

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 080334

Please Read Application And Notes, If Any, Attached

This is to certify that LITTLEFIELD FARM LLC Civil Construction

has permission to New 2 Family Home on existing foundation

AT 3 MATTHEWS ST

132 1008001

PERMIT ISSUED
JUL - 8 2008
CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature] 7/5/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0334	Issue Date:	CBL: 132 I008001
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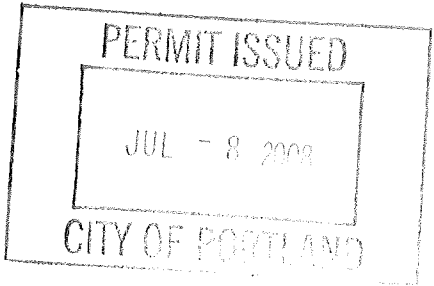
Location of Construction: 3 MATTHEWS ST	Owner Name: LITTLEFIELD FARM LLC	Owner Address: 153 ANDOVER ST	Phone:
Business Name:	Contractor Name: Nial Construction	Contractor Address: 191 State Road Suite #2 Kittery	Phone 2077520091
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: R-5

Past Use: Vacant Land - See Permit# 080324 <i>legalse - 2 family (per m. 2003)</i>	Proposed Use: 2 Family - New 2 Family Home on existing foundation	Permit Fee: \$1,615.00	Cost of Work: \$151,700.00	CEO District: 5
Proposed Project Description: New 2 Family Home on existing foundation		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>[Signature]</i> Signature:	INSPECTION: Use Group: <i>R-5</i> Type: <i>SB</i> <i>IRC 2003</i> <i>[Signature]</i> Signature:	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 04/10/2008	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok w/ conditions</i> Date: <i>5/16/08</i> <i>ABN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7/11/08

Close-in Insp.
3:30

O.K. to Close!

Larry will call w/
new hangers @ 3rd & 4th
floor

5# Plumbing to * under
check O.K.



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0334	Date Applied For: 04/10/2008	CBL: 132 I008001
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Location of Construction: 3 MATTHEWS ST	Owner Name: LITTLEFIELD FARM LLC	Owner Address: 153 ANDOVER ST	Phone:
Business Name:	Contractor Name: Nial Construction	Contractor Address: 191 State Road Suite #2 Kittery	Phone (207) 752-0091
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: 2 Family - New 2 Family Home on existing foundation	Proposed Project Description: New 2 Family Home on existing foundation
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/06/2008

Note: The front and back porches must be rebuilt in the original footprint. They may not go any closer to the property lines. **Ok to Issue:**

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/03/2008

Note: **Ok to Issue:**

- 1) The reconstruction of the rear decks must be approved under a separate permit.
- 2) All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 3) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 4) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 7) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

4/15/2008-amachado: Left message for Larry. Told him not to demo the building. Limited in what can rebuild. Need plotplan of the property. Rebuild has to take place within the existing shell if nonconforming to setbacks.

05/26/08

- Back stairs need to
be $7\frac{3}{4}'' \times 10''$

(Conditions $8\frac{1}{8}'' \times 10''$
will rebuild)

- need on hammers
- sprinkler heads over boilers (2)
- Air hammers on DW & Furnaces
- will re-inspect when
called

~~AAA~~

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4/22/2008-amachado: Spoke to Larry Sturdivant. Recived site plan 4/18/08 with estimations from Sebago Technics for height of original hip roof. Larry Sturdivant would like to get the demo started ASAP because April 25, 2008 is the one year anniversary of the original fire. He will submit new building plans that go back to the original shell of the building with the hip roof.

5/5/2008-amachado: Received new plans for building. Proposed dormer is bigger than existing. Need to check the pitch with Tammy.

5/6/2008-amachado: The front & rear dormers are a little wider, but OK under section 14-436(a). The pitch of the roof is shown as 10/12 which fits what was there originally. Talked to Larry Sturdivant. Need full size plans for revised elevation and third floor. Also the rebuilt front and rear porches need to match the size of the existing conditions on the plot plan. Larry said to note that on the plans. Also, according to Larry the original deck and stairs that wrapped around the side from the rear porches is being removed. The first floor porch will just have steps to grade off the side.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

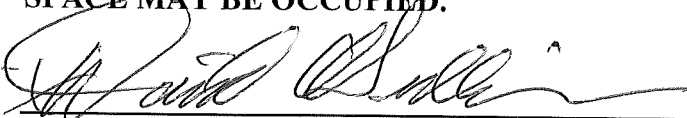
 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

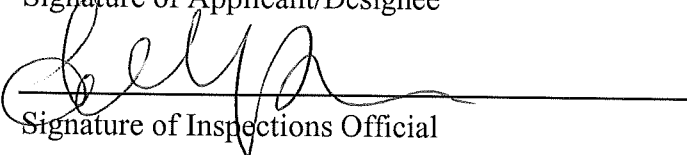
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



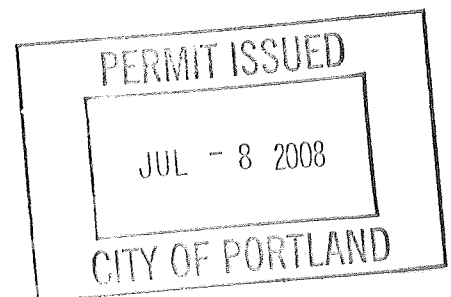
Signature of Applicant/Designee

Date



Signature of Inspections Official

Date



3 Matthews

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	N/A - Existing			
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)				
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY				
Anchor Bolts/Straps, spacing (Section R403.1.6)				
Lally Column Type (Section R407)				
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type				
Sill/Band Joist Type & Dimensions				
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	?			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Clear span floor joists?			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))				

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)		
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))		
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)		
Emergency Escape and Rescue Openings (Section R310)		
Roof Covering (Chapter 9)		
Safety Glazing (Section R308)		
Attic Access (Section R807)		
Chimney Clearances/Fire Blocking (Chap. 10)		
Header Schedule (Section 502.5(1) & (2))		
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration		

6 Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Need Roof Framing diagram	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	OK	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	OK noted	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	N/A	
Chimney Clearances/Fire Blocking (Chap. 10)	OK	
Header Schedule (Section 502.5(1) & (2))	Copied IRC span table	
4 Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Need to insulate floor - OK went over	

U = 0.35 R-19 walls
 R-38 Roof

Builders and
Construction Managers

Shawmut Design and Construction
560 Harrison Avenue
Boston, Massachusetts 02118
Telephone 617-622-7000
Facsimile 617-622-7001



To:
Fax Number: 12078748716
Company:
Address 1:

From: Downing, Helena
Fax Number: 617-622-8526
Company: Shawmut Design and Construction
Voice Number: (617) 622-7297

Date: May 23, 2008
Subject: 3 Matthews Street

Total Pages: 7

Remarks:

Helena Downing
Executive Assistant
Shawmut Design and Construction
560 Harrison Avenue, Boston MA 02118
tel 617 622 7526 fax 617 622-8526
email: Hdowning@shawmut.com

From: Downing, Helena On Behalf Of Sturdivant, Lawrence
Sent: Friday, May 23, 2008 1:09 PM
To: '@12078748716'
Cc: Sturdivant, Lawrence
Subject: FW: 3 Matthews Street

ELECTRICAL PERMIT

City of Portland, Me.

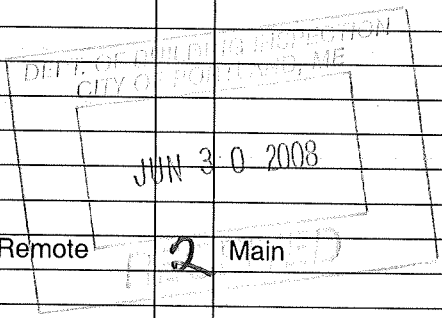


To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 2008-4-27
 Permit # 2008-4427
 CBL# 132-T-8

LOCATION: 3 Matthews St. METER MAKE & # _____
 CMP ACCOUNT # 3-435242 OWNER Larry Sturdivant
 TENANT _____ PHONE # _____

							TOTAL EACH FEE	
OUTLETS	<u>100</u>	Receptacles	<u>10</u>	Switches	<u>12</u>	Smoke Detector	.20	<u>34.40</u>
FIXTURES	<u>40</u>	Incandescent	<u>4</u>	Fluorescent		Strips	.20	<u>8.80</u>
SERVICES		Overhead	<input checked="" type="checkbox"/>	Underground		TTL AMPS <800	15.00	<u>15</u>
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS	<u>2</u>	(number of)					1.00	<u>2</u>
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters	<u>5</u>	Fans	2.00	<u>10</u>
	<u>2</u>	Dryers	<u>2</u>	Disposals	<u>2</u>	Dishwasher	2.00	<u>12</u>
		Compactors		Spa	<u>2</u>	Washing Machine	2.00	<u>2</u>
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty (CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
	PANELS		Service	<u>1</u>	Remote	<u>2</u>	Main	4.00
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
							TOTAL AMOUNT DUE	
		MINIMUM FEE/COMMERCIAL 55.00				MINIMUM FEE	45.00	<u>96.20</u>



CONTRACTORS NAME Gary Webster MASTER LIC. # MS6000 4893
 ADDRESS 7 Bridle Path Way LIMITED LIC. # _____
 TELEPHONE 839 4600 Cell 249 9277

SIGNATURE OF CONTRACTOR: Gary Webster
 White Copy - Office • Yellow Copy - Applicant

Sent on behalf of Larry Sturdivant.

Helena Downing
Executive Assistant
Shawmut Design and Construction
560 Harrison Avenue, Boston MA 02118
tel 617 622 7526 fax 617 622-8526
email: Hdowning@shawmut.com

From: Sturdivant, Lawrence
Sent: Friday, May 23, 2008 10:37 AM
To: Downing, Helena
Subject: 3 Matthews Street

FAX 12078748716 I cannot get it to work

Attn: Tammy

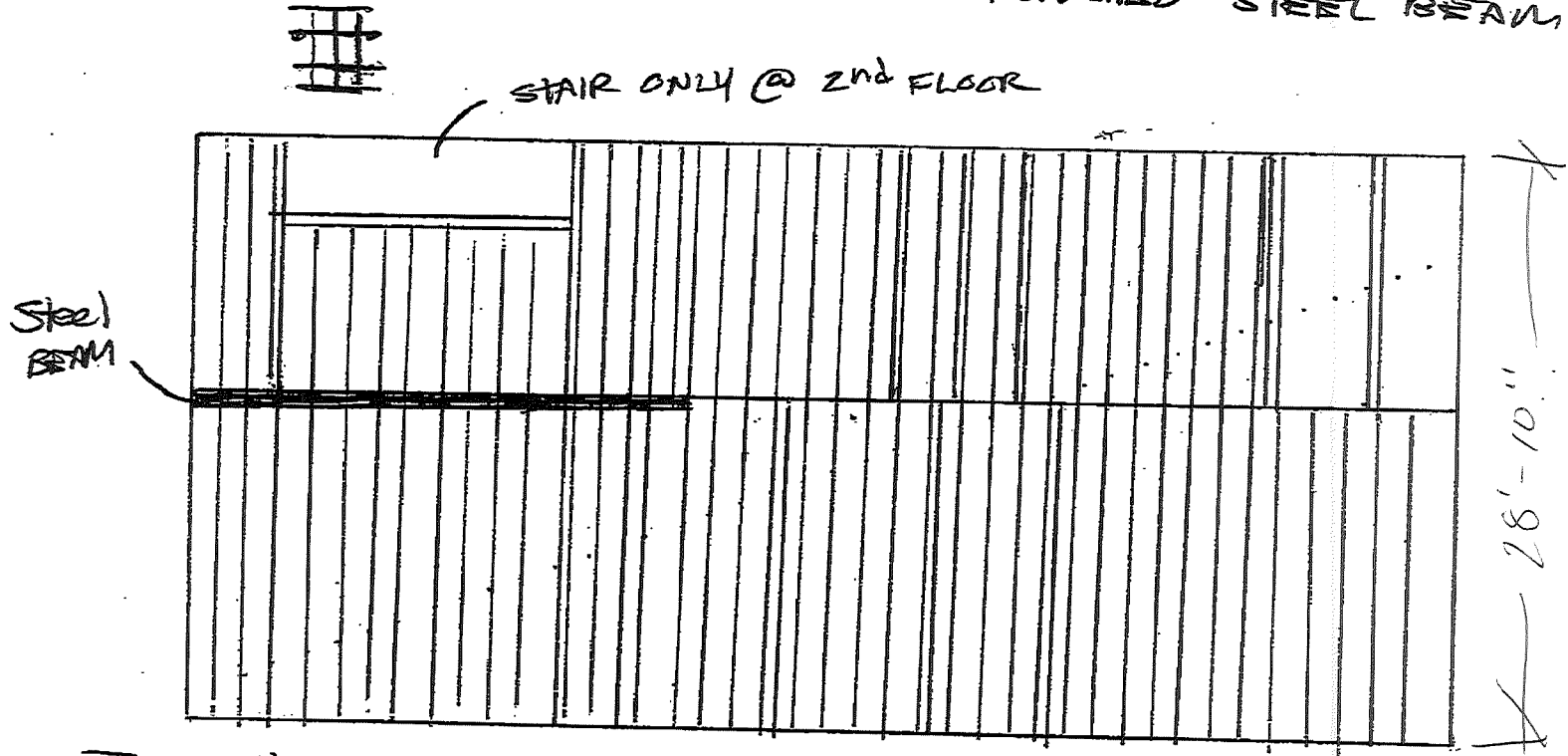
RE: 3 Matthew Street Portland

Please find attached five sketches as requested. Please call me with any questions @ 207-752-0091. Thanks,

<<MATTHEWS STREET.pdf>>

Lawrence Sturdivant
Project Executive
Shawmut Design and Construction
560 Harrison Avenue
Boston, MA 02118
P 617.622.7550 • F 617.622.8550
www.shawmut.com

41 EA ZK12 FLOOR JOIST SUPPORTED BY LOAD BEARING WALL
STEEL BEAM 20'-2" SPANING LIVING ROOM
ZK12 FLOOR JOIST ATTACHED TO BEAM WITH JOIST HANGER
WOOD NAILER BOLTED TO PRE PUNCHED STEEL BEAM

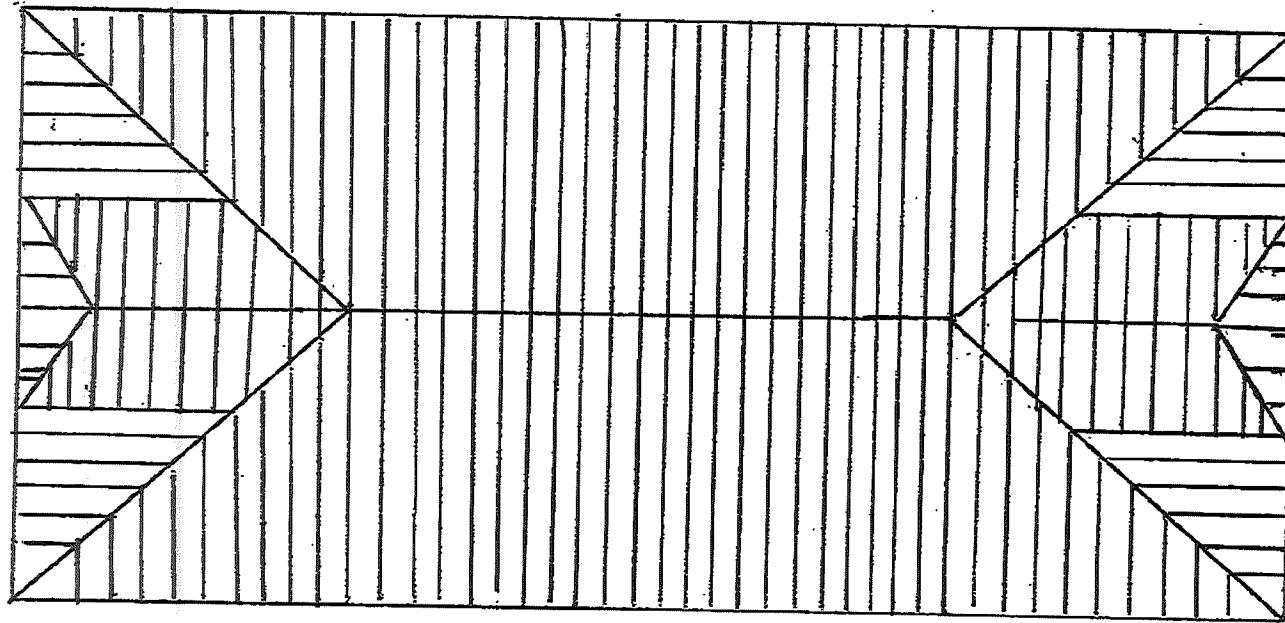


JOIST HANGER AS REQUIRED
DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENING

2ND FLOOR FRAMING
3RD FLOOR FRAMING

3 MATTHEWS STREET

MAIN RIDGE & HIPS 1 3/4" x 14 LVL
HANGER PER CODE
2x12 ROOF RAFTER - MAIN ROOF 16" O.C.
2x8 ROOF RAFTER @ DORMER
2 EA 1 3/4" x 14 LVL TO SUPPORT DORMER WALL
1/2 PLYWOOD ROOF SHEATHING

