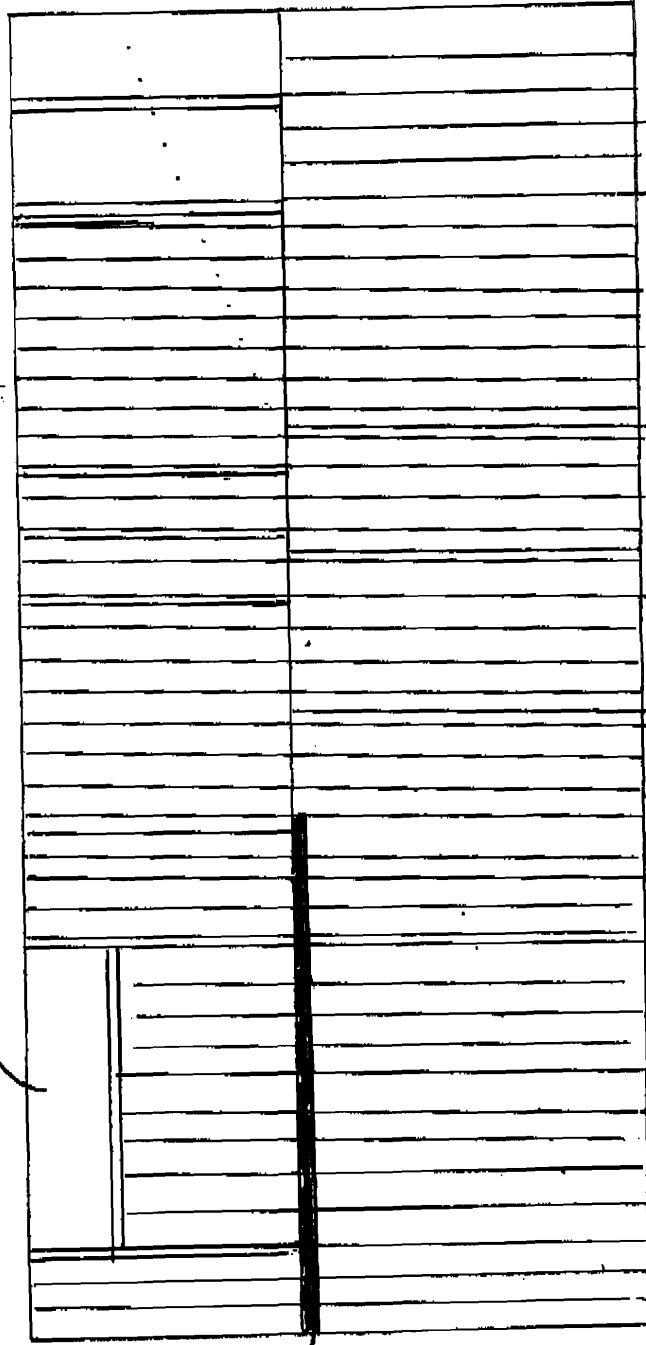
207-752-0891

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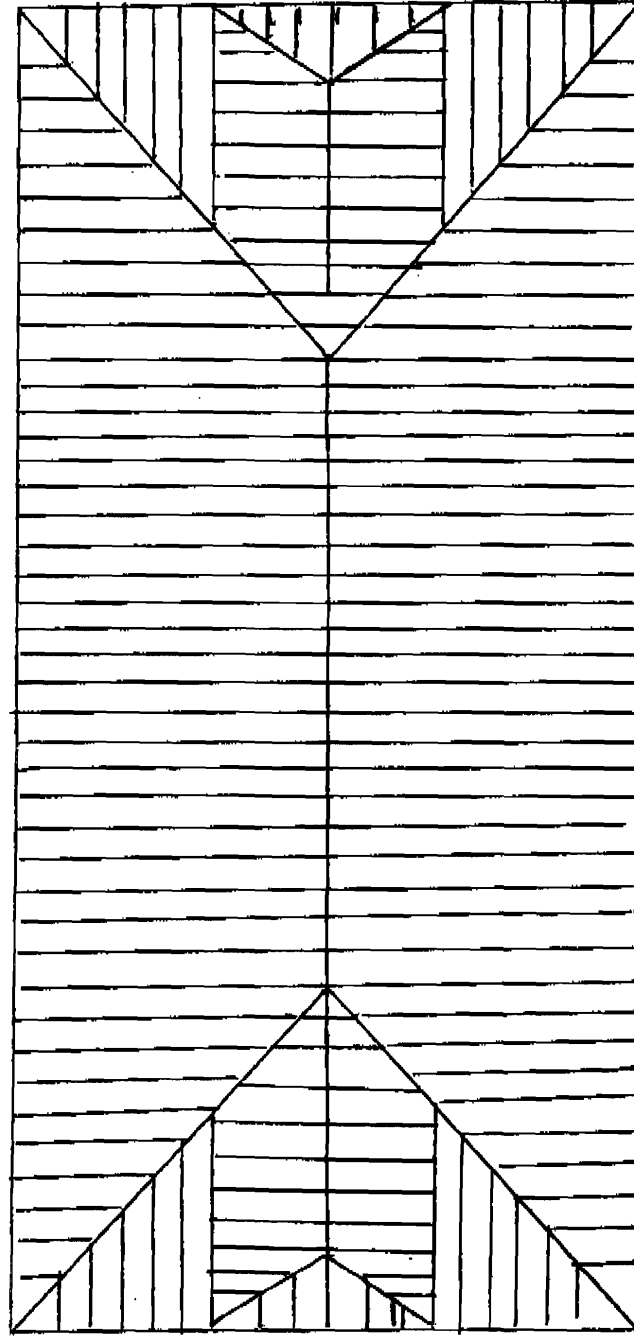
