



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 3 MATHEWS STREET		
Total Square Footage of Proposed Structure/Area 3180		Square Footage of Lot 5000
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 132 1 3	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Littlefield Farm LLC Address 153 Andover Street Suite #205 City, State & Zip Danvers, MA 01923	Telephone: 207-752-0091
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 151,700 C of O Fee: \$ Total Fee: \$ 1,615
Current legal use (i.e. single family) <u>TWO FAMILY</u> If vacant, what was the previous use? <u>TWO FAMILY</u> Proposed Specific use: <u>TWO FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: New 2 Family Home - m existing foundation		
Contractor's name: <u>NIAL CONSTRUCTION</u> Address: <u>153 ANDOVER STREET SUITE 205</u> City, State & Zip <u>DANVER, MA 01923</u> Telephone: <u>207-752-0091</u> Who should we contact when the permit is ready: <u>LARRY</u> Telephone: _____ Mailing address: <u>Same</u>		

1540
75

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Laura Shuster* Date: **3/31/2008**

This is not a permit; you may not commence ANY work until the permit is issue

From: Gregory Cass
To: Ann Machado
Date: 4/16/2008 2:14:26 PM
Subject: Re: 3 Matthews Street

04/25/2007

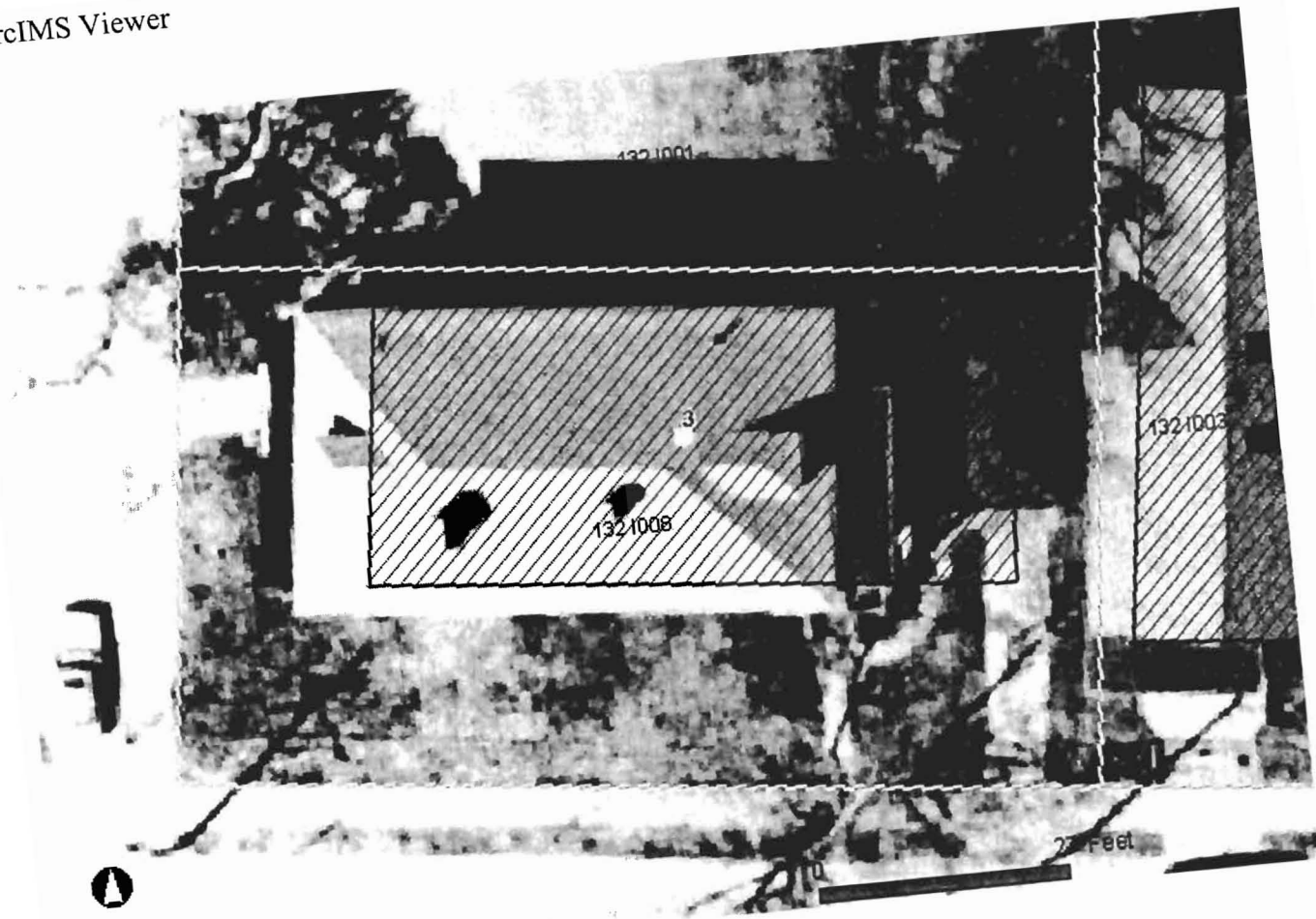
>>> Ann Machado 4/16/2008 11:48:09 AM >>>
Greg -

Can you document for us exactly what date the fire happened at 3 Matthews Street?