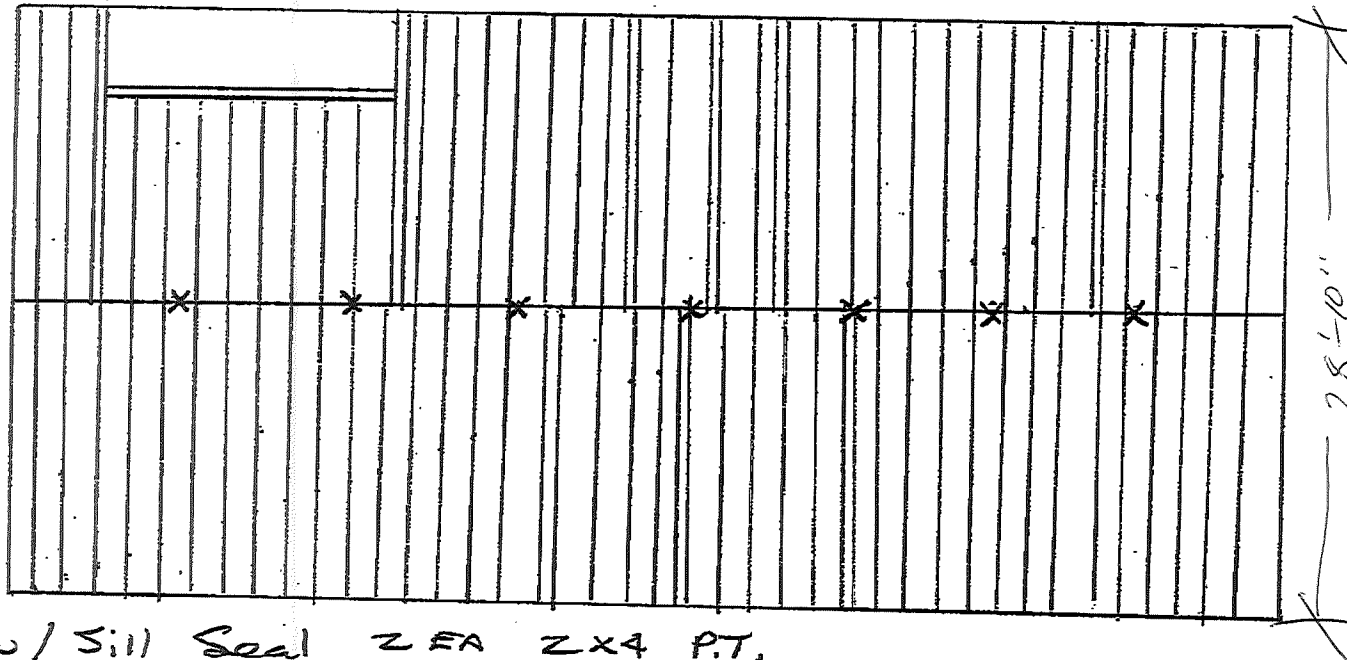


ROOF

3 MATTHEW STREET

Need more lally's

- (3) 2x12 MAIN BEAM 2x2 CONT. ~~ledger~~ Both Sides
- (7) LALLY COLUMNS @ Approximately 7'-10" Apart
- 4 EA 2x10 FLOOR JOIST EACH SIDE 16" OC - 15'-5" Max Spa - O.K
- DOUBLE FLOOR JOIST AT @// wall Locations
- DOUBLE FLOOR JOIST @ ALL STAIR HEADERS
- WALL IN BASEMENT TO SUPPORT STAIR WELL OPENING
- RIM HEADER 2x10



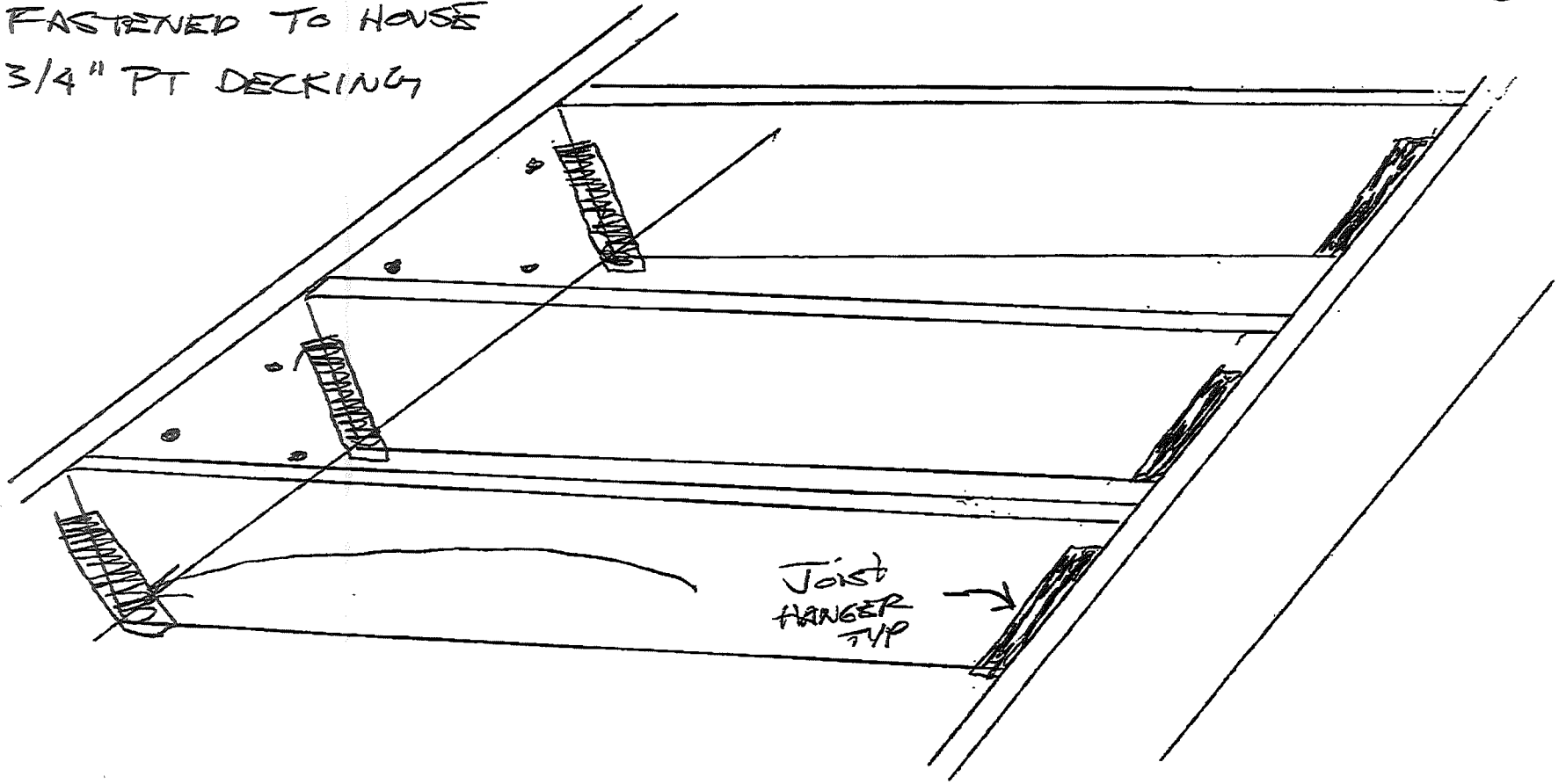
Sill w/ Sill Seal 2 EA 2x4 P.T.
 Anchor Bolts 6'-0" O.C. @ Perimeter
 3/4 Plywood NAILED AND GLUED PER NAIL SCHEDULE

1ST FLOOR FRAMING

3 MATHEWS STREET

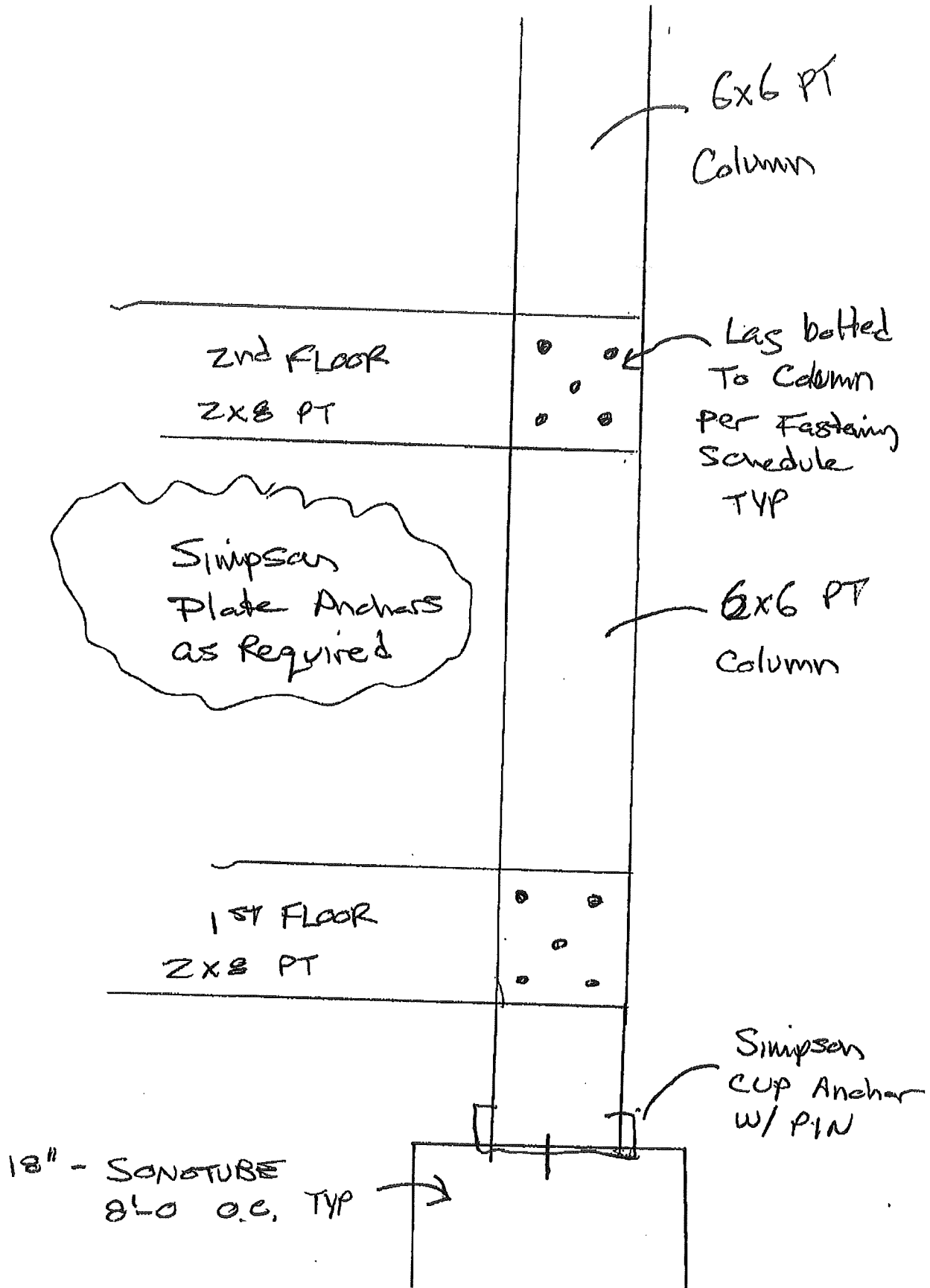
Joist Hanger per code

2X8 P.T. PORCH JOIST WITH JOIST HANGER
1/2" x 4 1/2" LAG BOLT & WASHER STAGGER PER FASTENING SCHEDULE
FASTENED TO HOUSE
3/4" PT DECKING



PORCH DETAILS

3 MATTHEWS STREET



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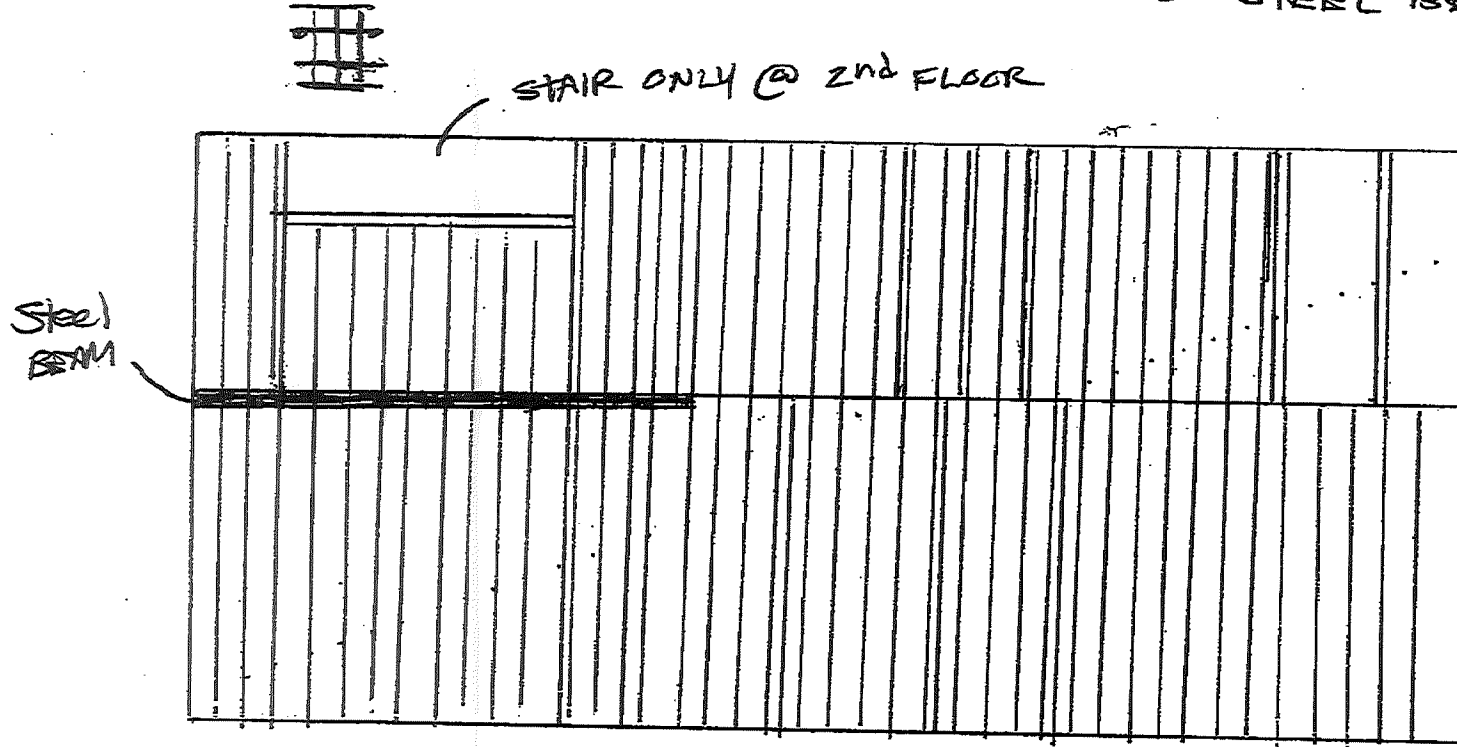
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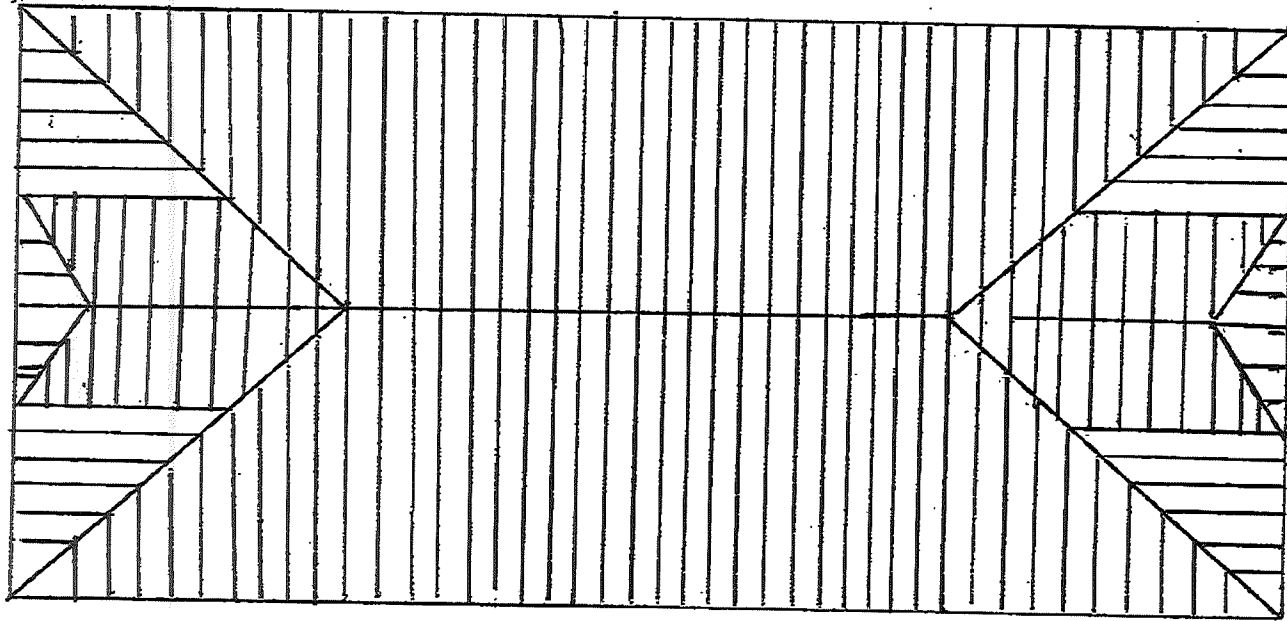


JOIST HANGER AS REQUIRED
 DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENING