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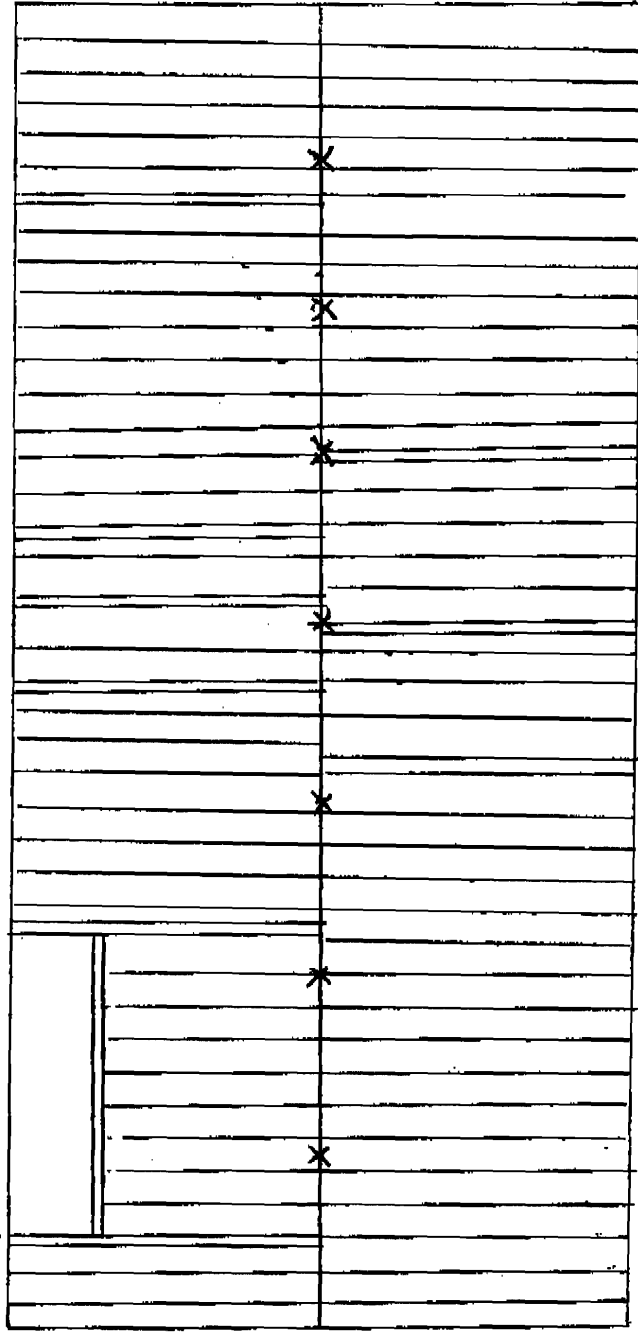
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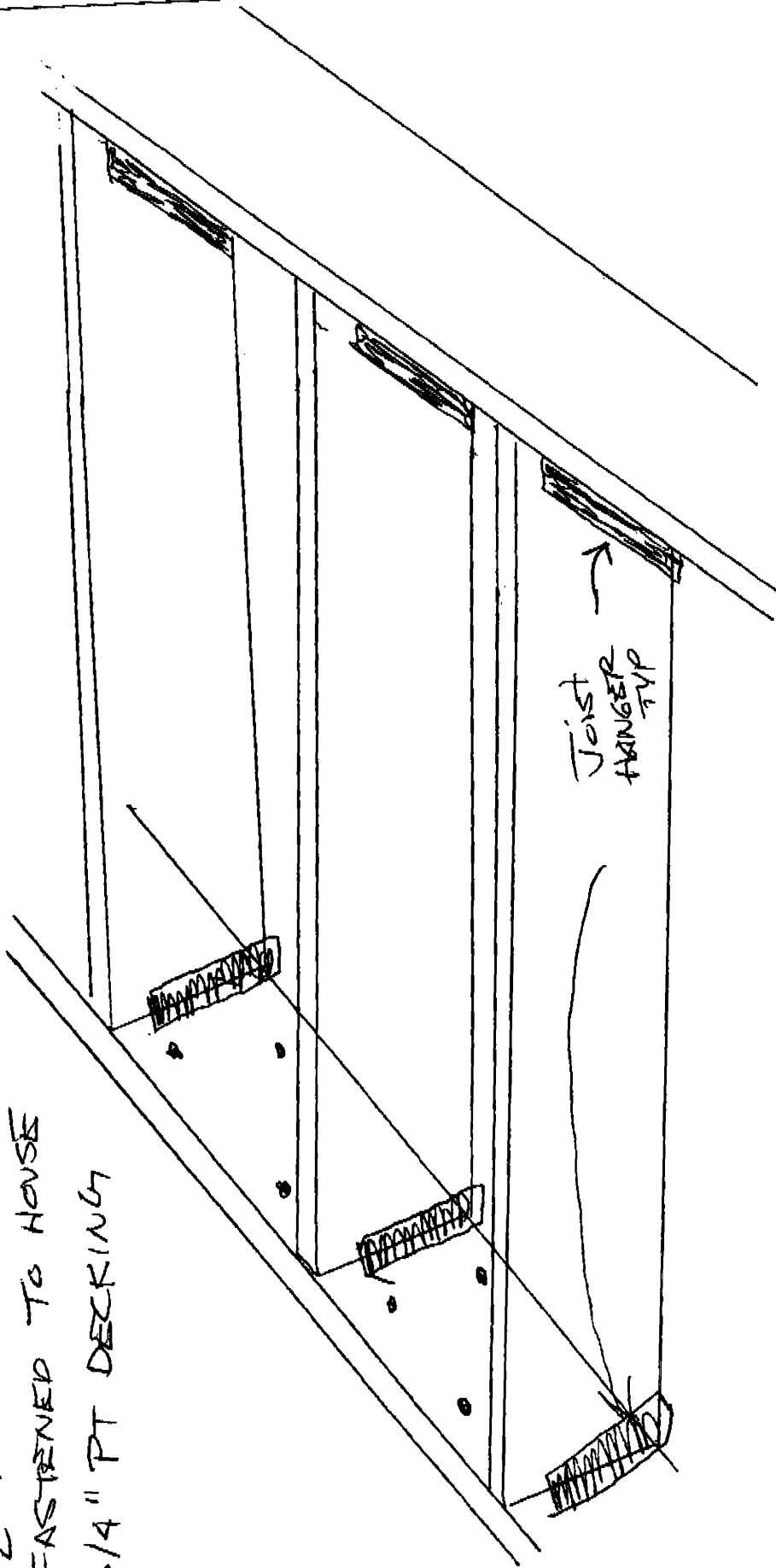