Thanks.

Ann

ArcIMS Viewer





Job Site Project Information



(APC Project #07-404)

Building Contact:

**Nail Construction
153 Andover St
Danvers, MA**

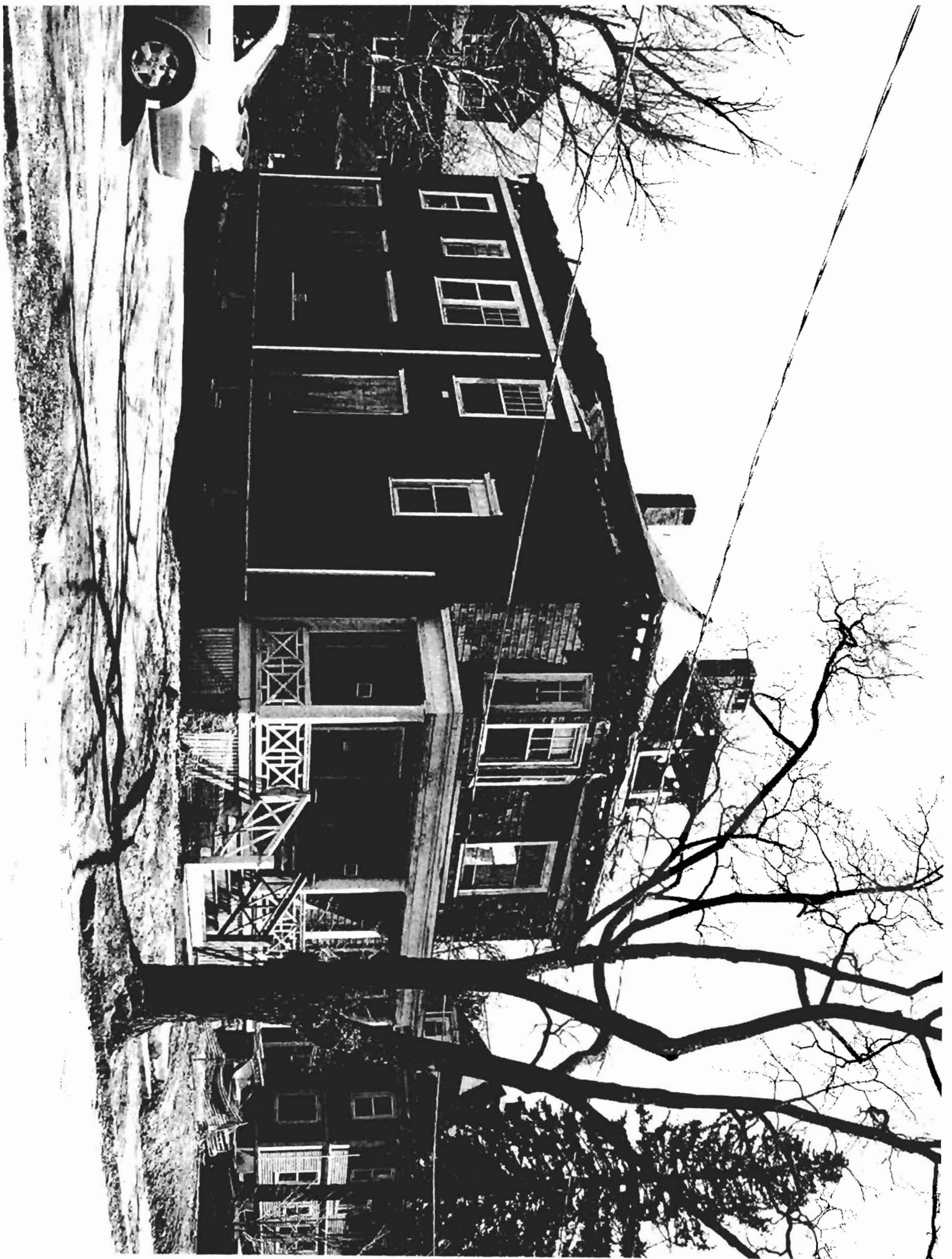
Project Location:

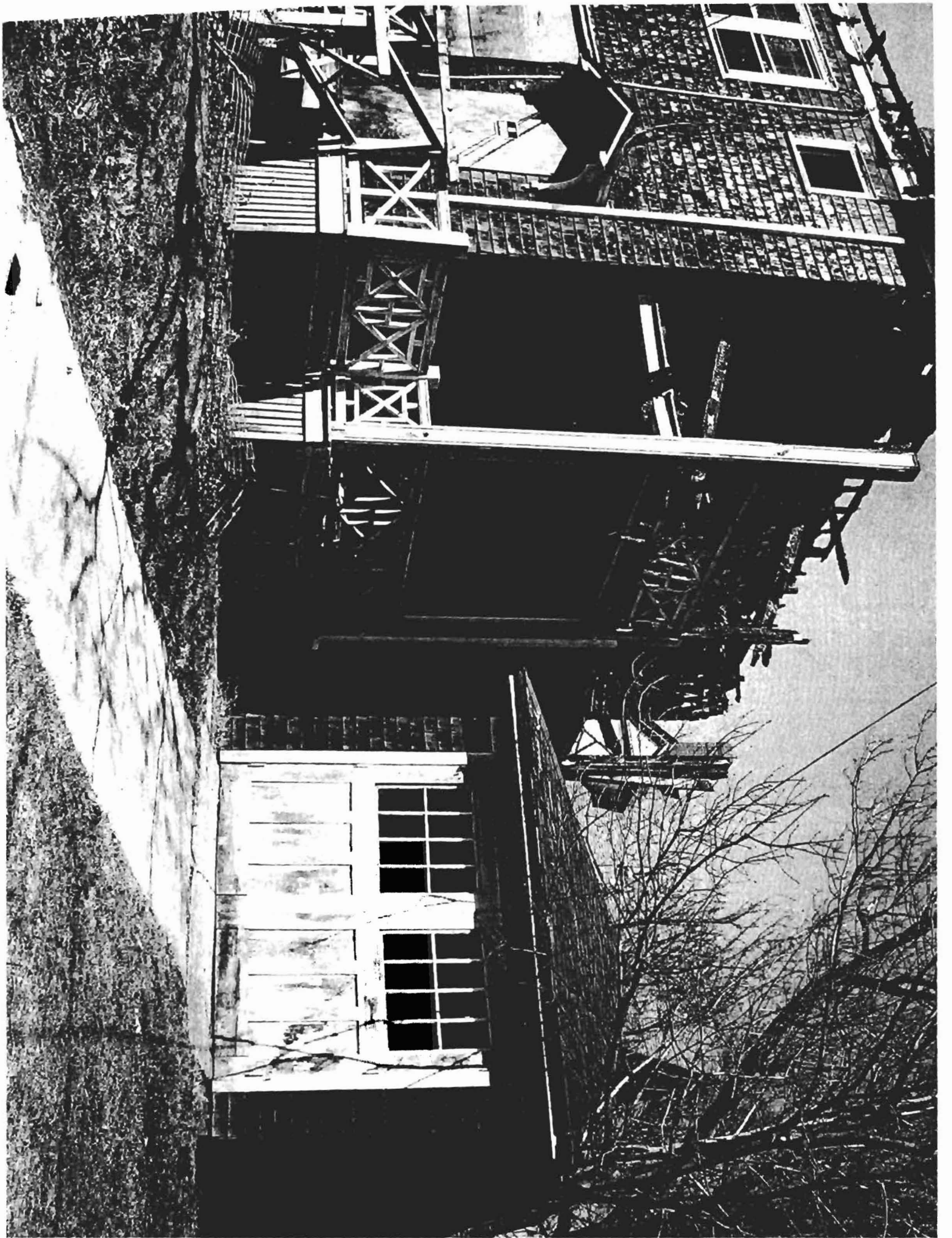
**3 Mathews St
Portland, Maine**

APC Contact:

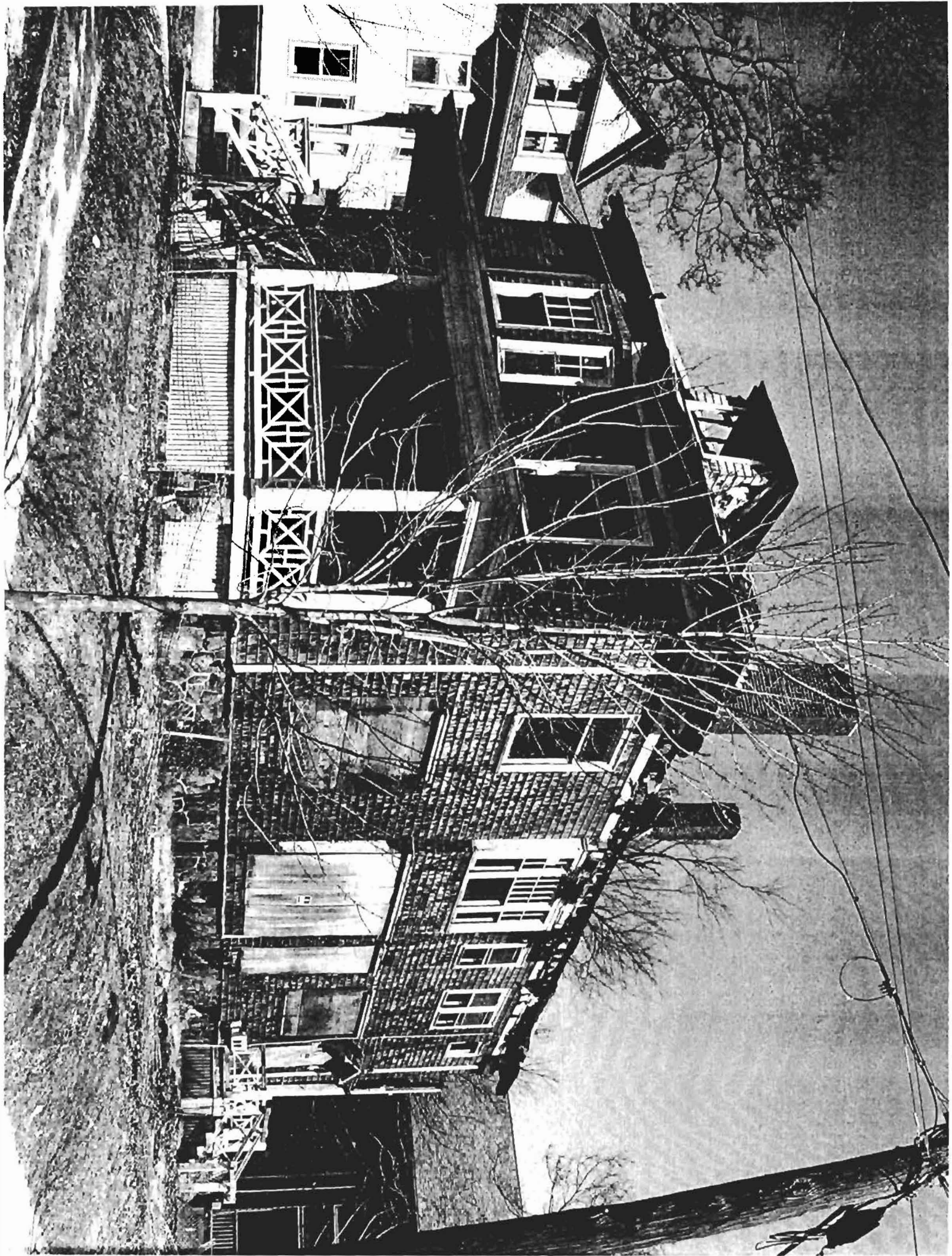
**Kyle Rickett
831-4902-Cell**













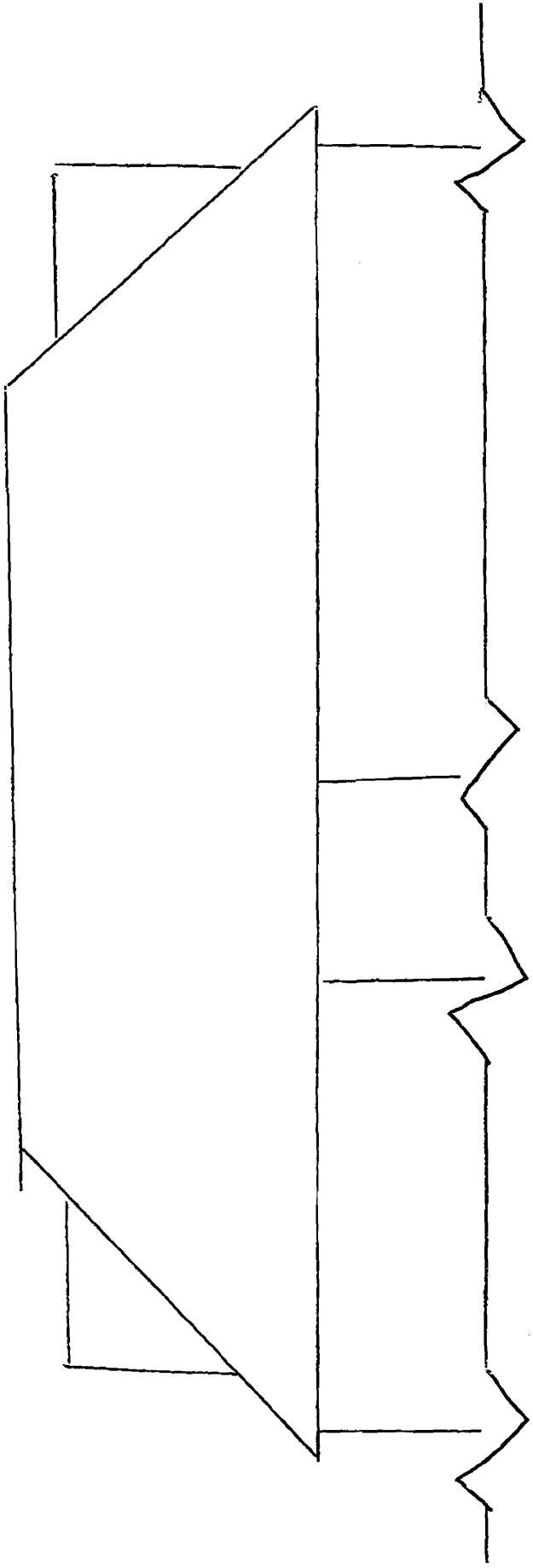






ATTN: ANN
TAMMY

REVISED ROOF DETAIL



APR 17 2003

CONCORD ST. VIEW

3 Mathews Street
PORTLAND, ME
207-874-2710



April 17, 2008
08193

Ms. Anne Machado
Zoning Specialist
Portland City Hall
389 Congress Street
Portland, ME 04101

Survey Plan
3 Matthews Street Portland, Maine

Dear Anne:

On behalf of Larry Sturdivant of Littlefield Farms, LCC we are pleased submit the attached survey plan of a residential property at 3 Mathews Street. We are submitting this plan support of Mr. Sturdivant's application for a building permit to replace the existing fire damaged residential building on the site.

As indicated on the survey, we have located the building foundation corners at existing grade, the building siding at the top of foundation and the extents of the remaining fire damaged roof eave overhangs. As we discussed by telephone, our surveyor was able to determine four elevation points on the remaining eave lines of the building.

Based on our survey we have established the following elevations:

1. The average existing grade at the exterior foundation EL = 103.0 feet (103'-0")
2. The average elevation of four locations on the remaining
roof eave overhangs EL = 127.1 feet (127'-1")
3. The existing building's first floor deck (to remain) EL = 106.85 feet (106'-10")

Due to the extensive fire damage to the roof we were unable to survey locate an elevation of the former building's roofline ridge. However, we have estimated the height of the roof using measurements from aerial photographs and observations of the typical construction of other hip-roof buildings in the neighborhood.