2ND FLOOR FRAMING
 3RD FLOOR FRAMING

3 MATTHEWS STREET

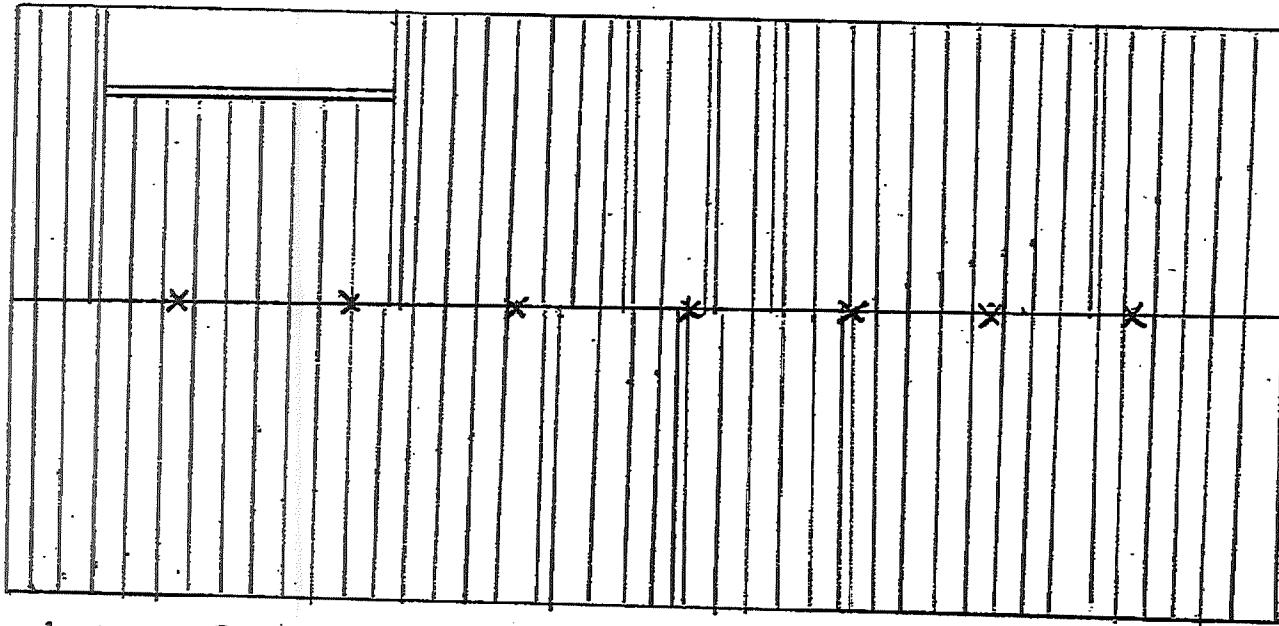
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ROOF

3 MATTHEW STREET

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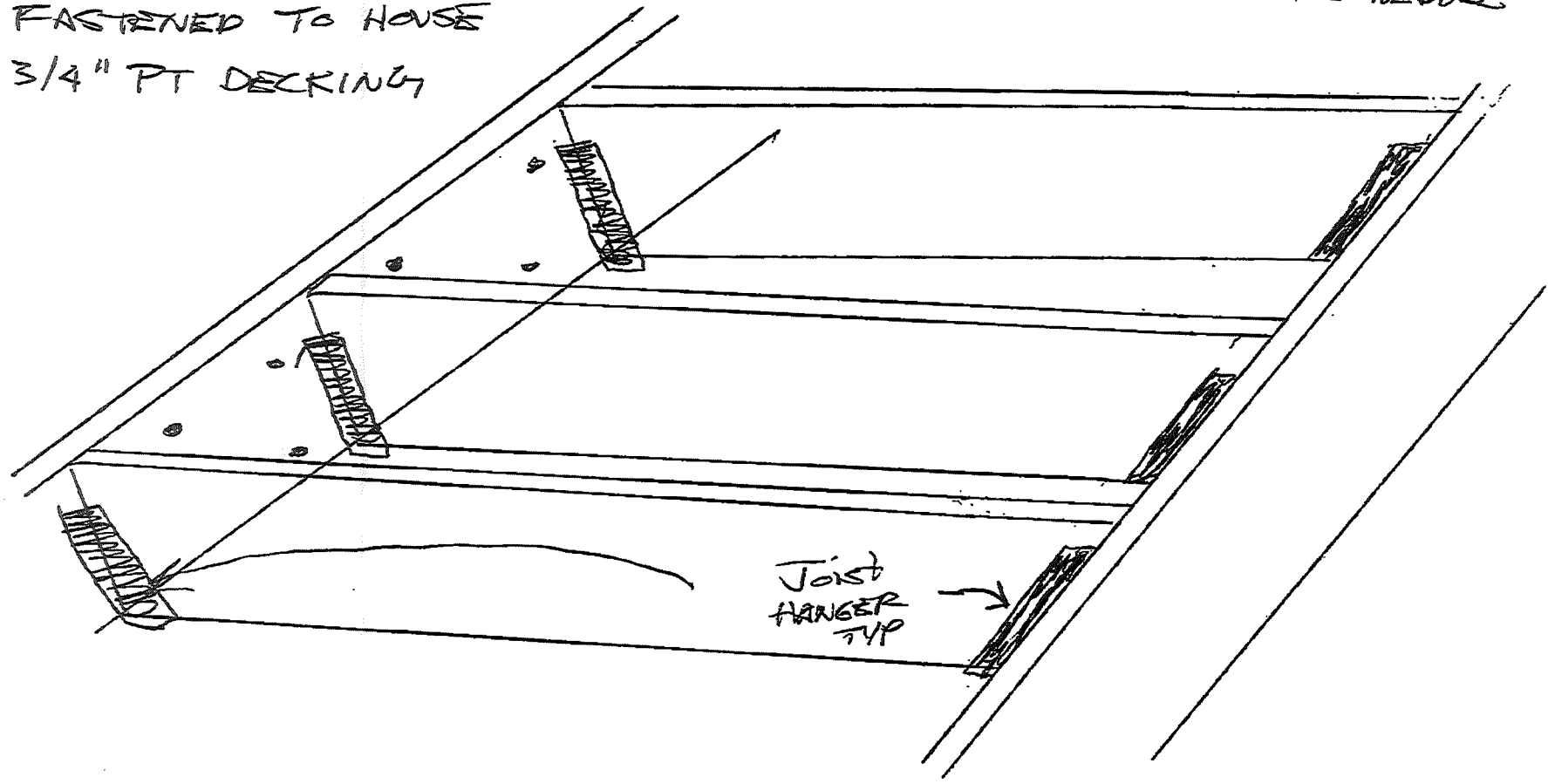


Sill w/ Sill Seal 2 EA 2x4 P.T.
 Anchor Bolts 6'-0" O.C. @ perimeter
 3/4 Plywood NAILED AND GLUED PER NAIL SCHEDULE
1ST FLOOR FRAMING

3 MATTHEWS
 STREET

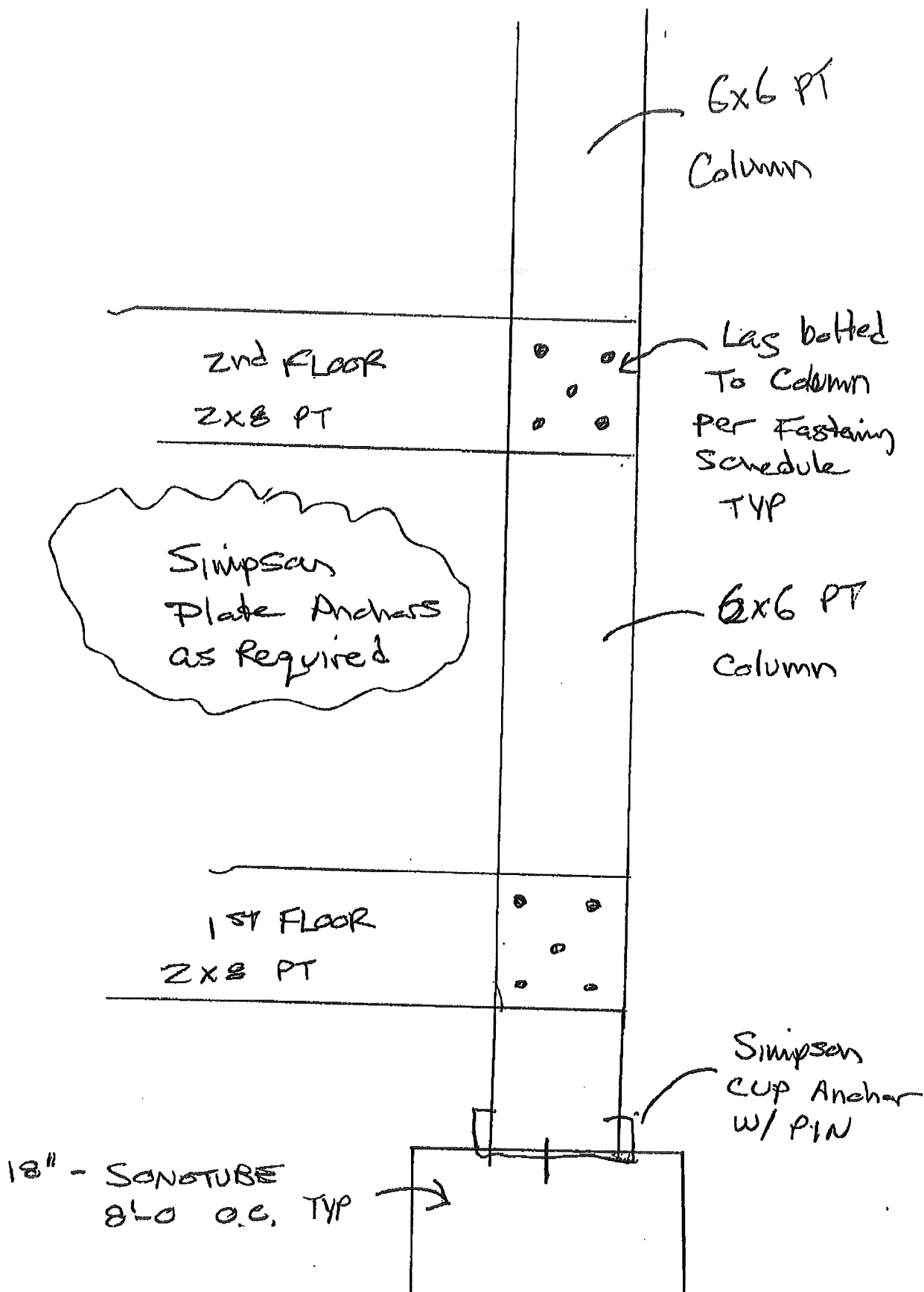
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FASTENED TO HOUSE
3/4" PT DECKING



PORCH DETAILS

3 MATHEWS STREET



FAX JOURNAL REPORT

TIME : 05/23/2008 13:06
 NAME :
 FAX : 2078748716
 TEL :
 SER.# : 000D7J529371

NO.	DATE	TIME	FAX NO./NAME	DURATION	PAGE(S)	RESULT	COMMENT	
#355	05/14	14:00	97975882	19	02	OK	TX	
	05/14	16:00	207 772 3388	25	01	OK	RX	
	05/14	22:07		15	02	OK	RX	
#356	05/15	10:38		23	01	OK	RX	
	05/15	12:08	918663703635	01:26	06	OK	TX	
	05/15	16:08	207 772 3388	25	01	OK	RX	
	05/15	17:16	866 281 3468	36	01	OK	RX	
	05/16	13:56		20	01	OK	RX	
	05/17	10:36	207 772 3388	25	01	OK	RX	
	05/19	10:08		28	02	NG	RX	
	05/19	10:10		15	01	NG	RX	
	#357	05/19	12:14	97955071	55	03	OK	TX
	#358	05/19	14:03	98928900	35	02	OK	TX
#359	05/19	14:17		38	03	NG	RX	
	05/19	14:20		01:03	07	OK	RX	
	05/19	14:38	7814490325	01:05	02	OK	RX	
	05/19	14:50	98741077	36	02	OK	TX	
#360	05/19	16:20	207 772 3388	25	01	OK	RX	
	05/20	13:47	97671766	01:33	07	OK	TX	
#361	05/20	15:01		32	01	OK	RX	
	05/20	15:29	97257499	57	02	OK	TX	
	05/20	15:59	207 772 3388	25	01	OK	RX	
#362	05/21	11:17	2077974194	02:20	03	OK	RX	
	05/21	12:41	98923149	00	00	BUSY	TX	
#363	05/21	13:42	97652676	24	01	OK	TX	
#364	05/21	16:18	207 772 3388	25	01	OK	RX	
	05/22	08:42		25	01	OK	RX	
	05/22	11:01	7757917	04:27	01	OK	RX	
	05/22	11:17	7757917	39	02	OK	RX	
	05/22	11:31	207 874 2801	01:26	02	OK	RX	
	05/22	12:18		53	03	OK	RX	
	05/22	12:39	97732833	19	01	OK	TX	
	#365	05/22	14:42	98746705	25	02	OK	TX
	05/22	14:43		37	01	OK	RX	
	05/22	14:45		31	01	OK	RX	
	05/22	15:33		01:06	04	OK	RX	
	05/22	15:40		01:05	04	OK	RX	
	05/22	15:44		01:00	03	NG	RX	
	05/22	15:46		01:04	03	NG	RX	
	05/22	15:49		36	01	NG	RX	
05/22	15:50		16	00	NG	RX		
05/22	15:52		39	01	NG	RX		
05/22	15:53		17	00	NG	RX		
05/22	15:54		16	00	NG	RX		
05/22	15:57	207 772 3388	25	01	OK	RX		
05/23	09:04		21	01	OK	RX		
05/23	10:48	207 874 6705	19	02	OK	RX		
05/23	11:53	207 797 5105	27	01	OK	RX		
05/23	12:04	207 699 2120	28	02	OK	RX		
05/23	13:04		01:45	07	OK	RX		

BUSY: BUSY/NO RESPONSE
 NG : POOR LINE CONDITION / OUT OF MEMORY
 CV : COVERPAGE
 POL : POLLING
 RET : RETRIEVAL
 PC : PC-FAX