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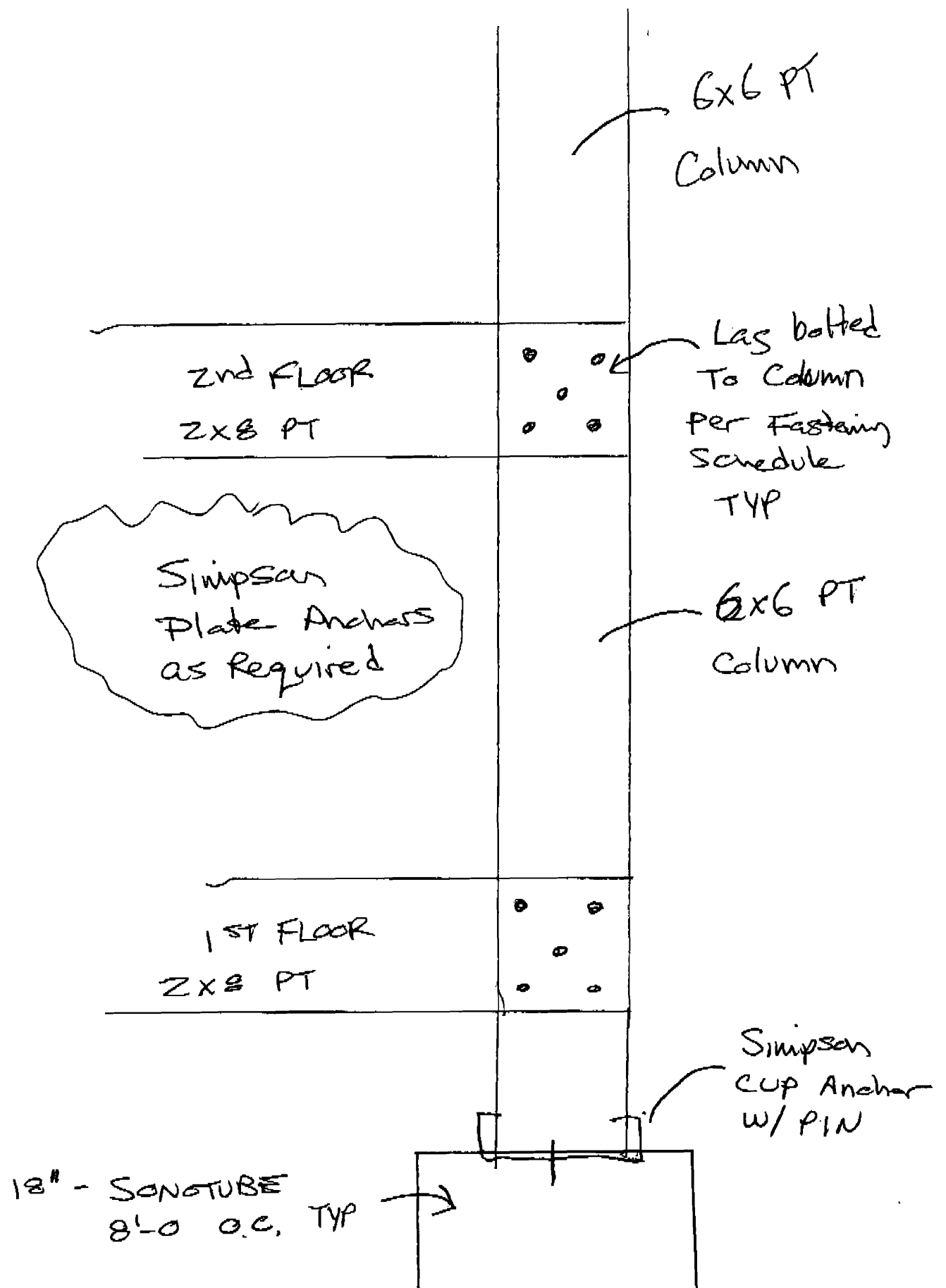
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 FASTENED TO HOUSE
 3/4" PT DECKING