Based on aerial photographs, the building's roofline ridge was approximately 25.5 feet long. Comparing this estimated length with the surveyed dimensions of the roof it appears that the existing building's hip roof was constructed with at least a 10:12 roof pitch, and very likely a 12:12 pitch. This pitch appears consistent with photographs of the building taken prior to the fire and is consistent with the pitch of other hip-roof residences in the neighborhood.

Based on this estimate of the roof pitch, the existing building roof elevation is estimated to have been between elevations 140.4 feet to 143.1 feet. These elevation correlate to the following building heights.

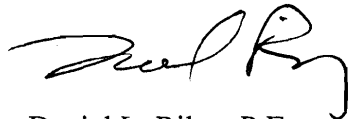
	Existing Structure Roof Pitch 10:12	Existing Structure Roof Pitch 12:12	Proposed Building
Ridge Elevation	140'-5"	143'-1"	139'-6"
Height above first floor deck to remain (El = 106'-10")	33'-7"	36'-3"	32'-8"
Height above exterior grade to remain (El = 103'-0")	37'-5"	40'-1"	36'-6"

Based on our survey and a conservative estimate of the existing building roof height, it appears that the proposed structure's roof will be lower than the existing building's former roofline. The new building is proposed to be constructed using the existing foundation and first floor deck, within the exterior dimensions of the existing building indicating in a reduced volume structure.

Please contact me if you have any questions regarding our survey.