TO: CITY OF PORTLAND

ATTN: TAMMY

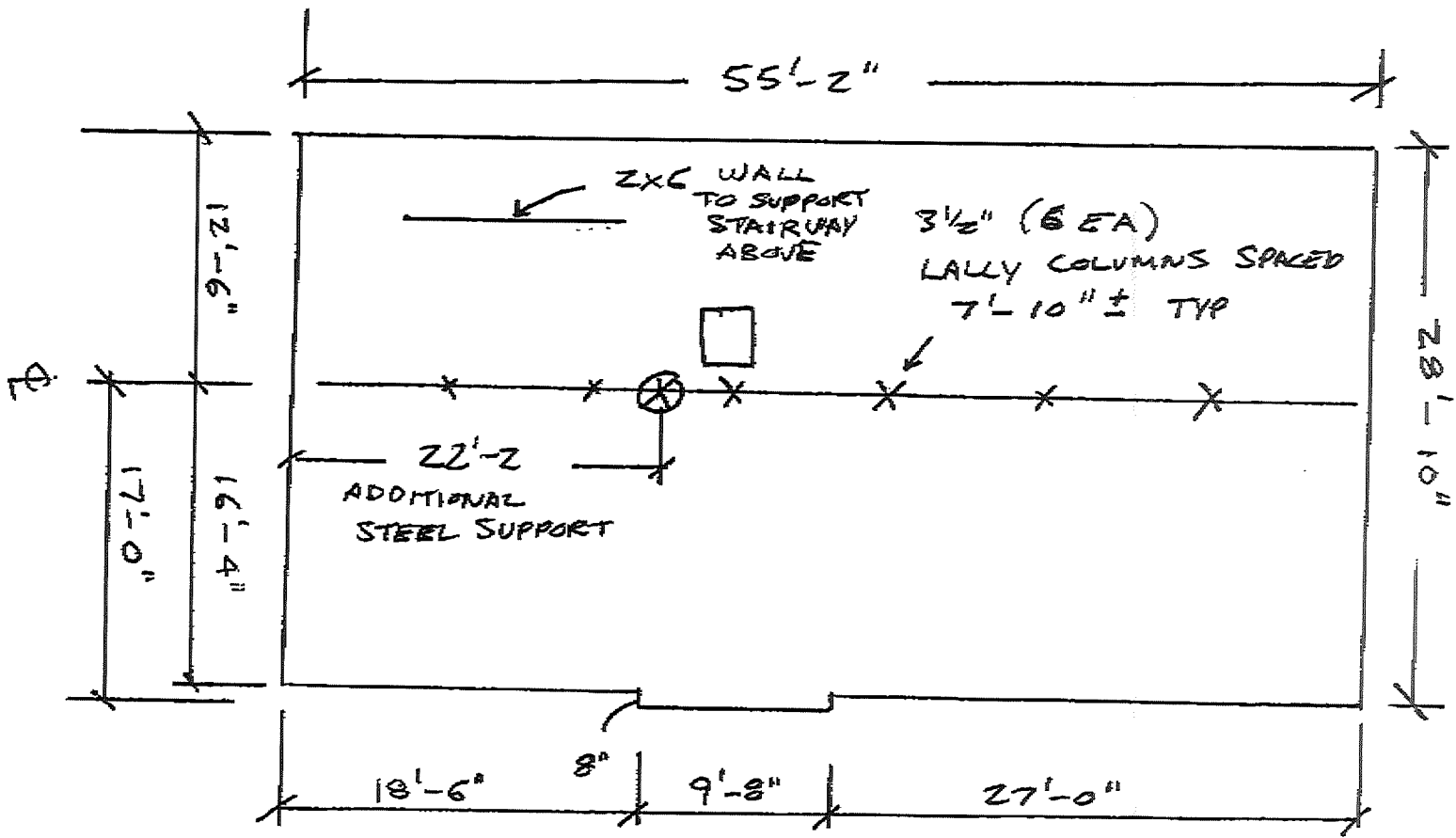
RE: 3 MATTHEW STREET

PAGES : 5

FROM: LARRY STURDIVANT

FAX NUMBER: 207-874-8716

LARRY
752.0091



BASEMENT

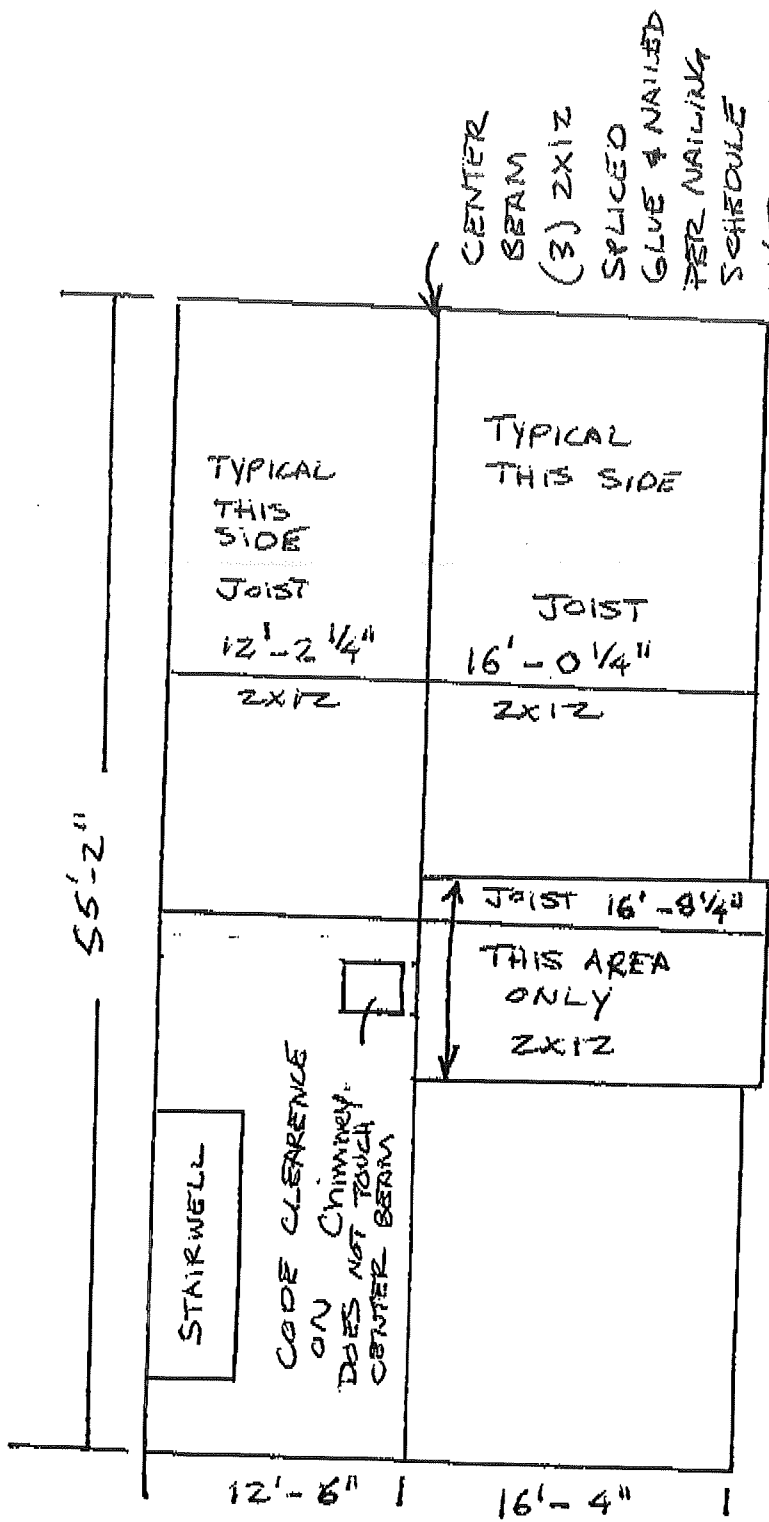
3 MATHEWS STREET
PORTLAND, ME

JOIST
 17'-0"
 - 1 1/2" RIM
 - 2 1/4" BEAM
 16' 8 1/4" JOIST

JOIST
 16'-4"
 - 1 1/2" RIM
 - 2 1/4" BEAM
 16' - 1/4" JOIST

JOIST
 12'-6"
 - 1 - 1/2" RIM
 - 2 1/4" RIM
 12' - 2 1/4"

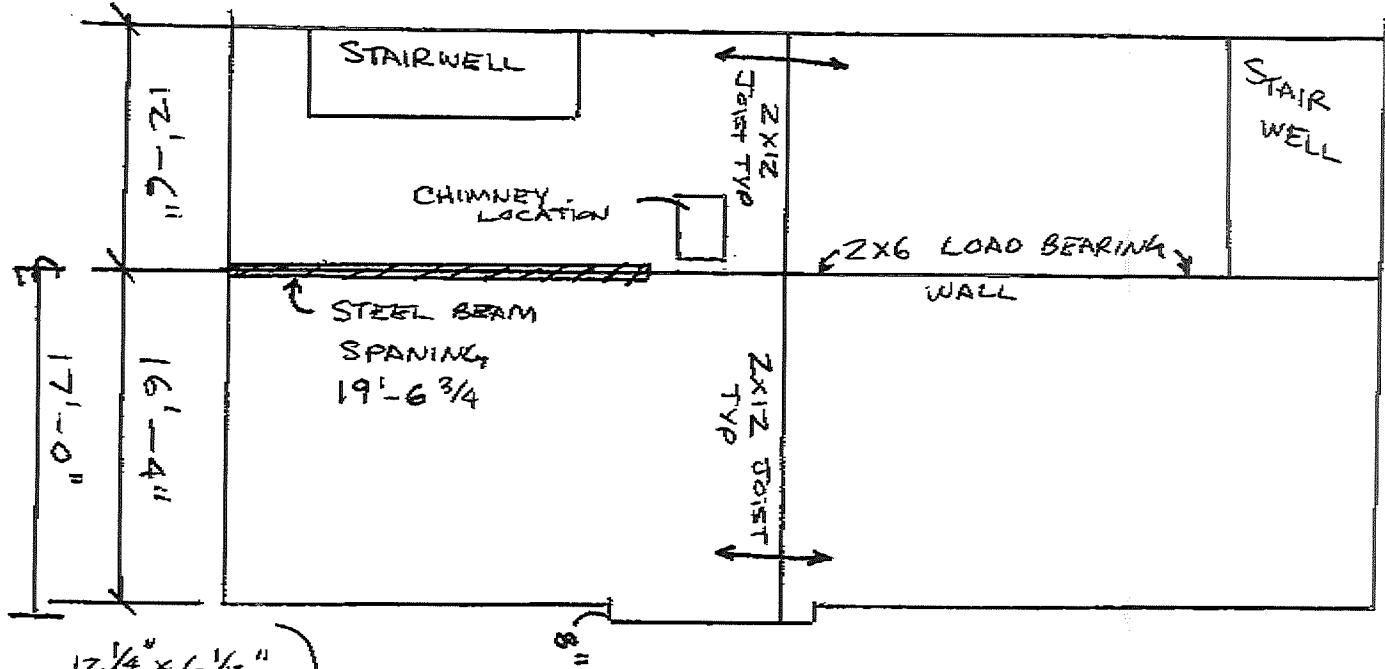
ALL JOIST
 2X12
 DOUBLE JOIST @
 ALL WALL LOCATIONS



CENTER BEAM
 (3) 2X12
 SPLICED
 GLUE & NAILLED
 PER NAILING
 SCHEDULE
 W/ JOIST HANGER
 SUPPORTED BY
 (6) EA 3 1/2" LALLY
 COLUMNS @
 7'-10" ± SPACING

3 MATTHEW ST.
 PORTLAND, ME

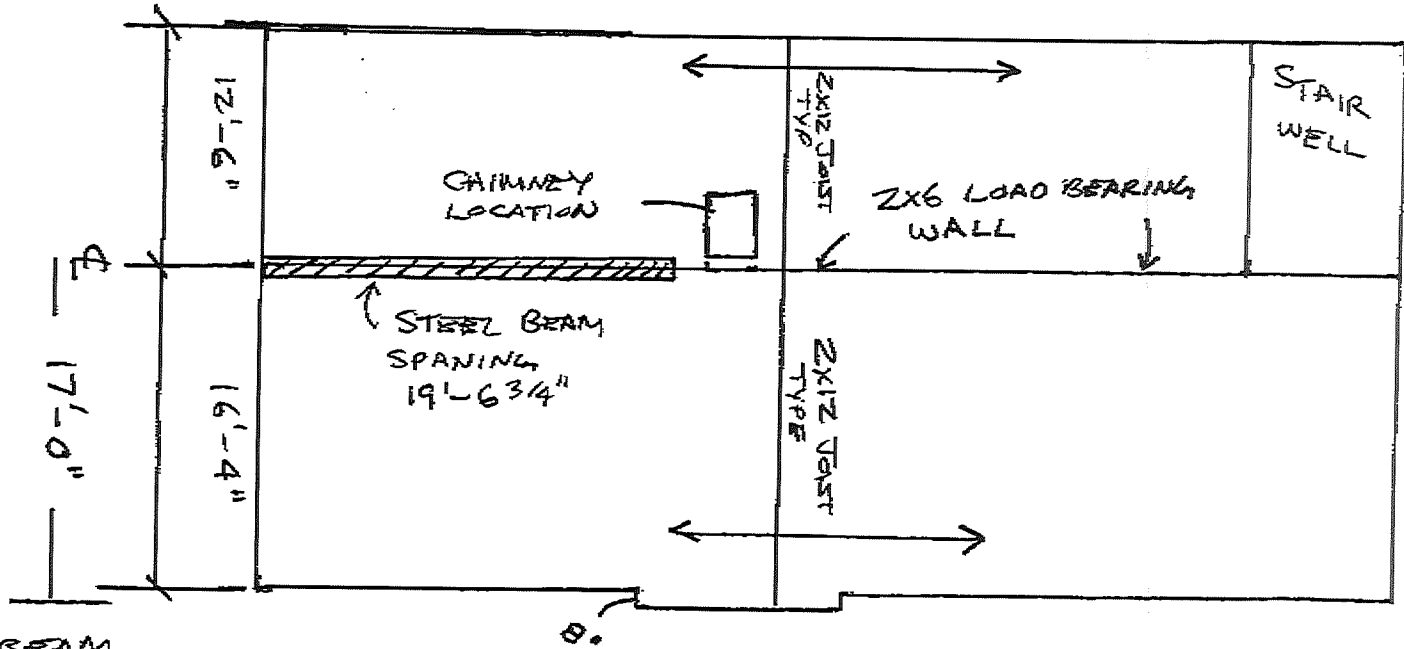
1ST FLOOR



- 22'-6"
- (W12 X26 12 1/4" x 6 1/2")
- STEEL BEAM
- (DRILLED AND PUNCHED)
- TO RECEIVE WOOD NAILERS
- (ANCHORED INTO TOP OF)
- WALL W/ Z 5/8" LAG BOLTS
- (WITH 5/8 WASHER, 6 X8)
- LV& SUPPORT TO BASEMENT

2nd FLOOR

3 MATHEW STREET
PORTLAND, ME



STEEL BEAM
 W/12 X Z6 12 1/4" X 6 1/2"
 LENGTH 22'-6"
 DRILLED AND PUNCHED
 TO RECEIVE WOOD NAILERS
 ANCHORED INTO TOP OF
 WALL W/ Z EA 5/8" LAG BOLTS
 WITH WASHER. 6 X 8 LVL
 SUPPORT TO BASIMENT

3rd FLOOR

3 MATTHEW STREET
 PORTLAND, ME

1-207-874-8716

ATTN: TAMMY

RE: 3 MATTHEWS STREET

6 pages

Call me when you get this

Thanks

207-752-0891

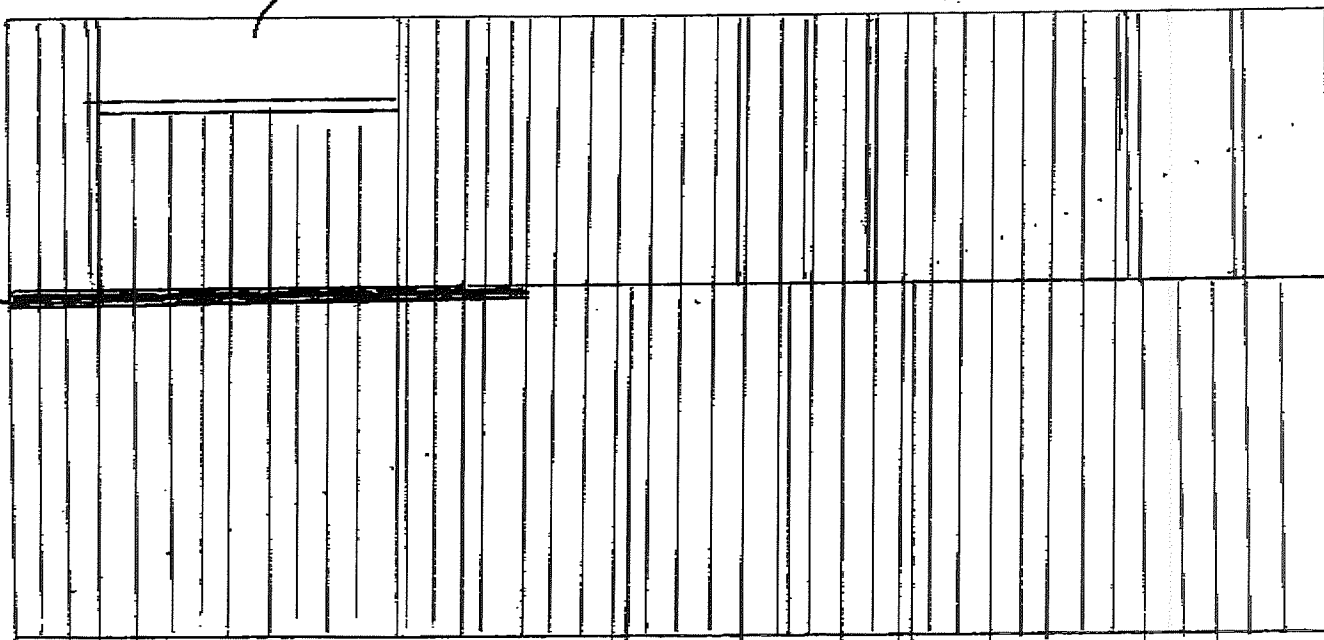
Larry

41 EA 2X12 FLOOR JOIST SUPPORTED BY LOAD BEARING WALL
STEEL BEAM 20'-2" SPANING LIVING ROOM
2X12 FLOOR JOIST ATTACHED TO BEAM WITH JOIST HANGER
WOOD NAILER BOLTED TO PRE PUNCHED STEEL BEAM



STAIR ONLY @ 2nd FLOOR

Steel
BEAM
Sized

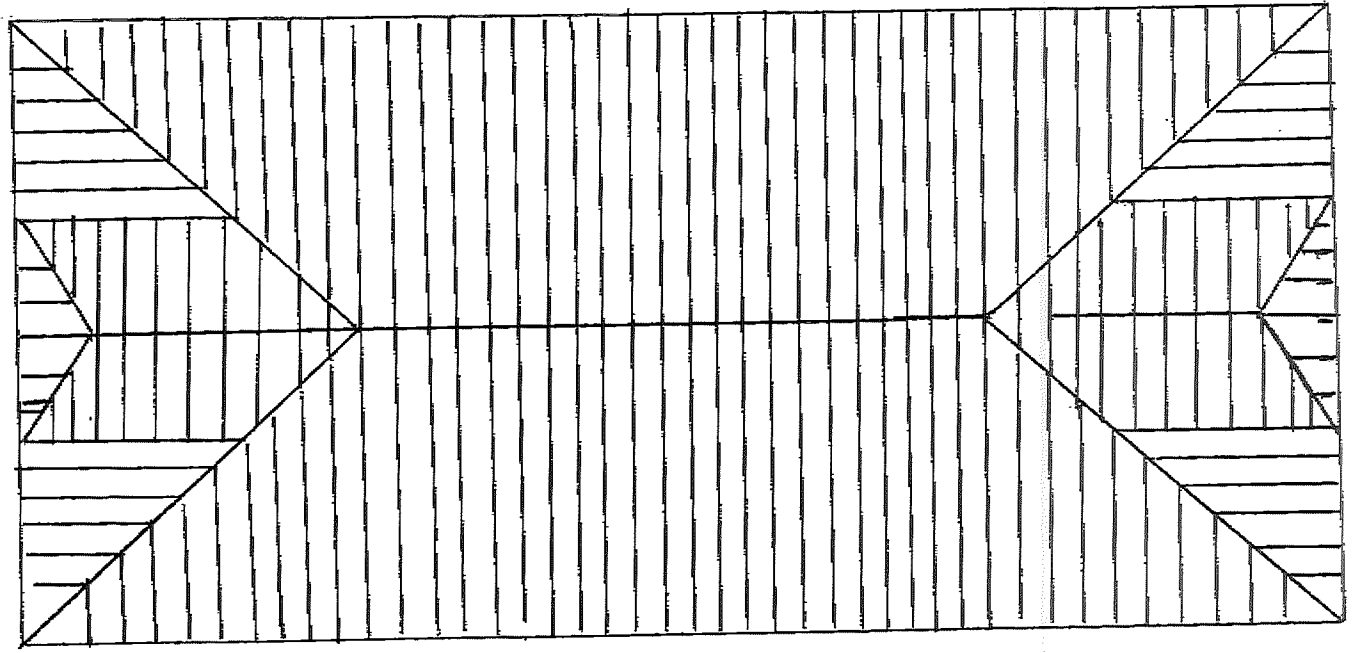


JOIST HANGER AS REQUIRED
DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENING

2nd FLOOR FRAMING
3rd FLOOR FRAMING

3 MATTHEWS STREET

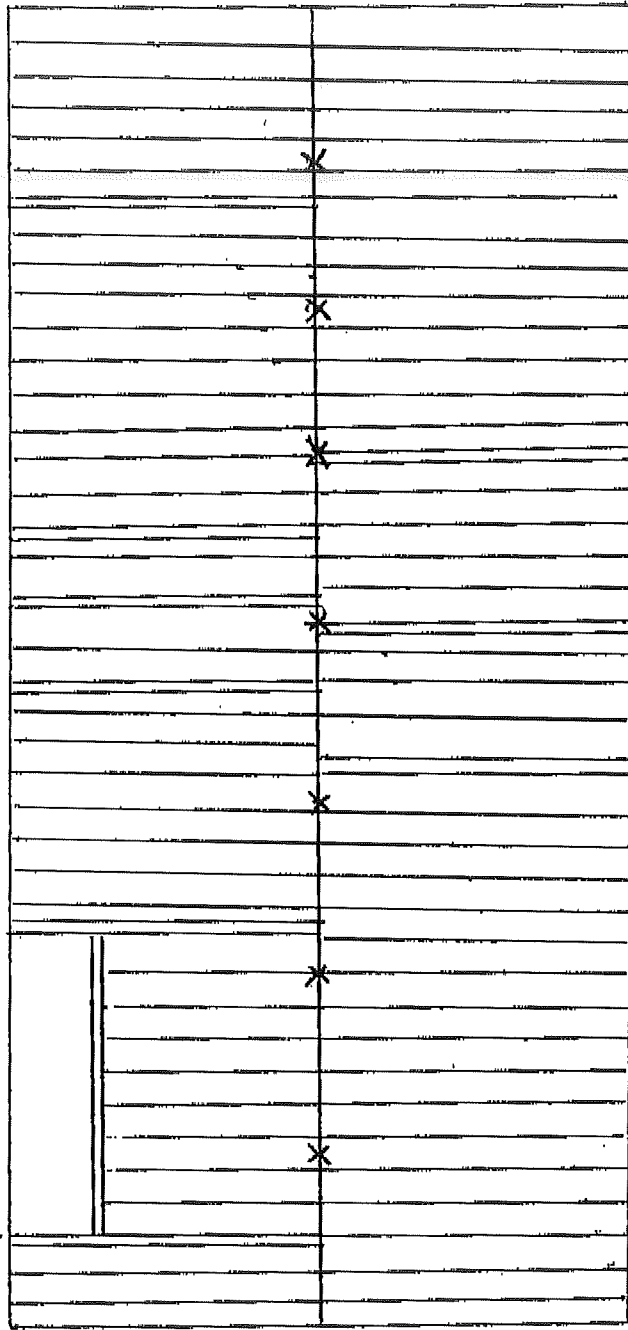
MAIN RIDGE & HIPs 1 3/4" x 14 LVL
HANGER PER CODE
2x12 ROOF RAFTER - MAIN ROOF 16" O.C.
2x8 ROOF RAFTER @ DORMER
2 EA 1 3/4" x 14 LVL TO SUPPORT DORMER WALL
1/2 PLYWOOD ROOF SHEATHING