PORCH DETAILS

3 MATHEWS STREET



6x6 PT
Column

2nd FLOOR
2x8 PT

Lag bolted
To Column
Per Fastening
Schedule
TYP

Simpson
Plate Anchors
as Required

6x6 PT
Column

1st FLOOR
2x8 PT

Simpson
Cup Anchor
w/ PIN

18" - SONOTUBE
8'-0" o.c. TYP

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 2008-4-27Permit # 2008-4427CBL# 132-I-8

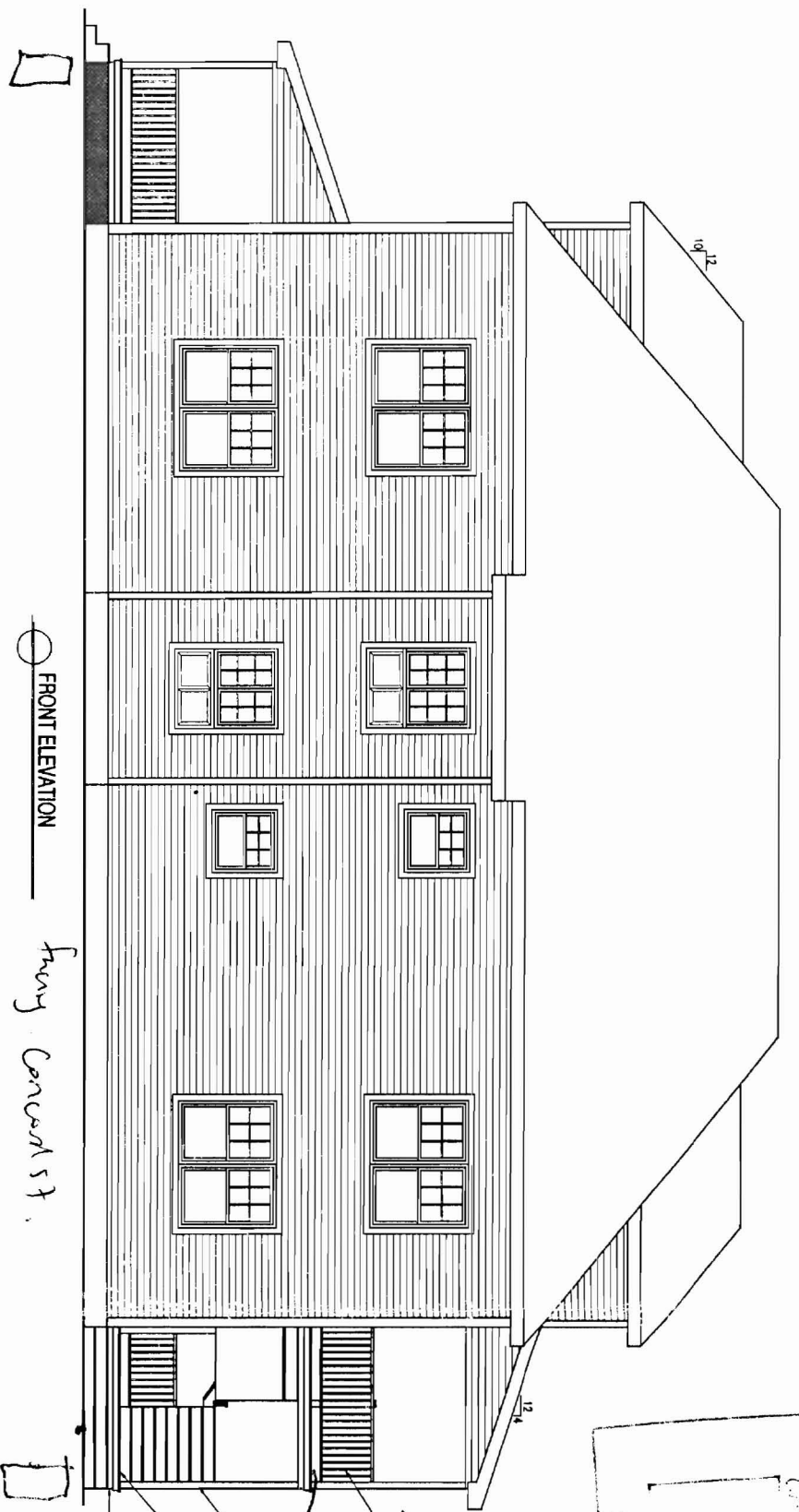
LOCATION: 3 Matthews St. METER MAKE & # _____
 CMP ACCOUNT # 3-435242 OWNER LARRY STURDIVANT
 TENANT _____ PHONE # _____

							TOTAL EACH FEE	
OUTLETS	<u>100</u>	Receptacles	<u>60</u>	Switches	<u>12</u>	Smoke Detector	.20	<u>34.40</u>
FIXTURES	<u>40</u>	Incandescent	<u>4</u>	Fluorescent		Strips	.20	<u>8.80</u>
SERVICES		Overhead	<input checked="" type="checkbox"/>	Underground		TTL AMPS <800	15.00	<u>15</u>
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS	<u>2</u>	(number of)					1.00	<u>2</u>
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters	<u>5</u>	Fans	2.00	<u>10</u>
	<u>2</u>	Dryers	<u>2</u>	Disposals	<u>2</u>	Dishwasher	2.00	<u>12</u>
		Compactors		Spa	<u>2</u>	Washing Machine	2.00	<u>2</u>
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
PANELS		Service	<u>1</u>	Remote	<u>2</u>	Main	4.00	<u>12</u>
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
							TOTAL AMOUNT DUE	<u>96.20</u>
MINIMUM FEE/COMMERCIAL 55.00							MINIMUM FEE	45.00

CONTRACTORS NAME Gary Webster MASTER LIC. # MS6000 4893
 ADDRESS 7 Bridle Path Way LIMITED LIC. # _____
 TELEPHONE 839 4600 Cell 749 9277