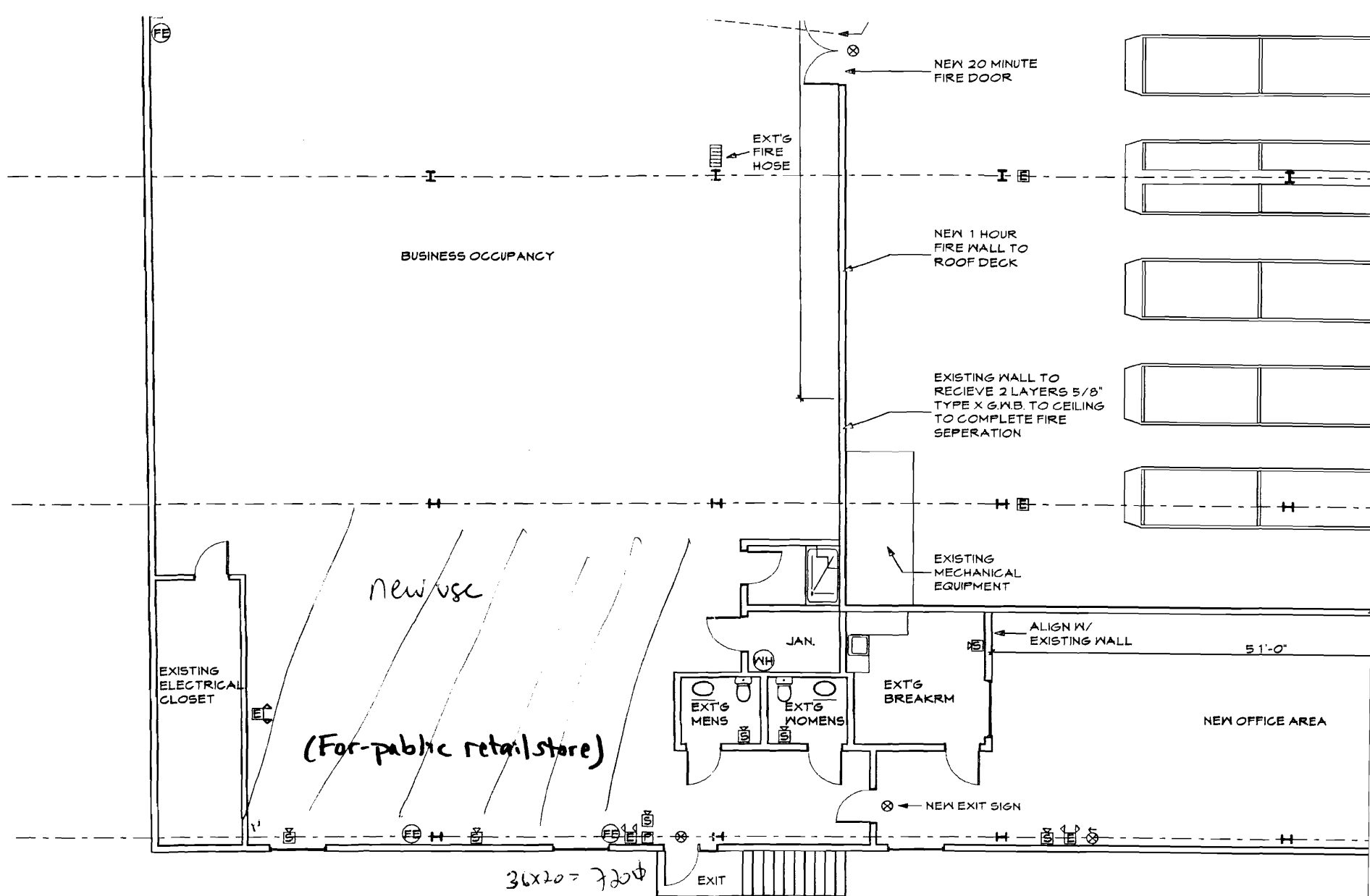
Sincerely,

SEBAGO TECHNICS, INC.



Daniel L. Riley, P.E.
Senior Project Manager

DLR:dlr/df
Enc.