ROOF

3 MATTHEW STREET

(3) Z12 MAIN BEAM ZXZ CONTINUED ~~Both Sides~~
 (7 EA) LALLY COLUMNS @ APPROXIMATELY 7'-10" APART
 4 EA ZX10 FLOOR JOIST EACH SIDE 16" OC
 DOUBLE FLOOR JOIST AT @// WALL LOCATIONS
 DOUBLE FLOOR JOIST @ ALL STAIR HEADERS
 WALL IN BASEMENT TO SUPPORT STAIR WELL OPENING
 RIM HEADER ZX10



Sill w/ Sill Seal ZEA ZX4 P.T.
 Anchor Bolts C'-0 O.C. @ PERIMETER
 3/4 PLYWOOD NAILED AND GLUED PER NAIL SCHEDULE
1ST FLOOR FRAMING

3 MATTHEWS
 STREET

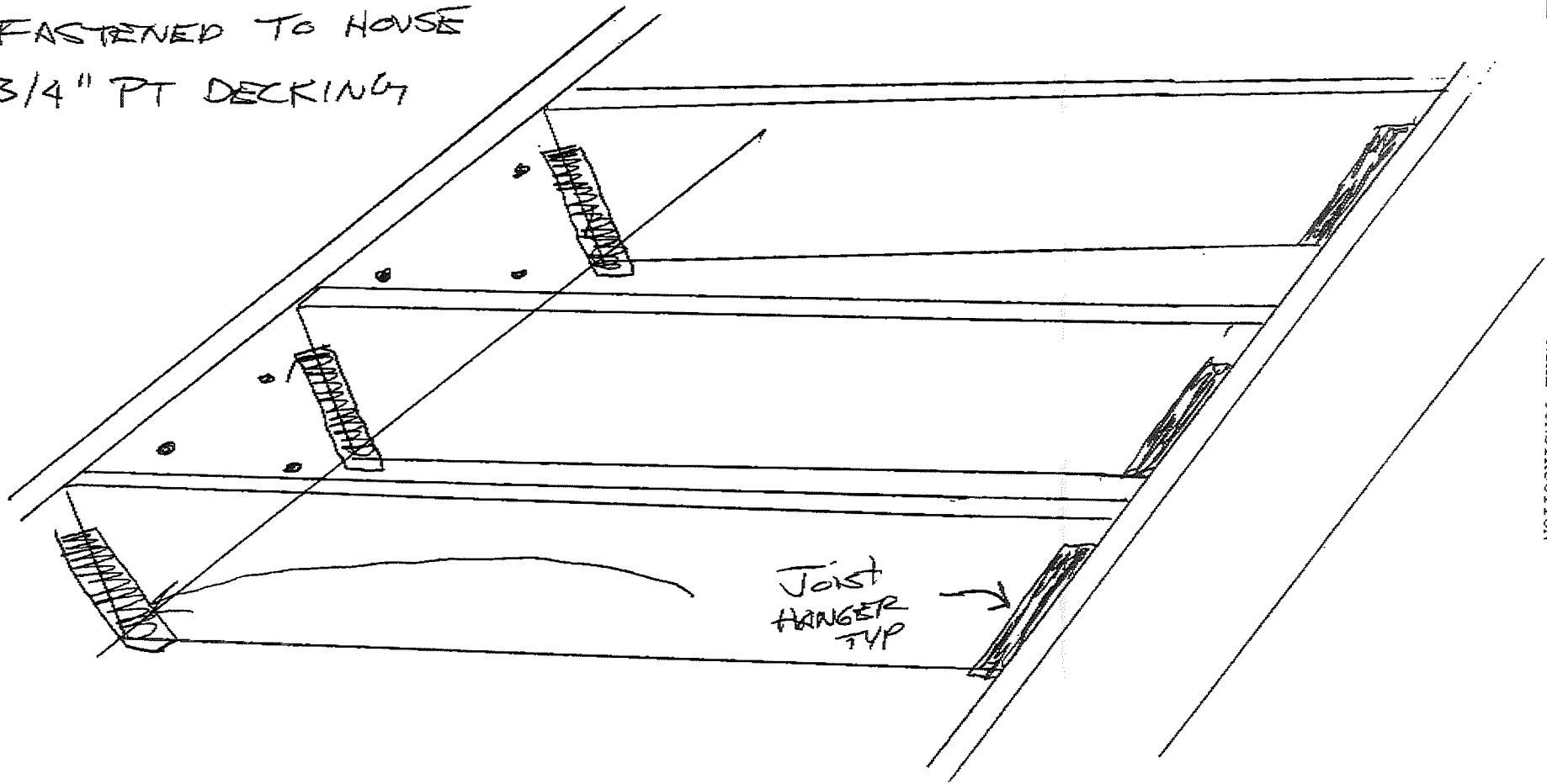
Joist Hanger per code

2x8 P.T. PORCH JOIST WITH JOIST HANGER

1/2" x 4 1/2" LAG BOLT & WASHER STAGGER PER FASTENING SCHEDULE

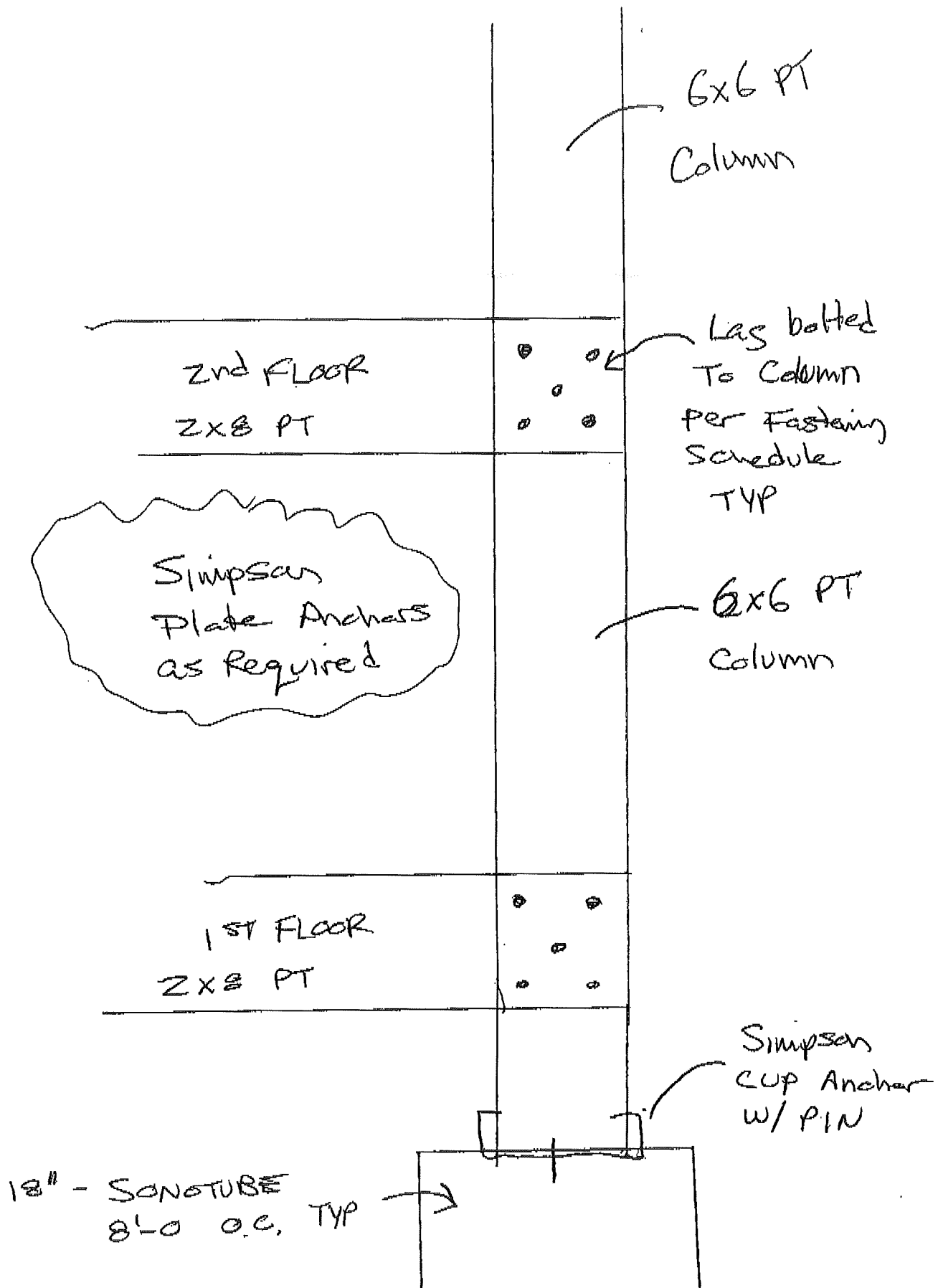
FASTENED TO HOUSE

3/4" PT DECKING



PORCH DETAILS

3 MATHEWS STREET



6x6 PT
Column

2nd FLOOR
2x8 PT

Lag bolted
To Column
Per Fastening
Schedule
TYP

Simpson
Plate Anchors
as Required

6x6 PT
Column

1st FLOOR
2x8 PT

Simpson
CUP Anchor
w/ PIN

18" - SONOTUBE
8'0" o.c., TYP

1-207-874-8716

ATTN: TAMMY

RE: 3 MATTHEWS STREET

6 pages

Call me when you get this

Thanks

207-752-0091

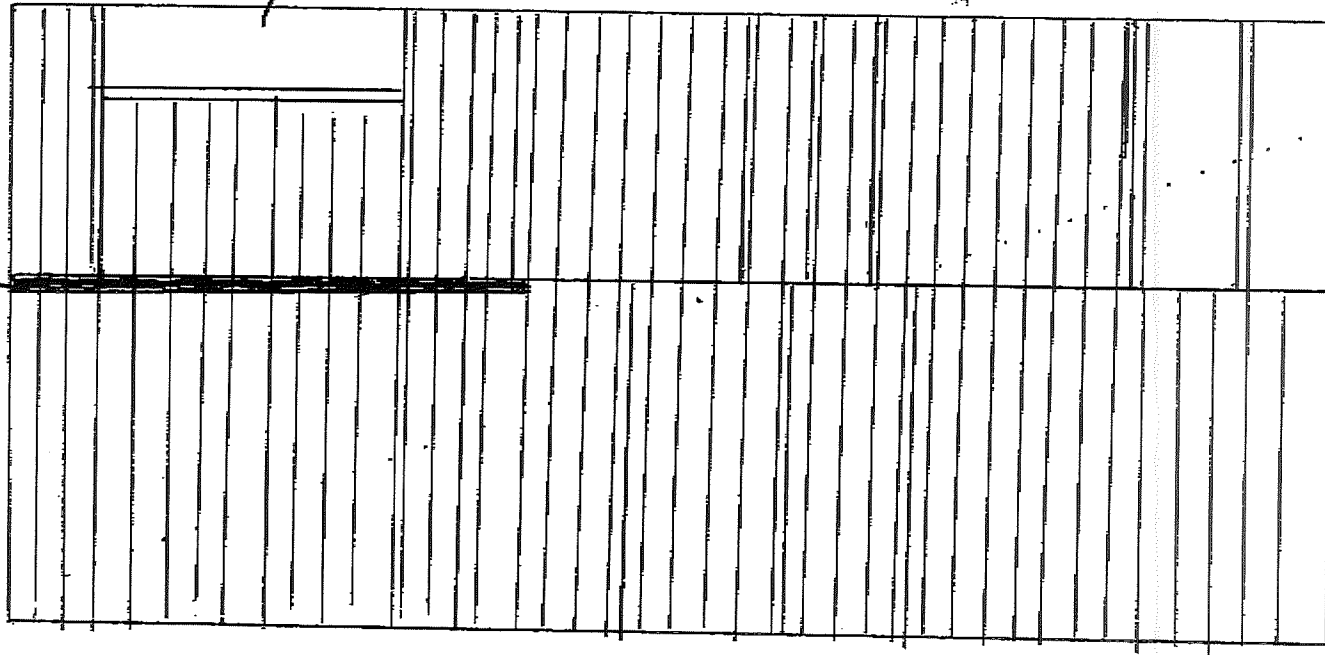
Larry

41 EA 2X12 FLOOR JOIST SUPPORTED BY LOAD BEARING WALL
STEEL BEAM 20'-2" SPANING LIVING ROOM
2X12 FLOOR JOIST ATTACHED TO BEAM WITH JOIST HANGER
WOOD NAILER BOLTED TO PRE PUNCHED STEEL BEAM



STAIR ONLY @ 2nd FLOOR

Steel
BEAM
Sized

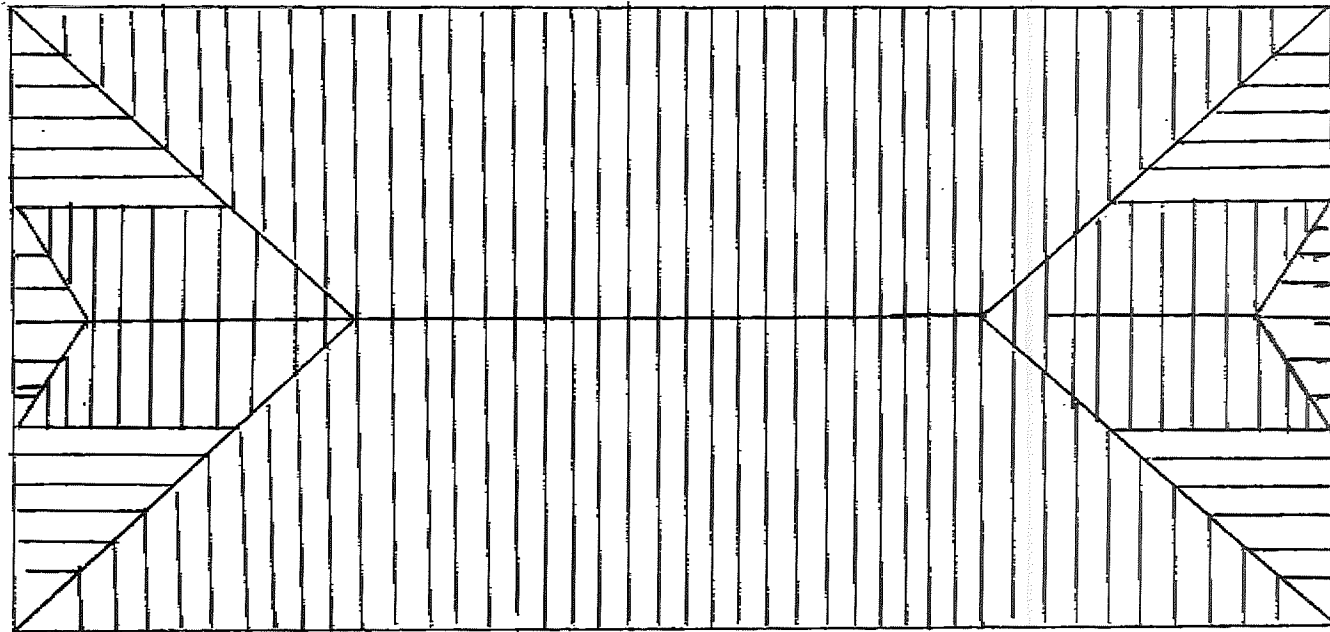


JOIST HANGER AS REQUIRED
DOUBLE JOIST @ ALL WALL LOCATION AND STAIR OPENING

2nd FLOOR FRAMING
3rd FLOOR FRAMING

3 MATTHEWS STREET

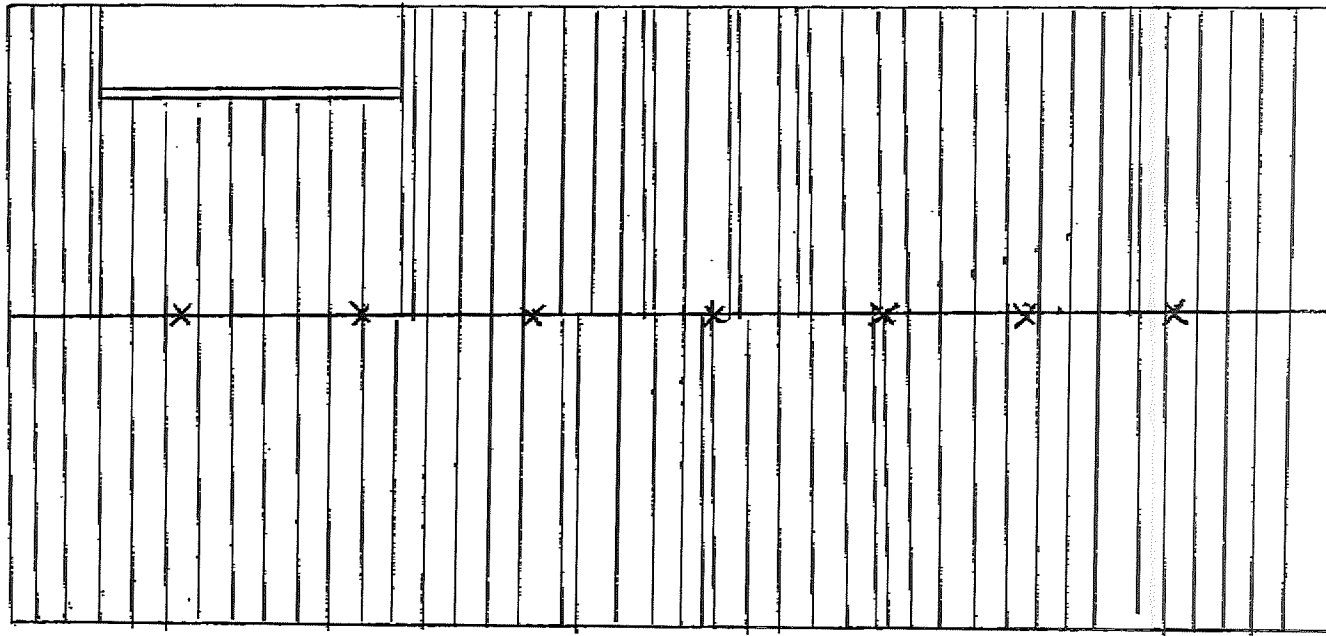
MAIN RIDGE & HIPS 1 3/4" x 14 LVL
HANGER PER CODE
2X12 ROOF RAFTER - MAIN ROOF 16" O.C.
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2 EA 1 3/4" x 14 LVL TO SUPPORT DORMER WALL
1/2 PLYWOOD ROOF SHEATHING