SIGNATURE OF CONTRACTOR: Gary Webster

White Copy - Office • Yellow Copy - Applicant

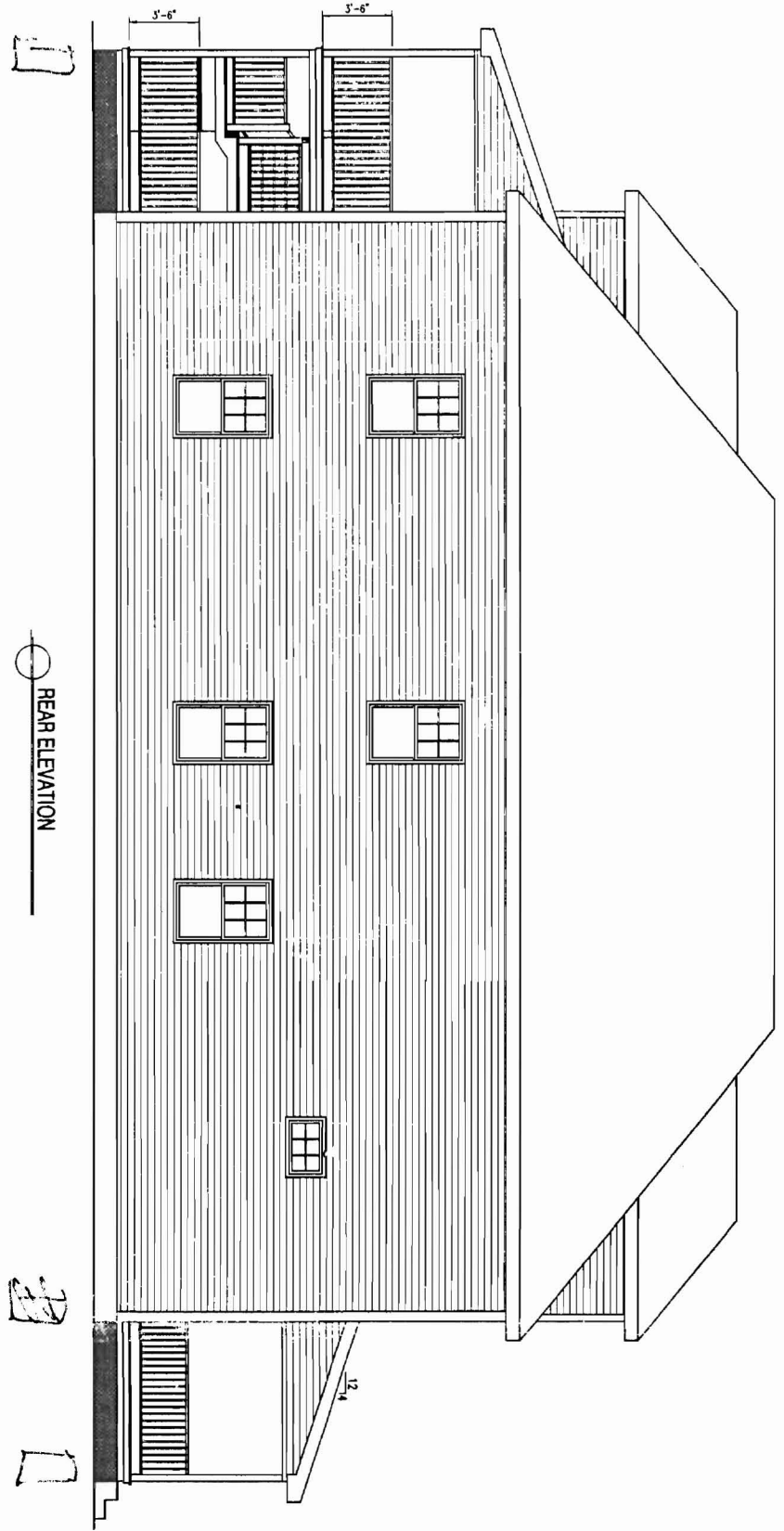


FRONT ELEVATION

frany concord st.

MAY 5 2003

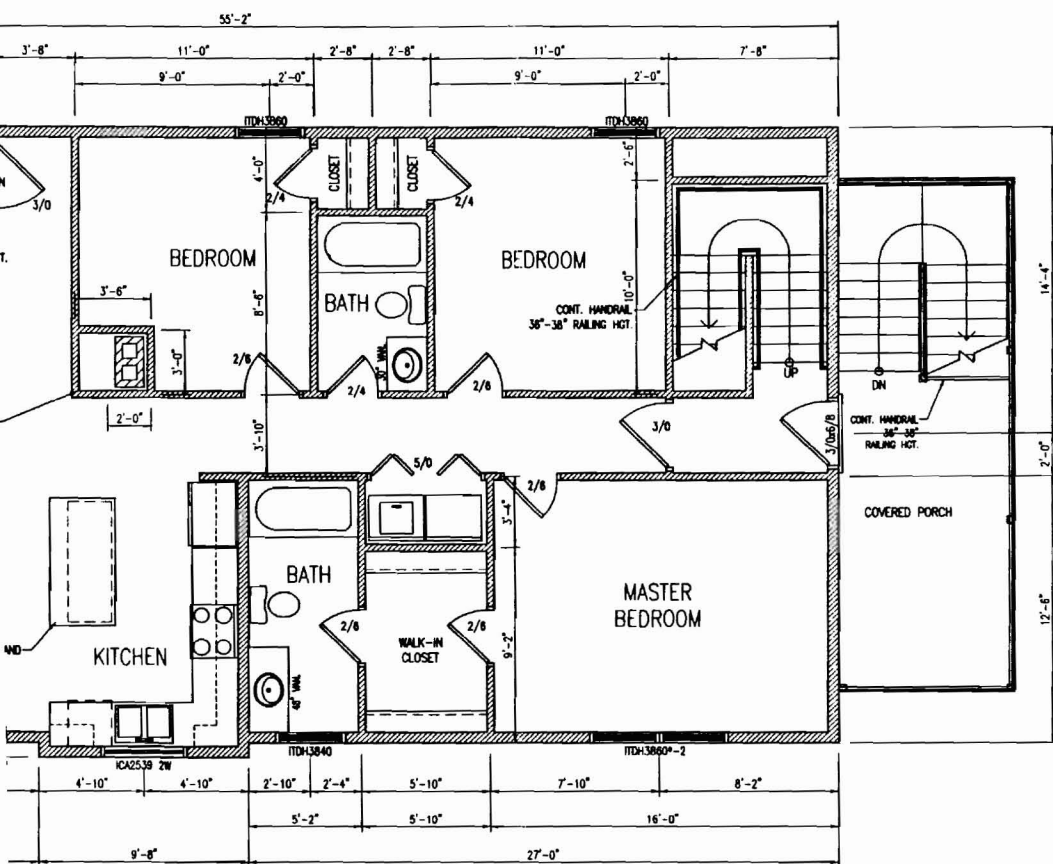
2x4 Rail
 1" BAL & BALUSTER SYSTEM
 2" MAX SPACING BETWEEN BALUSTERS
 MAX 3 1/2" SPAC
 1 1/2"
 6" x 6" PT. POSTS
 3/4" PT. DECKING
 2" x 6" PT. JOISTS @ 16" O.C.