CODE SUMMARY

BUILDING IS FULLY SPRINKLED WITH TWO FIRE HOSE LOCATIONS

BUILDING USE: MIXED USE OF STORAGE, LOW HAZARD AND BUSINESS

CONSTRUCTION TYPE:
IBC 2003 III B
NFPA 101 2003 III 200

OCCUPANT LOAD
BUSINESS: 100 SQ FT. PER PERSON - 118 PEOPLE
STORAGE IN MIXED USE: 500 SQ FT. PER PERSON - 31 PEOPLE

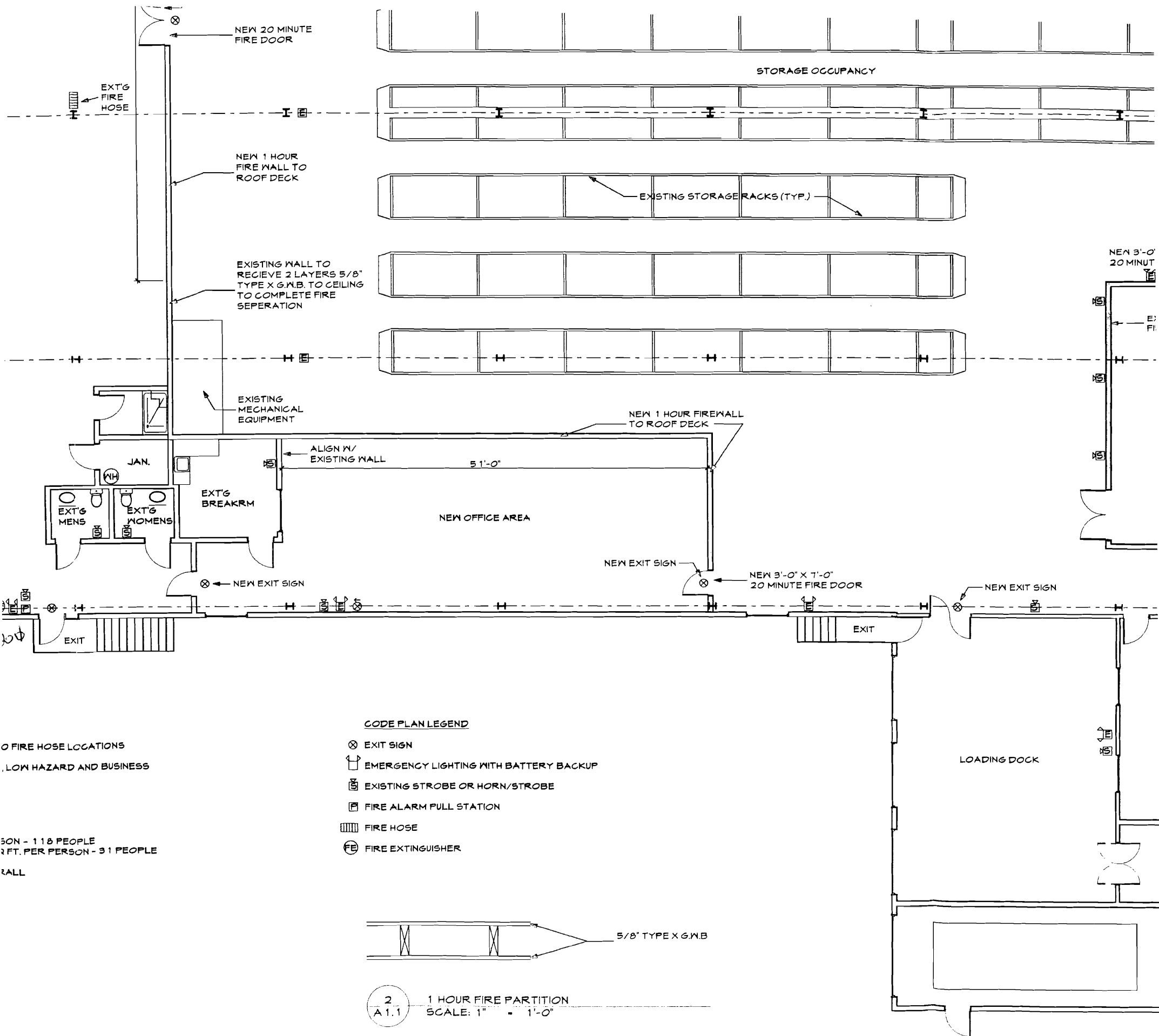
EXISTING BUILDING IS 26,445 SF OVERALL

CODE PLAN LEGEND

- ⊗ EXIT SIGN
- ⌂ EMERGENCY LIGHTING WITH BATTERY
- ☼ EXISTING STROBE OR HORN/STROBE
- ☐ FIRE ALARM PULL STATION
- ▢ FIRE HOSE
- ⊕ FIRE EXTINGUISHER

1 FIRST FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"

2 1 HOUR FIRE PARTITION
A1.1 SCALE: 1" = 1'-0"