ROOF

3 MATTHEW STREET

(3) 2x12 MAIN BEAM 2x2 CONT. ~~ledger~~ Both Sides
 (7 EA) LALLY COLUMNS @ Approximately 7'-10" Apart
 41 EA 2x10 FLOOR JOIST EACH SIDE 16" OC
 DOUBLE FLOOR JOIST AT @// wall Locations
 DOUBLE FLOOR JOIST @ ALL STAIR HEADERS
 WALL IN BASEMENT TO SUPPORT STAIR WELL OPENING
 RIM HEADER 2x10



Sill w/ Sill Seal 2 EA 2x4 P.T.
 Anchor Bolts 6'-0" O.C. @ Perimeter
 3/4 Plywood NAILED AND GLUED PER NAIL SCHEDULE
1ST FLOOR FRAMING

3 MATHEWS
 STREET

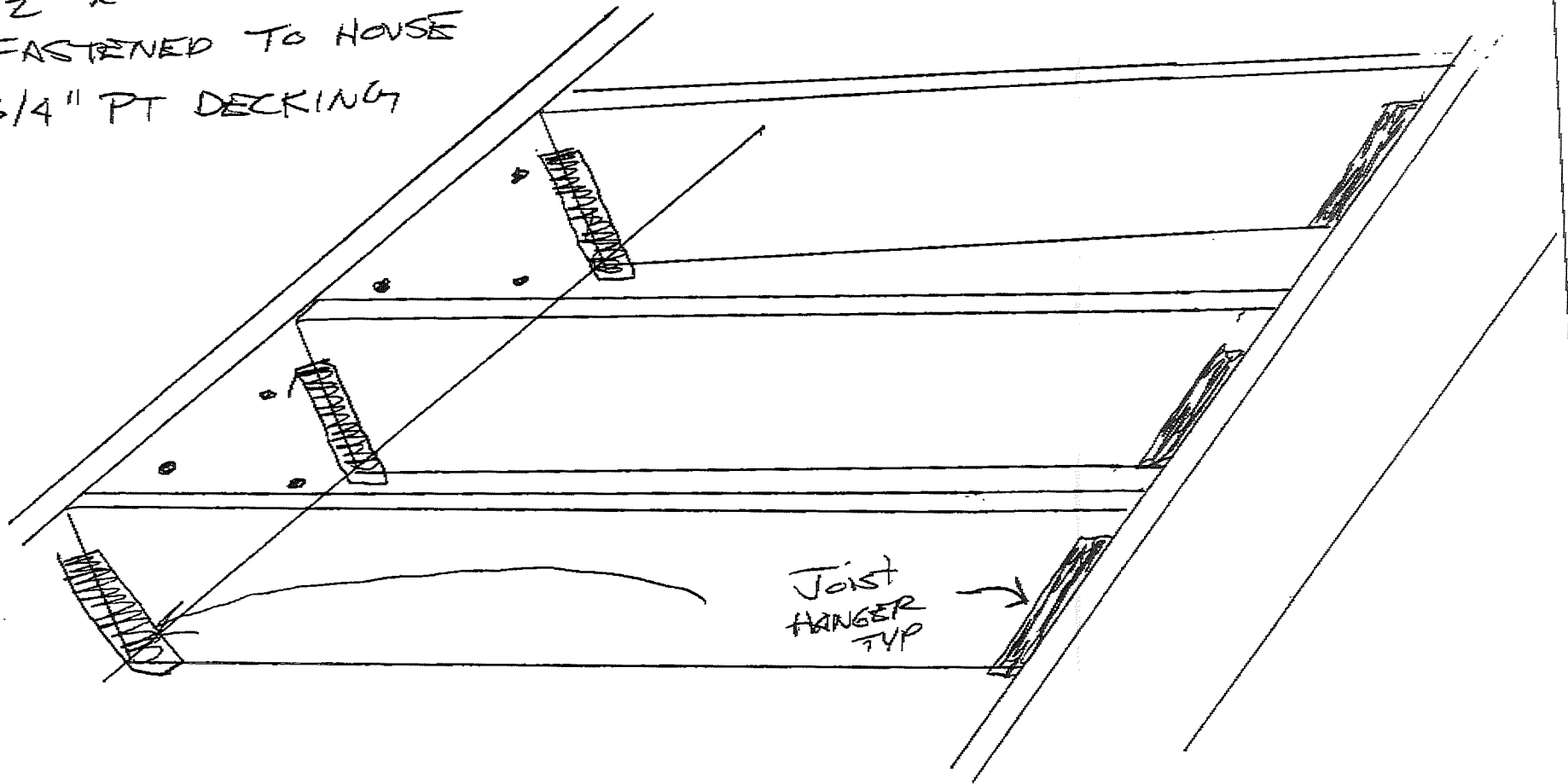
Joist Hanger per code

2x8 P.T. PORCH JOIST WITH JOIST HANGER

1/2" x 4 1/2" LAG BOLT & WASHER STAGGER PER FASTENING SCHEDULE

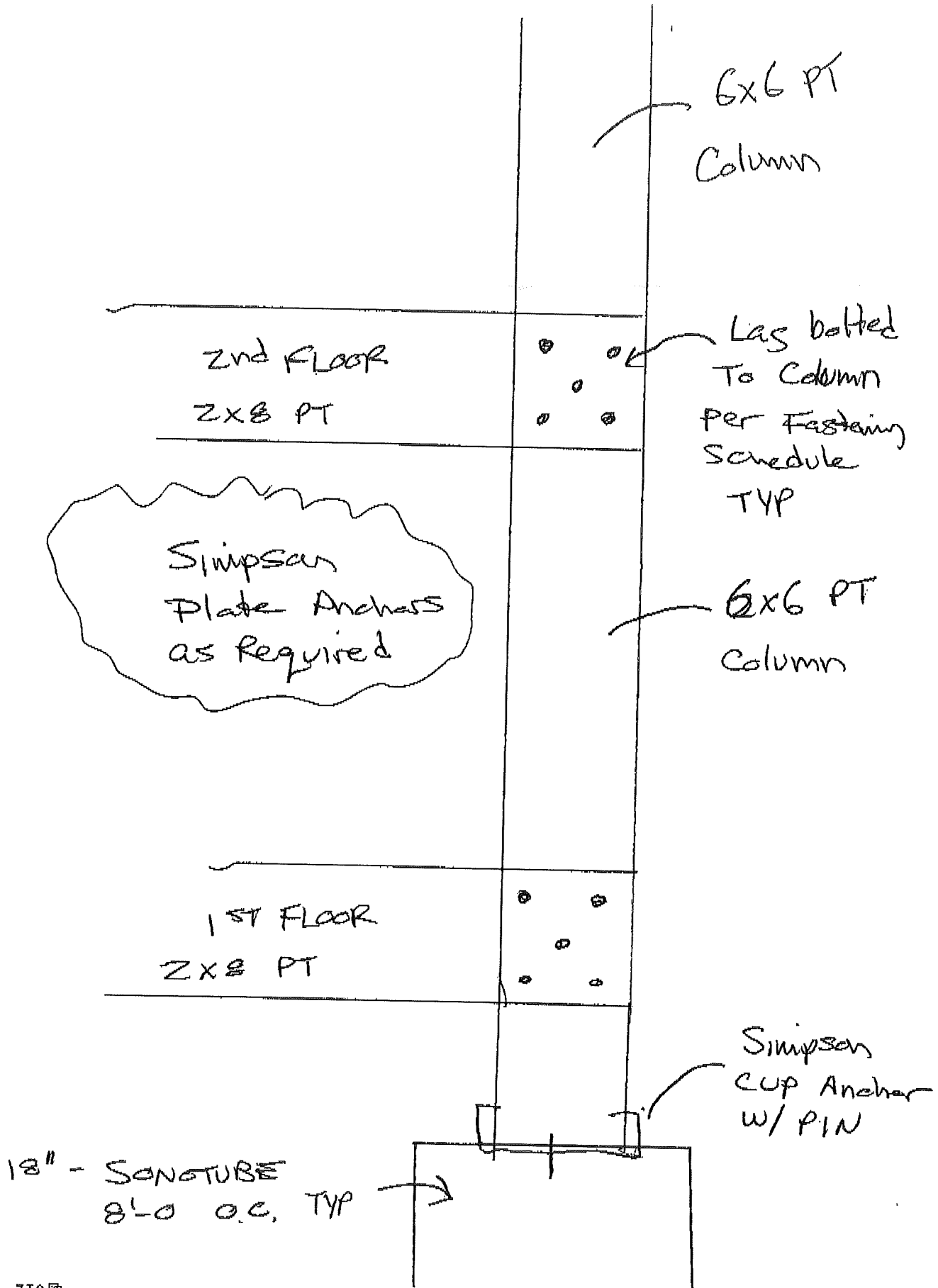
FASTENED TO HOUSE

3/4" PT DECKING



PORCH DETAILS

3 MATHEWS STREET





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>3 MATHEWS STREET</u>		
Total Square Footage of Proposed Structure/Area <u>3180</u>	Square Footage of Lot <u>5000</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>132</u> <u>1</u> <u>3</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Littlefield Farm LLC</u> Address <u>153 Andover Street</u> <u>Suite #205</u> City, State & Zip <u>Danvers, MA 01923</u>	Telephone: <u>207-752-0091</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>151,700</u> C of O Fee: \$ _____ Total Fee: \$ <u>1,615</u>
Current legal use (i.e. single family) <u>TWO FAMILY</u> If vacant, what was the previous use? <u>TWO FAMILY</u> Proposed Specific use: <u>TWO FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>New 2 Family Home - on existing foundation</u>		
Contractor's name: <u>NIAL CONSTRUCTION</u> Address: <u>153 ANDOVER STREET SUITE 205</u> City, State & Zip <u>DANVERS, MA 01923</u> Telephone: <u>207-752-0091</u> Who should we contact when the permit is ready: <u>LARRY</u> Telephone: _____ Mailing address: <u>Same</u>		

1540
75

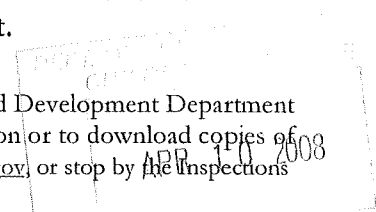
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Laurie Shurt Date: 3/31/2008

This is not a permit; you may not commence ANY work until the permit is issue



From: Gregory Cass
To: Ann Machado
Date: 4/16/2008 2:14:26 PM
Subject: Re: 3 Matthews Street

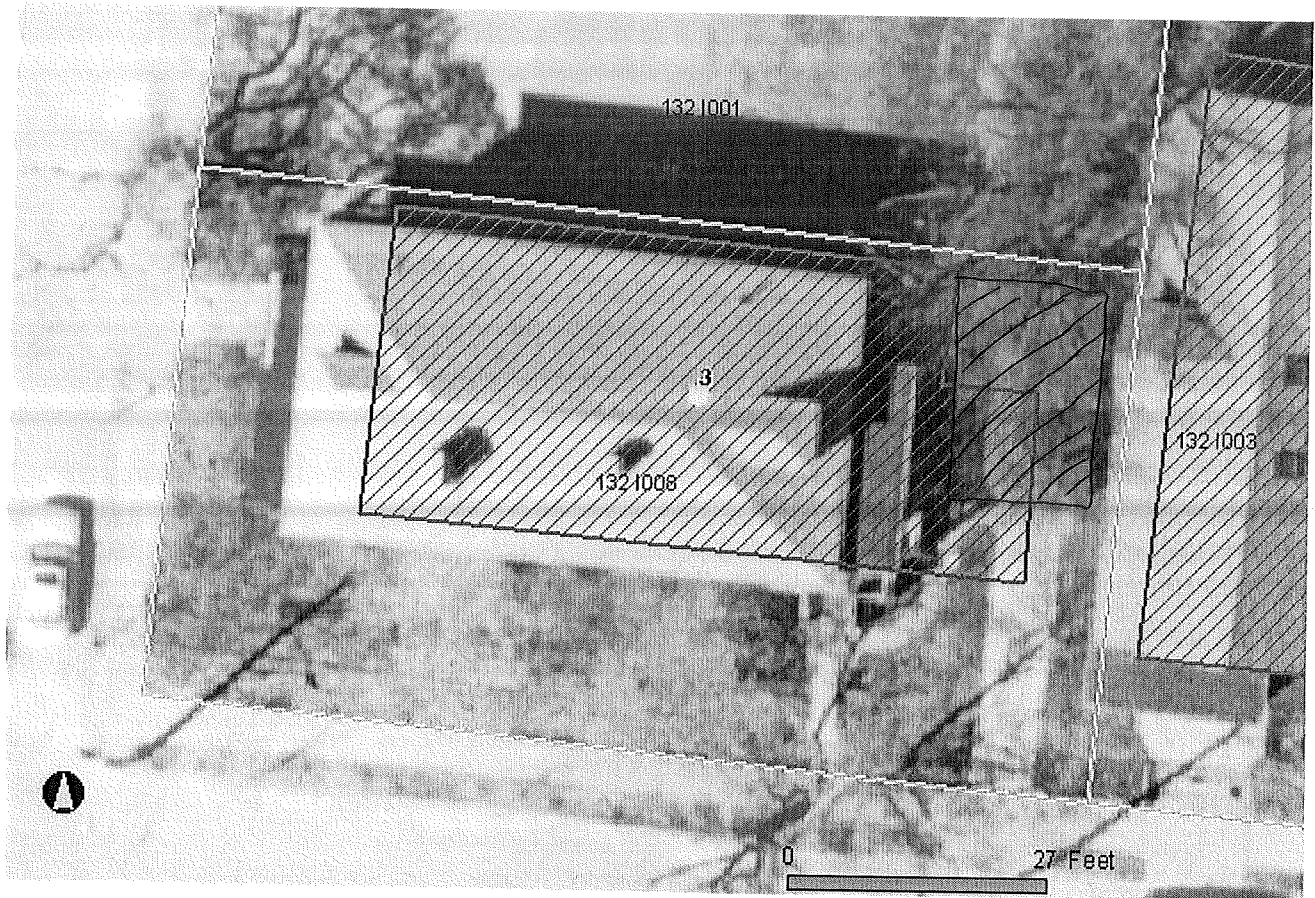
04/25/2007

>>> Ann Machado 4/16/2008 11:48:09 AM >>>
Greg -

Can you document for us exactly what date the fire happened at 3 Matthews Street?

Thanks.

Ann





Job Site Project Information



(APC Project #07-404)

Building Contact:

**Nail Construction
153 Andover St
Danvers, MA**

Project Location:

**3 Mathews St
Portland, Maine**

APC Contact:

**Kyle Rickett
831-4902-Cell**













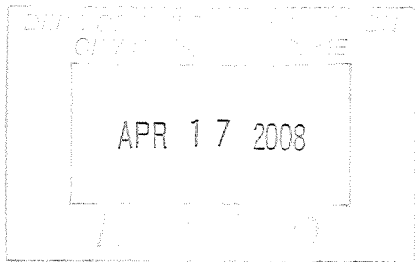
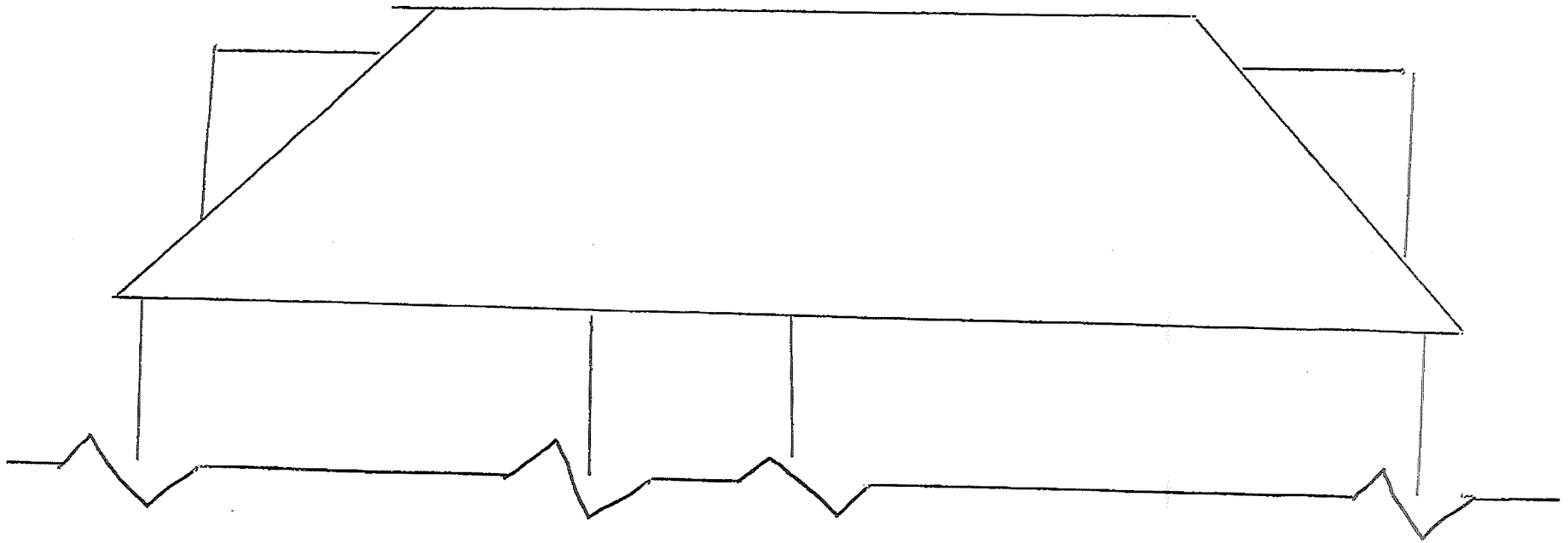






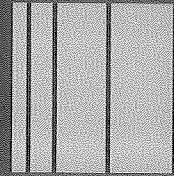
REVISED ROOF DETAIL

ATTN: ANN
TAMMY



CONCORD ST. VIEW

3 Mathews Street
PORTLAND, ME
207-874-8716



April 17, 2008
08193

Ms. Anne Machado
Zoning Specialist
Portland City Hall
389 Congress Street
Portland, ME 04101

APR 18 2008

Survey Plan
3 Matthews Street Portland, Maine

Dear Anne:

On behalf of Larry Sturdivant of Littlefield Farms, LCC we are pleased submit the attached survey plan of a residential property at 3 Mathews Street. We are submitting this plan support of Mr. Sturdivant's application for a building permit to replace the existing fire damaged residential building on the site.