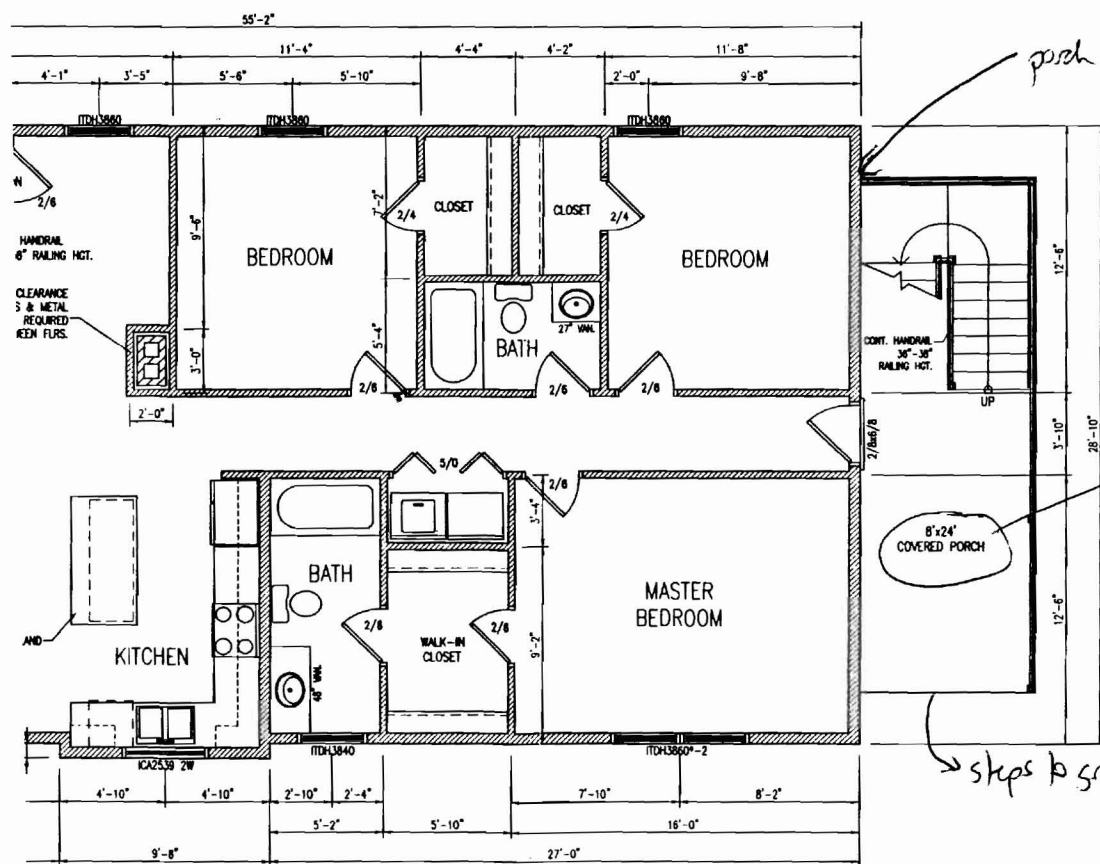
REAR ELEVATION

12/11 - Saw tube





SECOND FLOOR PLAN



FIRST FLOOR PLAN

NOTES:
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS

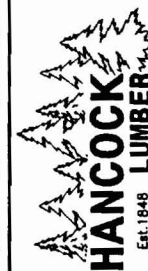
1. EACH SLEEPING AREA
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS
4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED

* EGRESS WINDOW

ANDERSEN NFRC CERTIFIED UNIT PERFORMANCE		
400 SERIES WINDOWS ANDERSEN PRODUCT TYPE:	WITHOUT GRILLES NP LOW-E	
CASEMENT	U-FACTOR	0.33
	R-VALUE	0.33
TLT-BASH DOUBLE-HUNG	U-FACTOR	0.34
	R-VALUE	0.34
TLT-BASH DOUBLE-HUNG PICTURE	U-FACTOR	0.33
	R-VALUE	0.33
TLT-BASH DOUBLE-HUNG TRANSOM	U-FACTOR	0.33
	R-VALUE	0.33
AWNING	U-FACTOR	0.33
	R-VALUE	0.33
CLADDING WINDOW	U-FACTOR	0.36
	R-VALUE	0.36