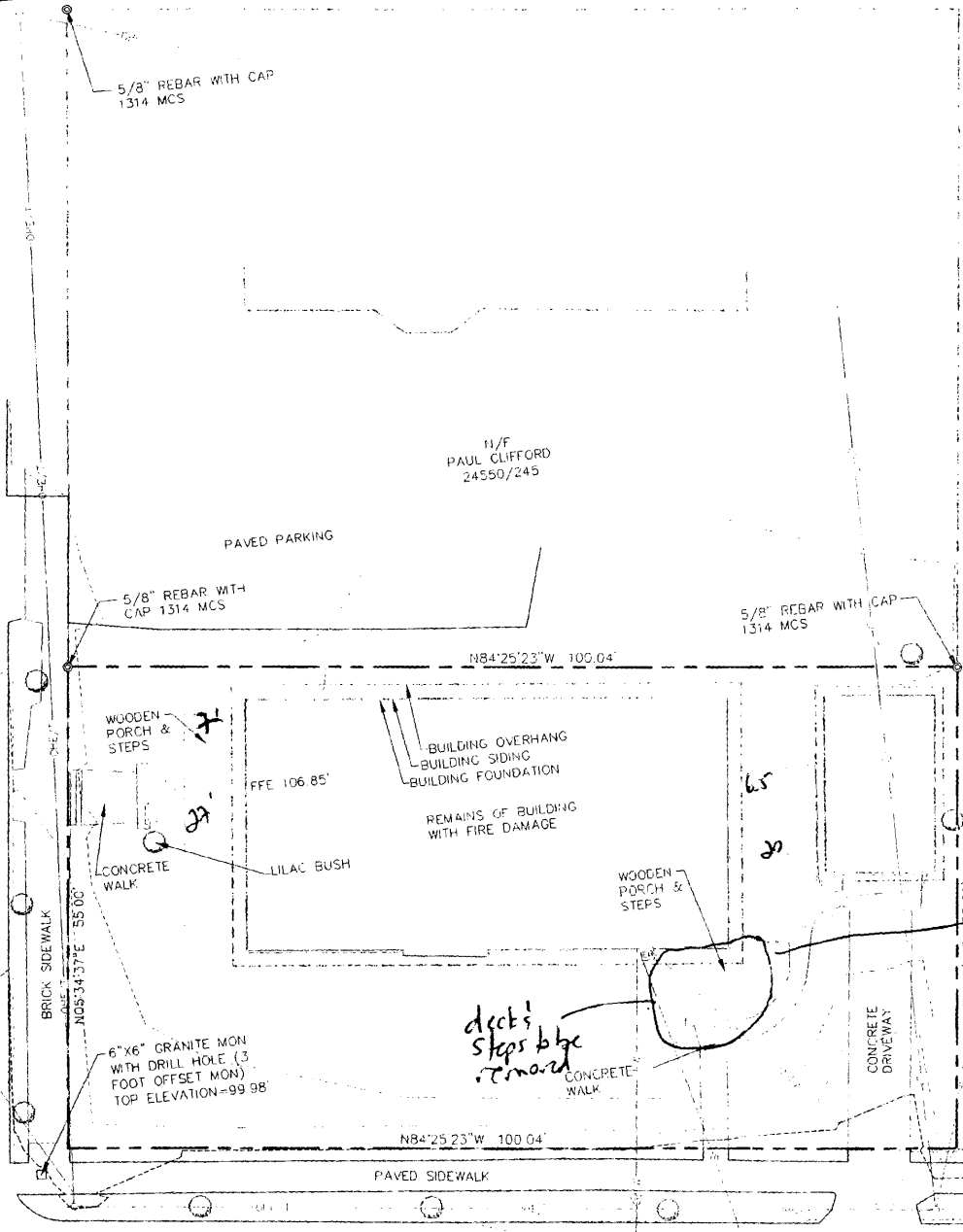
LEGEND

SYMBOL	DESCRIPTION
---	BOUNDARY LINE/R.O.W.
---	ABUTTER LINE/R.O.W.
---	SETBACK
---	EASEMENT
□	MONUMENT
○	IRON PIPE/ROD
○	CURVE/LINE NO.
---	BUILDING
---	SIGN
---	EDGE PAVEMENT
---	CURBLINE
---	CONTOURS
○	DECIDUOUS TREE
○	GAS
○	GAS VALVE
○	WATER
○	GATE VALVE
○	HYDRANT
○	SEWER
○	SEWER MH
○	OVERHEAD ELEC. & TEL.
○	UNDERGROUND ELEC. & TEL.
○	UTILITY POLE
○	ELECTRIC METER



N/F
RICHARD
AND
MARGARET
AKERS
12773/298

MA TTHEWS STREET
PAVED ROADWAY



5/8" REBAR WITH CAP
1314 MCS

N/F
PAUL CLIFFORD
24550/245

PAVED PARKING

5/8" REBAR WITH
CAP 1314 MCS

5/8" REBAR WITH CAP
1314 MCS

N84°25'23"W 100.04'

WOODEN
PORCH &
STEPS

FFE 106.85'

BUILDING OVERHANG
BUILDING SIDING
BUILDING FOUNDATION

REMAINS OF BUILDING
WITH FIRE DAMAGE

CONCRETE
WALK

LILAC BUSH

WOODEN
PORCH &
STEPS

6"x6" GRANITE MON
WITH DRILL HOLE (3
FOOT OFFSET MON)
TOP ELEVATION=99.98'

N84°25'23"W 100.04'

PAVED SIDEWALK

CONCRETE
DRIVEWAY

N05°34'37"E 15.00'

N/F
STEVEN BYRD
AND
DANIELA BASSAN
MORAES
25304/134
*steps
from flat fl*

*deck's
steps b/c
removed*

CONCORD STREET

PAVED ROADWAY

N/F
DAVID E. TALBOT
AND
MARY ELLEN
DESCHENES
8312/1

N/F
MICHAEL R.
AND
CATHERINE A.
WALKER
14656/136

N/F
DAVID GOUCK
AND
MARIA CROUCH
TRUSTEES
25669/070

N/F
STEVEN E. A.
ROBERTA S. C.
8131/28