

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080334

This is to certify that LITTLEFIELD FARM LLC Constructionhas permission to New 2 Family Home on existing foundationAT 3 MATTHEWS ST

132-1008001

JUL - 8 2008

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is provided. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name



7/5/08
Director - Building & Inspection Services

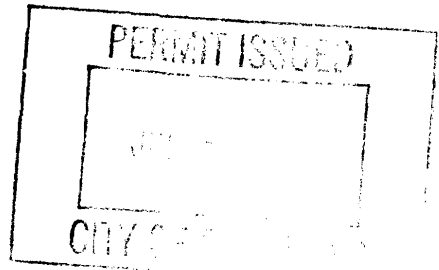
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0334	Issue Date:	CBL: 132 I008001
-----------------------	-------------	---------------------

Location of Construction: 3 MATTHEWS ST	Owner Name: LITTLEFIELD FARM LLC	Owner Address: 153 ANDOVER ST	Phone:
Business Name:	Contractor Name: Nial Construction	Contractor Address: 191 State Road Suite #2 Kittery	Phone: 2077520091
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: R-5
Past Use: Vacant Land - See Permit# 080324 <i>legalese -</i>	Proposed Use: 2 Family - New 2 Family Home on existing foundation <i>2 family (per m. code)</i>	Permit Fee: \$1,615.00	Cost of Work: \$151,700.00
Proposed Project Description: New 2 Family Home on existing foundation		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>NA</i>	INSPECTION: Use Group: <i>R-5</i> Type: <i>SB</i> <i>IRC 2003</i>
		Signature:	Signature:
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 04/10/2008	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok w/condition</i> Date: <i>5/1/08</i> <i>ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0334	Date Applied For: 04/10/2008	CBL: 132 1008001
------------------------------	--	----------------------------

Location of Construction: 3 MATTHEWS ST	Owner Name: LITTLEFIELD FARM LLC	Owner Address: 153 ANDOVER ST	Phone:
Business Name:	Contractor Name: Nial Construction	Contractor Address: 191 State Road Suite #2 Kittery	Phone: (207) 752-0091
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: 2 Family - New 2 Family Home on existing foundation	Proposed Project Description: New 2 Family Home on existing foundation
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/06/2008**Note:** The front and back porches must be rebuilt in the original footprint. They may not go any closer to the property lines. **Ok to Issue:**

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/03/2008**Note:** **Ok to Issue:**

- 1) The reconstruction of the rear decks must be approved under a separate permit.
- 2) All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 3) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 4) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 7) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

4/15/2008-amachado: Left message for Larry. Told him not to demo the building. Limited in what can rebuild. Need plotplan of the property. Rebuild has to take place within the existing shell if nonconforming to setbacks.

Location of Construction: 3 MATTHEWS ST	Owner Name: LITTLEFIELD FARM LLC	Owner Address: 153 ANDOVER ST	Phone:
Business Name:	Contractor Name: Nial Construction	Contractor Address: 191 State Road Suite #2 Kittery	Phone (207) 752-0091
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

4/22/2008-amachado: Spoke to Larry Sturdivant. Recived site plan 4/18/08 with estimations from Sebago Technics for height of original hip roof. Larry Sturdivant would like to get the demo started ASAP because April 25, 2008 is the one year anniversary of the original fire. He will submit new building plans that go back to the original shell of the building with the hip roof.

5/5/2008-amachado: Received new plans for building. Proposed dormer is bigger than existing. Need to check the pitch with Tammy.

5/6/2008-amachado: The front & rear dormers are a little wider, but OK under section 14-436(a). The pitch of the roof is shown as 10/12 which fits what was there originally. Talked to Larry Sturdivant. Need full size plans for revised elevation and third floor. Also the rebuilt front and rear porches need to match the size of the existing conditions on the plot plan. Larry said to note that on the plans. Also, according to Larry the original deck and stairs that wrapped around the side from the rear porches is being removed. The first floor porch will just have steps to grade off the side.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

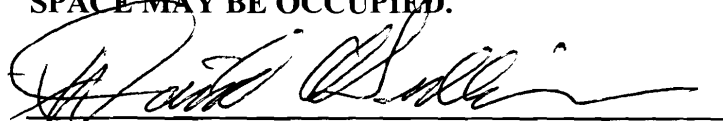
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

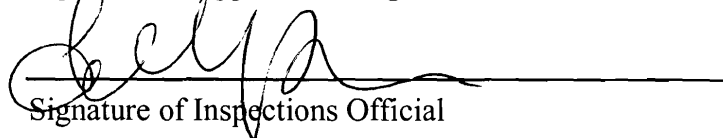
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



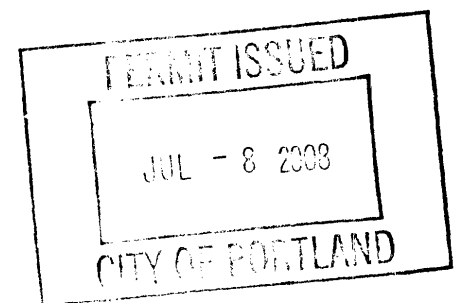
Signature of Applicant/Designee

Date



Signature of Inspections Official

Date



3 Matthews

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	N/A - Existing			
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)				
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY				
Anchor Bolts/Straps, spacing (Section R403.1.6)				
Lally Column Type (Section R407)				
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type				
Sill/Band Joist Type & Dimensions				
① First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	?			
② Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Clear span floor joists?			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))				

② Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Need Roof Framing diagram	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	OK	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	OK noted	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	N/A	
Chimney Clearances/Fire Blocking (Chap. 10)	OK	
Header Schedule (Section 502.5(1) & (2))	Copied IRC span table	
④ Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Need to insulate floor	OK went over

U = 0.35 R-19 walls
R-38 Roof

Builders and
Construction Managers

Shawmut Design and Construction
560 Harrison Avenue
Boston, Massachusetts 02118
Telephone 617-622-7000
Facsimile 617-622-7001



To:
Fax Number: 12078748716
Company:
Address 1:

From: Downing, Helena
Fax Number: 617-622-8526
Company: Shawmut Design and Construction
Voice Number: (617) 622-7297

Date: May 23, 2008
Subject: 3 Matthews Street

Total Pages: 7

Remarks:

Helena Downing
Executive Assistant
Shawmut Design and Construction
560 Harrison Avenue, Boston MA 02118
tel 617 622 7526 fax 617 622-8526
email: Hdowning@shawmut.com

From: Downing, Helena On Behalf Of Sturdivant, Lawrence
Sent: Friday, May 23, 2008 1:09 PM
To: '@12078748716'
Cc: Sturdivant, Lawrence
Subject: FW: 3 Matthews Street