*ANDERSEN NFRC CERTIFIED TOTAL UNIT PERFORMANCE

MAY 5 2008



FIRST & SECOND FLOOR PLAN
NIAL CONSTRUCTION
3 MATHEW STREET, PORTLAND

3

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Revisions:

4/29/08

Date : 3/20/08

Scale : 1/4"=1'-0"

Drawn By: MTA

Project: CB021508

Sheet Number:

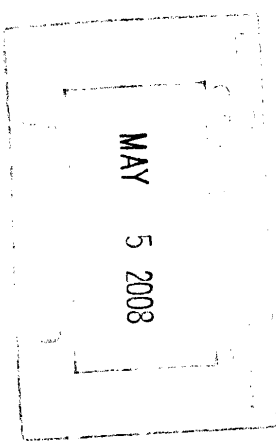
-of-

porch must be located 7.5' from end of building.

porch can only be 6.5' x 20' - see plat plan w/ existing conditions done by Sebago Technics.

steps to grade.

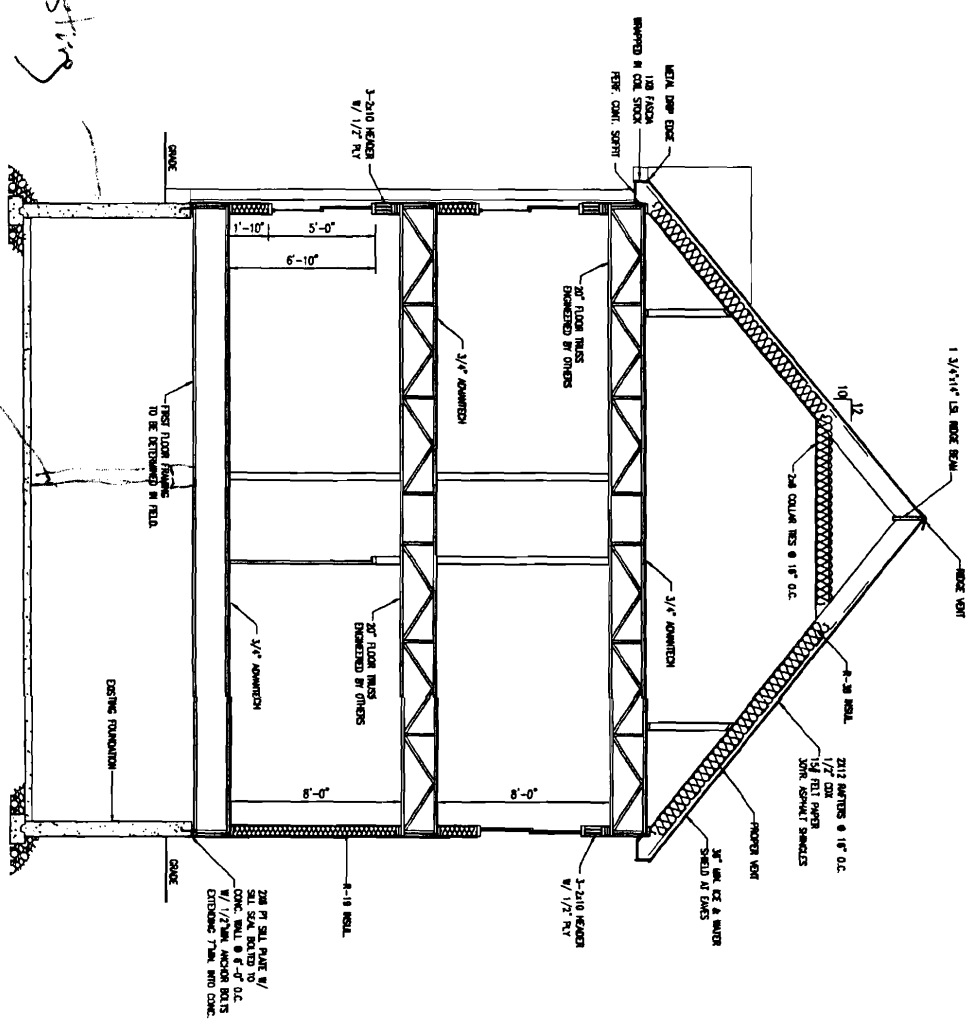
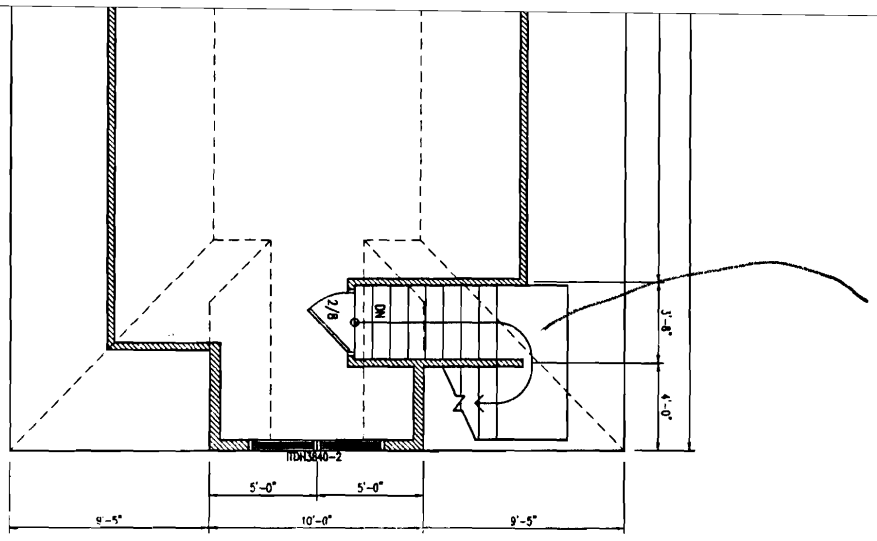
Stairs
 Section to A/H/C
 16 E/W 7'1/4"