As indicated on the survey, we have located the building foundation corners at existing grade, the building siding at the top of foundation and the extents of the remaining fire damaged roof eave overhangs. As we discussed by telephone, our surveyor was able to determine four elevation points on the remaining eave lines of the building.

Based on our survey we have established the following elevations:

1. The average existing grade at the exterior foundation EL = 103.0 feet (103'-0")
2. The average elevation of four locations on the remaining roof eave overhangs EL = 127.1 feet (127'-1")
3. The existing building's first floor deck (to remain) EL = 106.85 feet (106'-10")

Due to the extensive fire damage to the roof we were unable to survey locate an elevation of the former building's roofline ridge. However, we have estimated the height of the roof using measurements from aerial photographs and observations of the typical construction of other hip-roof buildings in the neighborhood.

Based on aerial photographs, the building's roofline ridge was approximately 25.5 feet long. Comparing this estimated length with the surveyed dimensions of the roof it appears that the existing building's hip roof was constructed with at least a 10:12 roof pitch, and very likely a 12:12 pitch. This pitch appears consistent with photographs of the building taken prior to the fire and is consistent with the pitch of other hip-roof residences in the neighborhood.

Based on this estimate of the roof pitch, the existing building roof elevation is estimated to have been between elevations 140.4 feet to 143.1 feet. These elevation correlate to the following building heights.

	Existing Structure Roof Pitch 10:12	Existing Structure Roof Pitch 12:12	Proposed Building
Ridge Elevation	140'-5"	143'-1"	139'-6"
Height above first floor deck to remain (El = 106'-10")	33'-7"	36'-3"	32'-8"
Height above exterior grade to remain (El = 103'-0")	37'-5"	40'-1"	36'-6"

Based on our survey and a conservative estimate of the existing building roof height, it appears that the proposed structure's roof will be lower than the existing building's former roofline. The new building is proposed to be constructed using the existing foundation and first floor deck, within the exterior dimensions of the existing building indicating in a reduced volume structure.

Please contact me if you have any questions regarding our survey.

Sincerely,

SEBAGO TECHNICS, INC.



Daniel L. Riley, P.E.
Senior Project Manager

DLR:dlr/df

Enc.

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation	Portland
Street Subdivision Lot #	3 Mathews St

PROPERTY OWNERS NAME

Last: Sturdivant	First: Larry
Applicant Name:	Scott Pettis
Mailing Address of Owner/Applicant (If Different)	PO Box 544 Westbrook, Me 04098

132-T-008

PORTLAND **PERMIT # 10683 TOWN COPY**

Date Permit Issued: 7/02/08 \$ [] Double Fee Charged

Jeanne Bunka
Local Plumbing Inspector Signature L.P.I. # 0732

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Scott Pettis 7/7/08
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

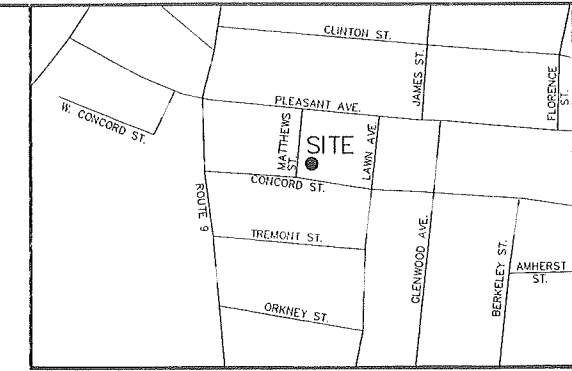
This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # 07854
---	--	---

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system.	2	Hosebib / Sillcock	4	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	2	Sink
		Drinking Fountain	5	Wash Basin
OR <input type="checkbox"/> TRANSFER FEE (\$6.00)		Indirect Waste	5	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	2	Clothes Washer
		Grease / Oil Separator	2	Dish Washer
		Roof Drain	2	Garbage Disposal
		Bidet	1	Laundry Tub
		Other: _____	1	Water Heater
		Fixtures (Subtotal) Column 2	24	Fixtures (Subtotal) Column 1
			2	Fixtures (Subtotal) Column 2
			26	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

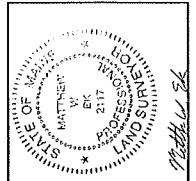
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

LEGEND

SYMBOL	DESCRIPTION
---	BOUNDARY LINE/R.O.W.
---	ABUTTER LINE/R.O.W.
---	SETBACK
---	EASEMENT
□	MONUMENT
○	IRON PIPE/ROD
C1/L1	CURVE/LINE NO.
---	BUILDING
---	SIGN
---	EDGE PAVEMENT
---	CURLLINE
---	CONTOURS
○	DECIDUOUS TREE
○	GAS VALVE
○	WATER
○	GATE VALVE
○	HYDRANT
○	SEWER
○	SEWER MH
○	OVERHEAD ELEC. & TEL.
○	UNDERGROUND ELEC. & TEL.
○	UTILITY POLE
○	ELECTRIC METER



LOCATION MAP N.T.S.



GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS LITTLEFIELD FARM, LLC BY DEED DATED JANUARY 3, 2008 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 25736 PAGE 101.
- THE PROPERTY IS SHOWN AS LOT 8 WITHIN BLOCK 1 ON THE CITY OF PORTLAND TAX MAP 132 AND IS LOCATED IN THE R-5 ZONE.
- THE PROPERTY IS LOCATED IN CITY OF PORTLAND R-5 ZONE. THE SPACE AND BULK REQUIREMENTS ARE SUMMARIZED AS FOLLOWS:

MIN. LOT SIZE	6,000 S.F. (EXCEPT AS PROVIDED FOR LOTS OF RECORD)
MIN. AREA PER DWELLING UNIT	3,000 S.F.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	20 FT. (NEED NOT EXCEED AVERAGE OF ABUTTING LOTS)
MIN. REAR YARD SETBACK PRINCIPAL STRUCTURE	20 FT.
MIN. REAR YARD SETBACK ACCESSORY STRUCTURE	5 FT.
MIN. SIDE YARD SETBACK PRINCIPAL STRUCTURE	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MIN. SIDE YARD SETBACK ACCESSORY STRUCTURE	5 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	15 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	40%
MIN. LOT WIDTH	60 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET. EXCEPT AS PROVIDED FOR LOTS OF RECORD. SEE CITY OF PORTLAND ZONING AND LAND USE ORDINANCES FOR ADDITIONAL SPACE AND BULK REQUIREMENTS.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 5500 SQUARE FEET.
- THIS IS NOT A BOUNDARY SURVEY. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCE A, THE CURRENT LOCUS DEED, AND FOUND MONUMENTATION. NO FURTHER RESEARCH OR BOUNDARY COMPUTATIONS WERE PERFORMED. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD TOPOGRAPHIC SURVEY BY SEBAGO TECHNICS, INC. PERFORMED ON APRIL 16, 2008.
- PLAN REFERENCES:
 - CONDOMINIUM PLAT OF DEERING ESTATES CONDOMINIUM, FOR DANIEL HAHN, BY NORTHEAST CIVIL SOLUTIONS, DATED DECEMBER 20, 2004, AND RECORDED IN THE CCRD IN PLAN BOOK 205 PAGE 10.
- THE BEARINGS, COORDINATES, AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAVD88 IN US FEET.
- UTILITY INFORMATION SHOWN HEREON IS BASED SOLELY UPON ABOVE GROUND FEATURES AND PAINT MARKS. DIGSAFE AND FURTHER UTILITY RESEARCH SHOULD BE PERFORMED PRIOR TO ANY EXCAVATION.

REV.	BY:	DATE:	EXISTING CONDITIONS SUBMISSION TO CITY:	STATUS:
A	DLR	4-17-08		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

N/F RICHARD AND MARGARET AKERS 12773/298

N/F PAUL CLIFFORD 24550/245

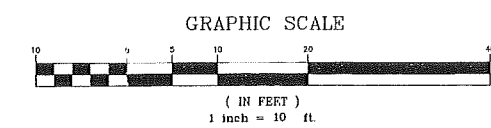
N/F STEVEN BYRD AND DANIELA BASSAN MORAES 25304/134

N/F DAVID E. TALBOT AND MARY ELLEN DESCHENES 8312/1

N/F MICHAEL R. AND CATHERINE A. WALKER 14656/136

N/F DAVID GOLICK AND MARIA GROUCH TRUSTEES 25669/070

N/F STEVEN E. AND ROBERTA S. COPE 8131/28

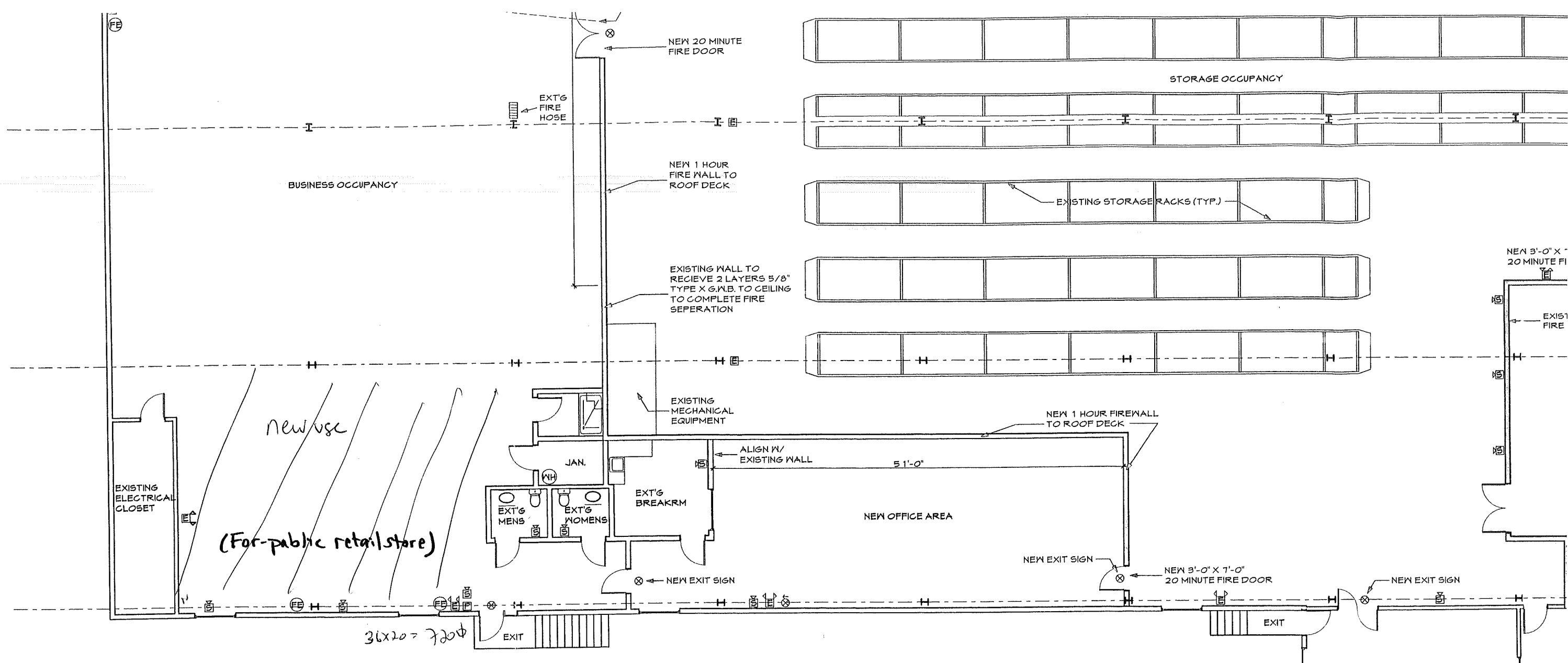


APR 18 2008

Sebago Technics
 Engineering Expertise You Can Build On
 One Orchard Street
 Westbrook, ME 04090-1339
 Tel: (207) 688-9277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
 08183 737 DLR MVE DPH/AME

EXISTING CONDITIONS PLAN
 OF:
 LITTLEFIELD FARM, LLC PROPERTY
 3 MATTHEWS STREET
 PORTLAND, MAINE
 FOR:
 LITTLEFIELD FARM, LLC
 153 ANDOVER STREET
 DANVERS, MASSACHUSETTS 01923

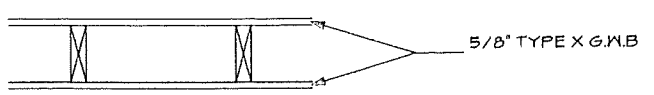


CODE SUMMARY

BUILDING IS FULLY SPRINKLED WITH TWO FIRE HOSE LOCATIONS
 BUILDING USE: MIXED USE OF STORAGE, LOW HAZARD AND BUSINESS
 CONSTRUCTION TYPE:
 IBC 2003 III B
 NFPA 101 2003 III 200
 OCCUPANT LOAD
 BUSINESS: 100 SQ. FT. PER PERSON - 118 PEOPLE
 STORAGE IN MIXED USE: 500 SQ. FT. PER PERSON - 31 PEOPLE
 EXISTING BUILDING IS 26, 445 SF OVERALL

CODE PLAN LEGEND

- ⊗ EXIT SIGN
- ⌞ EMERGENCY LIGHTING WITH BATTERY BACKUP
- ⊠ EXISTING STROBE OR HORN/STROBE
- ⊠ FIRE ALARM PULL STATION
- ||||| FIRE HOSE
- ⊙ FIRE EXTINGUISHER



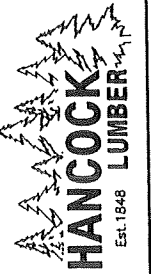
1 FIRST FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

2 1 HOUR FIRE PARTITION
 A1.1 SCALE: 1" = 1'-0"

ANDERSON NTRC CERTIFIED UNIT PERFORMANCE		
400 SERIES WINDOWS ANDERSON		
PRODUCT TYPE	U-FACTOR	R-VALUE
CASEMENT	0.33	0.33
TILT-WASH DOUBLE-HUNG	0.34	0.34
TILT-WASH DOUBLE-HUNG PICTURE	0.33	0.33
TILT-WASH DOUBLE-HUNG TRANSOM	0.33	0.33
AWNING	0.33	0.33
CLAWD WINDOW	0.36	0.36

- NOTES:
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS
1. EACH SLEEPING AREA
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS
 4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED
- * EGRESS WINDOW

*ANDERSON NTRC CERTIFIED TOTAL UNIT PERFORMANCE



THIRD FLOOR, SECTION
NIAL CONSTRUCTION
3 MATHEW STREET, PORTLAND

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Revisions:

4/29/08

Date: 3/20/08

Scale: 1/4"=1'-0"