- NOTES**
1. ALL STAIRS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS
 2. EACH SLEEPING AREA
 3. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE MAINSTAY WING OF THE RESORTS
 4. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING RESIDENTS
- ALL STAIRS SHALL BE INTERLOCKED
- * ESPRESSO WINDOW

HANCOCK FIRE CERTIFIED LIGHT PERFORMANCE		MINIMUM CRITERIA HP	
400 SERIES WINDOWS HANCOCK	PRODUCT TYPE	U-FACTOR	R-VALUE
CASSETT		U-FACTOR 0.33	R-VALUE 0.34
TEI-WATCH		U-FACTOR 0.34	R-VALUE 0.34
DOUBLE-WING		U-FACTOR 0.33	R-VALUE 0.33
TEI-WATCH	DOUBLE-WING PICTURE	U-FACTOR 0.33	R-VALUE 0.33
TEI-WATCH	DOUBLE-WING TRANSOM	U-FACTOR 0.33	R-VALUE 0.33
AWNING		U-FACTOR 0.33	R-VALUE 0.33
CLOING WINDOW		U-FACTOR 0.33	R-VALUE 0.34

HANCOCK FIRE CERTIFIED TOTAL LIGHT PERFORMANCE



CROSS SECTION

EXISTING
 3x3x12 Column
 3x3x12 Floor
 3x3x12 Beam w/ Joists

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3 THIRD FLOOR, SECTION
 NIAL CONSTRUCTION
 MATHEW STREET, PORTLAND



Revisions:	4/29/08
Date:	3/20/08
Scale:	1/4"=1'-0"
Drawn By:	NIA
Project:	08021508
Sheet Number:	

TABLE 8002(2) GREEN SPINE [®] AND HEAVY SPINE [®] TRUSS MEMBER BEARING WALLS Splice for Douglas Fir-wood, hem-fir, southern pine and spruce-pine-fir and required number of fast studs)		Building Width (feet)			
MEMBER AND GIRDERS SUPPORTING	SIZE	20		25	
		Splice No.	Splice No.	Splice No.	Splice No.
One floor only	1-2x4	1	1	1	1
	2-2x4	1	1	1	1
	2-2x6	1	1	1	1
	2-2x8	1	1	1	1
	2-2x10	1	1	1	1
	2-2x12	1	1	1	1
	2-2x14	1	1	1	1
	2-2x16	1	1	1	1
	2-2x18	1	1	1	1
	2-2x20	1	1	1	1
Two floor only	2-2x4	2	2	2	2
	2-2x6	2	2	2	2
	2-2x8	2	2	2	2
	2-2x10	2	2	2	2

TABLE 8002(3) FLOOR JOIST FOR STRUCTURAL MEMBERS		SPACING OF FASTENERS	
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS	Edges (inches)	Intermediate supports (inches)
wood structural joists, whether roof and wall sheathing to framing, and precast/in situ and sheathing to framing	6d common nail (whether nail)	8	12*
5/8" - 1/2"	6d common nail	8	12*
1/2" - 1"	10d common nail or 6d defurred nail	8	12
Other wall sheathing	1-1/2" galvanized roofing nail 6d sheathing	3	8
1/2" rigidly attached sheathed	1-3/4" galvanized roofing nail 6d common nail slope 18ga. 1-1/2" long	3	8
2x2" structural columns sheathed sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18ga. 1-1/2" long	3	8
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18ga. 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18ga. 1-1/2" long	4	8
wood structural joists, whether roof and wall sheathing to framing	6d defurred nail or 6d common nail	8	12
1/2" - 1"	6d common nail or 6d defurred nail	8	12
1-1/2" - 1-1/2"	10d common nail or 6d defurred nail	8	12

For 5x (height = 25 ft), load = 20 lb/ft², 1/2" long per hour = 1,000 ft²/hr.

a. All nails on smooth-surface, hot or deformed strand except where otherwise stated shall be used for attaching connections and have minimum average bending joint strength as shown: 50ksi (35) for strand diameter of 1/2 inch (50d common nail), 60ksi (50d 300) for strand diameter larger than 1/2 inch but not larger than 1 1/8 inch, and 100ksi (50d 300) for strand diameter of 1 1/8 inch and larger.

b. Staples on 18 gage wire and have a maximum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than double on center of all supports where given on drawings or greater.

d. Fastenings by 3-d-hold or 4-hold-by-3-hold joints shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on table 8002(1).

f. For rigging hoisting basic and special of 110 gage or greater, 6d defurred nails shall be used for attaching ground and wood structural joist and sheathing to framing.

g. For rigging hoisting basic and special of 100 gage or less, nails for attaching wood structural joist and sheathing to gable end wall framing shall be spaced double on center. When basic and special is greater than 100 gage, nails for attaching joist and sheathing to intermediate supports shall be spaced double on center for minimum 48-inch distance from rigging, over end gable end walls and double on center to gable end wall framing.

h. Gypsum sheathing and gypsum on OSB/CFB and shall be installed in accordance with CA 533. Fastened sheathing shall conform to either AW 184.1 or ASTM C 508.

i. Spacing of fasteners on floor sheathing joist edges given in special tables supported by framing members and at all floor partitions only. Spacing of fasteners on roof sheathing joist edges given in special tables supported by framing members and at all roof gable partitions. Spacing of roof or floor sheathing joist edges perpendicular to the framing members shall not be required except at intermediate of adjacent roof planes. Roof and floor partitions shall be supported by framing members or solid blocking.

MAY 5 2003

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Drawn By: MIA
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Sheet Number:

-of-

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