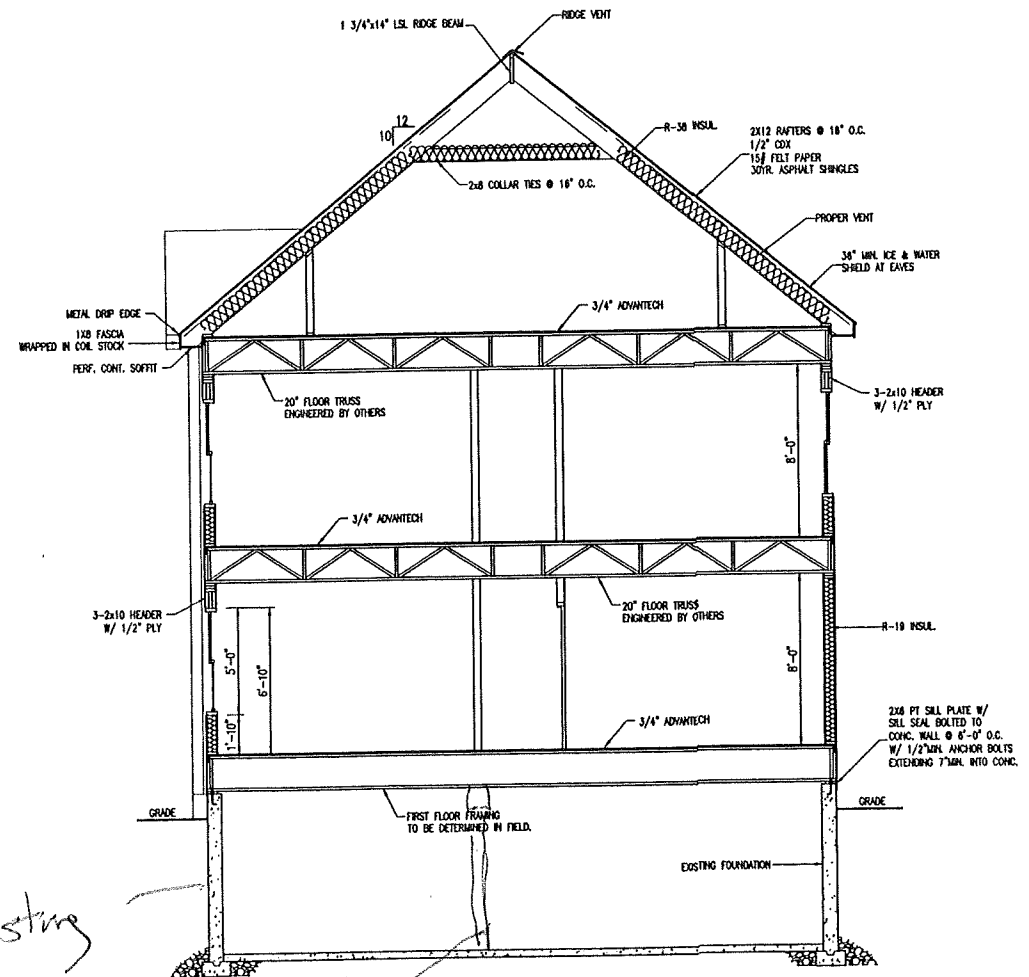
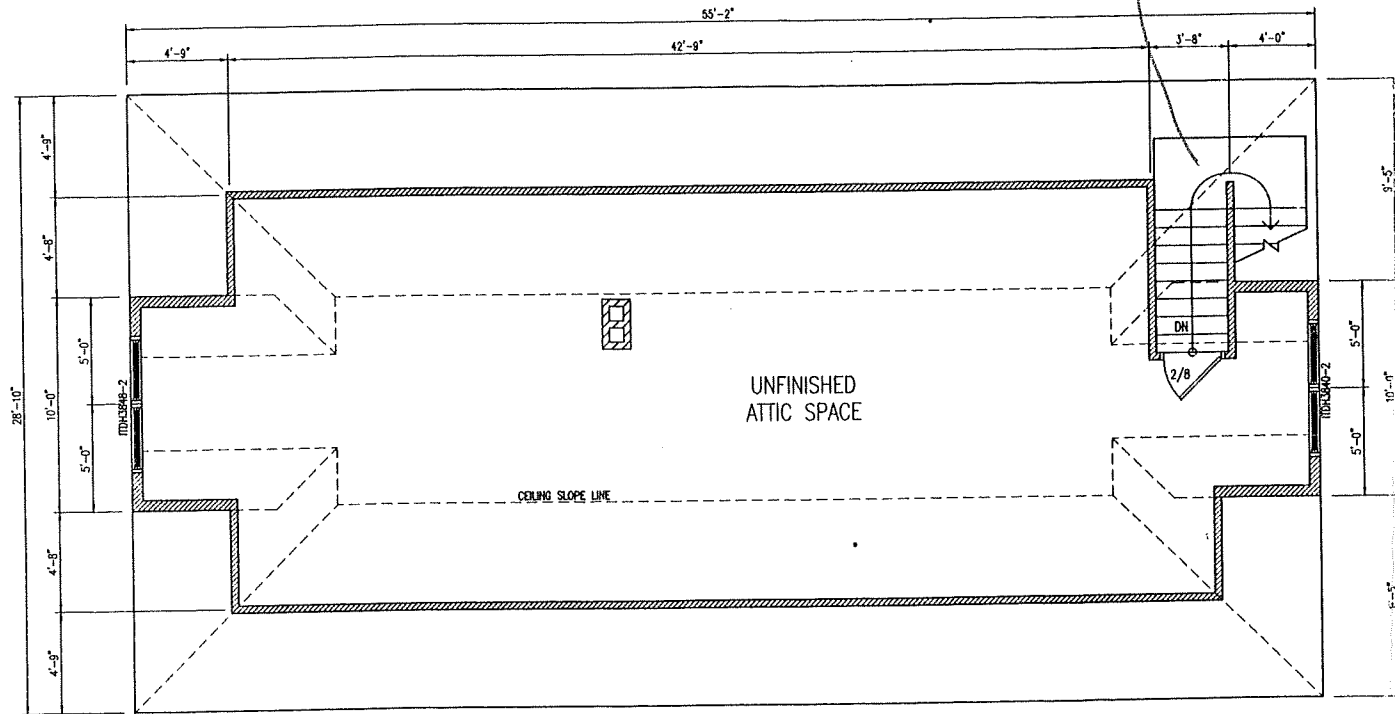
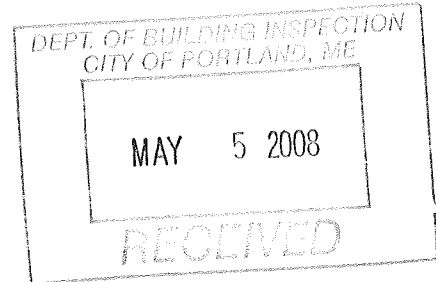
Drawn By: MTA

Project: CLB021508

Sheet Number:

-of-

Stair
Second to Attic
16 R @ 7 1/4"



Existing

g'ocally Column
Typ.

(3) 2x12 Center Beam w/ Hanger
2x12 FLOOR JOIST

TABLE R502.2(1)
ORDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS
(Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

ORDER SPANS AND HEADERS SUPPORTING	SIZE	SIZE GROUND SNOW LOAD (psf)					
		Building Width (feet)					
		20		28		36	
Span	N ¹	Span	N ¹	Span	N ¹		
Roof and ceiling	2-2x4	4-8	1	4-8	1	4-8	1
	2-2x6	5-11	2	5-2	2	4-7	2
	2-2x8	7-3	2	6-3	2	5-7	2
	2-2x10	8-5	2	7-5	2	6-6	2
	3-2x8	7-5	2	6-5	2	5-6	2
	3-2x10	8-1	2	7-0	2	6-2	2
	4-2x8	8-4	1	7-5	1	6-8	1
	4-2x10	10-8	1	9-1	1	8-2	1
	4-2x12	12-2	1	10-7	1	9-5	1
	4-2x14	14-6	1	12-1	1	10-9	1
Roof, ceiling and over center-bearing floor	2-2x4	4-8	1	4-8	1	4-8	1
	2-2x6	4-11	1	3-7	1	3-3	1
	2-2x8	5-2	2	4-8	2	4-1	2
	2-2x10	6-3	2	5-3	2	4-4	2
	2-2x12	7-4	2	6-5	2	5-6	2
	3-2x8	6-5	2	5-6	2	4-7	2
	3-2x10	7-11	1	6-2	1	5-3	1
	3-2x12	8-2	2	6-0	2	5-11	2
	4-2x8	7-5	1	6-6	1	5-11	1
	4-2x10	9-2	1	8-3	1	7-4	1
Roof, ceiling and one clear span floor	2-2x4	2-7	1	2-3	1	1-0	1
	2-2x6	3-10	2	3-1	2	2-0	2
	2-2x8	4-10	2	3-5	2	2-8	2
	2-2x10	5-11	2	4-1	2	3-7	2
	2-2x12	6-10	2	5-11	2	4-4	2
	3-2x8	5-3	2	4-8	2	3-8	2
	3-2x10	6-7	2	5-5	2	4-5	2
	3-2x12	8-7	2	7-5	2	6-8	2
	4-2x8	7-0	1	6-1	1	5-5	1
	4-2x10	8-7	1	7-5	1	6-8	1
Roof, ceiling and two center-bearing floor	2-2x4	2-8	1	2-2	1	1-10	1
	2-2x6	3-11	1	3-1	1	2-10	1
	2-2x8	4-7	2	4-0	2	3-6	2
	2-2x10	5-8	2	4-11	2	4-3	2
	2-2x12	6-8	2	5-9	2	5-2	2
	3-2x8	5-9	2	5-1	2	4-7	2
	3-2x10	7-1	2	6-2	2	5-7	2
	3-2x12	8-2	2	7-2	2	6-5	2
	4-2x8	6-8	1	5-10	1	5-3	1
	4-2x10	8-2	1	7-2	1	6-6	1
Roof, ceiling and two clear span floor	2-2x4	2-0	1	1-8	1	1-5	1
	2-2x6	3-0	2	2-7	2	2-5	2
	2-2x8	3-10	2	3-4	2	2-11	2
	2-2x10	4-8	2	4-0	2	3-7	2
	2-2x12	5-5	2	4-8	2	4-2	2
	3-2x8	4-9	2	4-1	2	3-8	2
	3-2x10	5-10	2	5-0	2	4-8	2
	3-2x12	6-9	2	5-10	2	5-3	2
	4-2x8	5-8	1	4-9	1	4-3	1
	4-2x10	6-9	1	5-10	1	5-2	1

- For S_t: 1 inch=25.4mm, 1 pound per square foot=0.0479kN/m²
- Spans are given in feet and inches.
 - Tabulated values assume #2 grade lumber.
 - Building width is measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.
 - N¹-Number of jack studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall stud and to the header.
 - Use 30psf ground snow load for cases in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.

TABLE R502.2(2)
ORDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS
(Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

HEADERS AND ORDERS SUPPORTING	SIZE	Building Width (feet)					
		20		28		36	
		Span	N ¹	Span	N ¹	Span	N ¹
One floor only	2-2x4	2-11	1	2-8	1	2-5	1
	2-2x6	3-11	1	3-0	1	2-8	1
	2-2x8	4-8	2	3-10	2	3-5	2
	2-2x10	5-8	2	4-11	2	4-5	2
	2-2x12	6-1	2	5-11	2	5-3	2
	3-2x8	4-8	2	4-3	2	3-7	2
	3-2x10	5-9	2	5-10	2	4-10	2
	3-2x12	6-2	2	5-10	2	4-10	2
	4-2x8	5-10	1	4-9	1	4-8	1
	4-2x10	6-11	1	6-9	1	6-10	1
Two floor only	2-2x4	2-2	1	1-10	1	1-10	1
	2-2x6	3-2	1	2-3	1	2-3	1
	2-2x8	4-11	2	4-1	2	3-10	2
	2-2x10	5-8	2	4-0	2	4-3	2
	2-2x12	6-2	2	5-1	2	4-3	2
	3-2x8	4-1	2	3-1	2	3-10	2
	3-2x10	5-2	2	4-1	2	3-10	2
	3-2x12	6-2	2	5-1	2	4-7	2
	4-2x8	4-2	2	3-2	2	3-7	2
	4-2x10	5-2	2	4-2	2	3-8	2

TABLE R502.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		Edges (inches) ¹	Intermediate support ^{2,3} (inches)
wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing		6	12 ⁴
5/16" - 1/2"	6d common nail (subfloor, wall) 8d common nail (roof) ¹		12 ⁴
19/32" - 1"	8d common nail	6	12
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12
Other wall sheathing ⁵			
1/2" regular cellular fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail slope 16ga, 1-1/2" long	3	6
1/2" regular cellular fiberboard sheathing	1-3/4" galvanized roofing nail 6d common nail slope 16ga, 1-3/4" long	3	6
25/32" structural cellular fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail slope 16ga, 1-1/2" long	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 16ga, 1-1/2" long	4	6
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 16ga, 1-1/2" long	4	6
wood structural panels, combination subfloor underlayment to framing			
3/4" and less	8d deformed nail or 8d common nail	6	12
7/8" - 1"	8d common nail or 8d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12

- For S_t: 1 inch = 25.4mm, 1 foot = 304.8mm, 1 mile per hour = 1.609km/h.
- All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80ksi (551 MPa) for shank diameter of .1875 inch (20d common nail), 90ksi (620 MPa) for shank diameters larger than 0.1412 inch but not larger than 1.177 inch, and 100ksi (689 MPa) for shank diameters of 0.1412 inch less.
 - Staples are 18 gage wire and have a minimum 7/16-inch on diameter crown width.
 - Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
 - Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
 - Spacing of fasteners not included in this table shall be based on table R502.3(1).
 - For regions having basic wind speed of 110mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable and walls, if mean roof height is more than 25 feet, up to 33 feet maximum.
 - For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable and wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eave and gable and walls; and finishes on center to gable and wall framing.
 - Gypsum sheathing shall conform to ASTM C79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AIA 194.1 or ASTM C 208.
 - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAY 5 2008

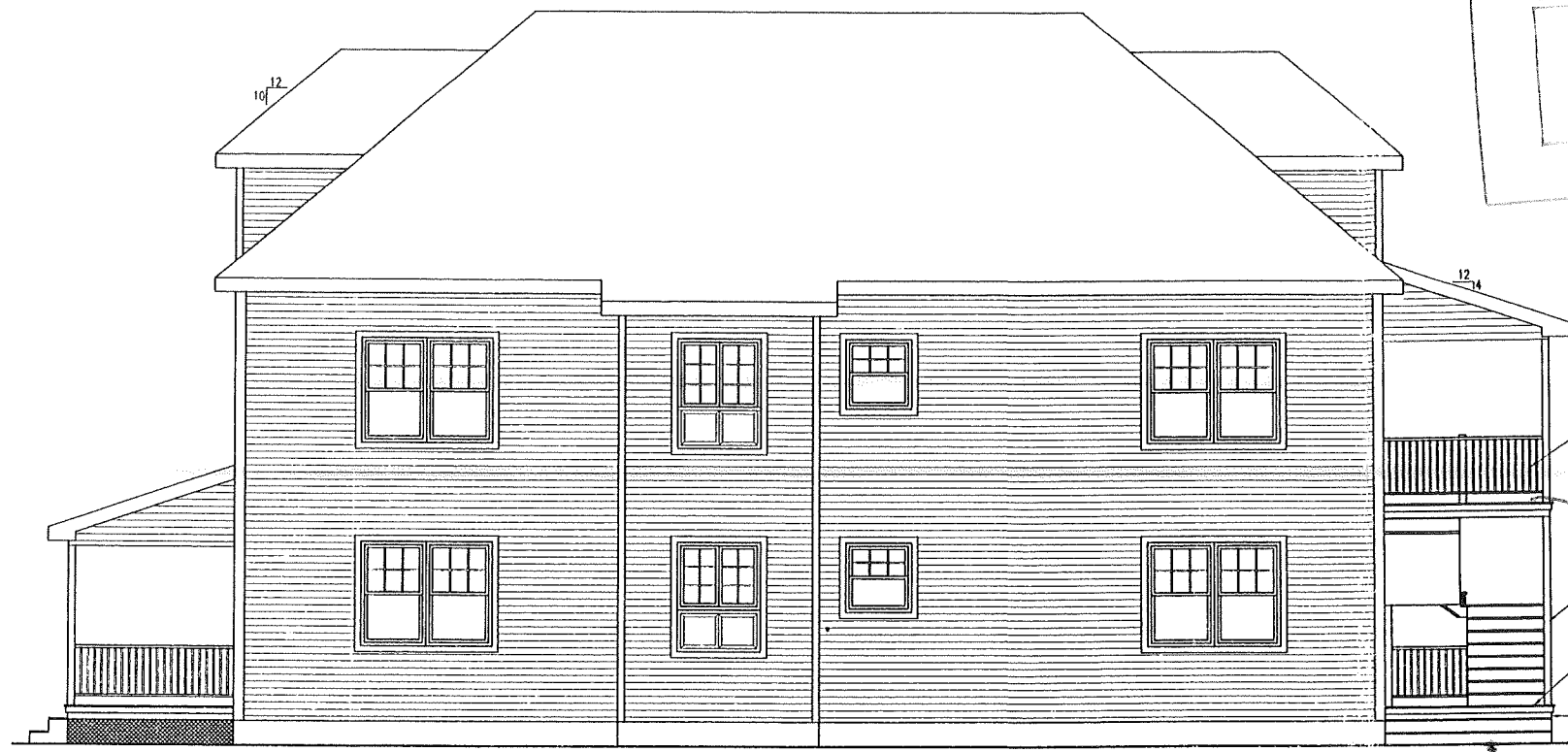
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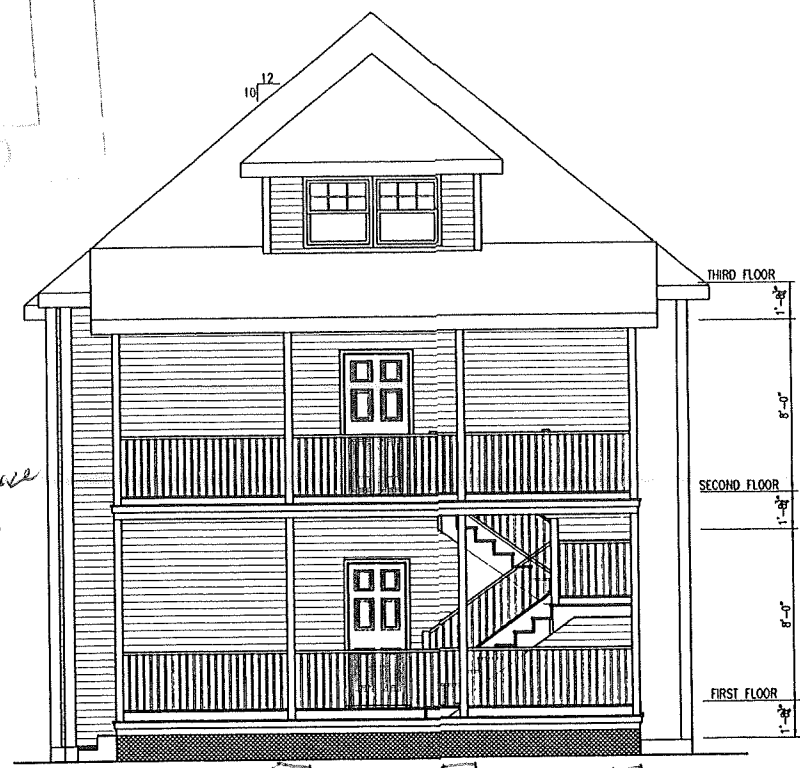
Revisions:

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Scale : 1/4"=1'-0"
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Project: CLB021508
Sheet Number:

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CITY OF PORTLAND, ME
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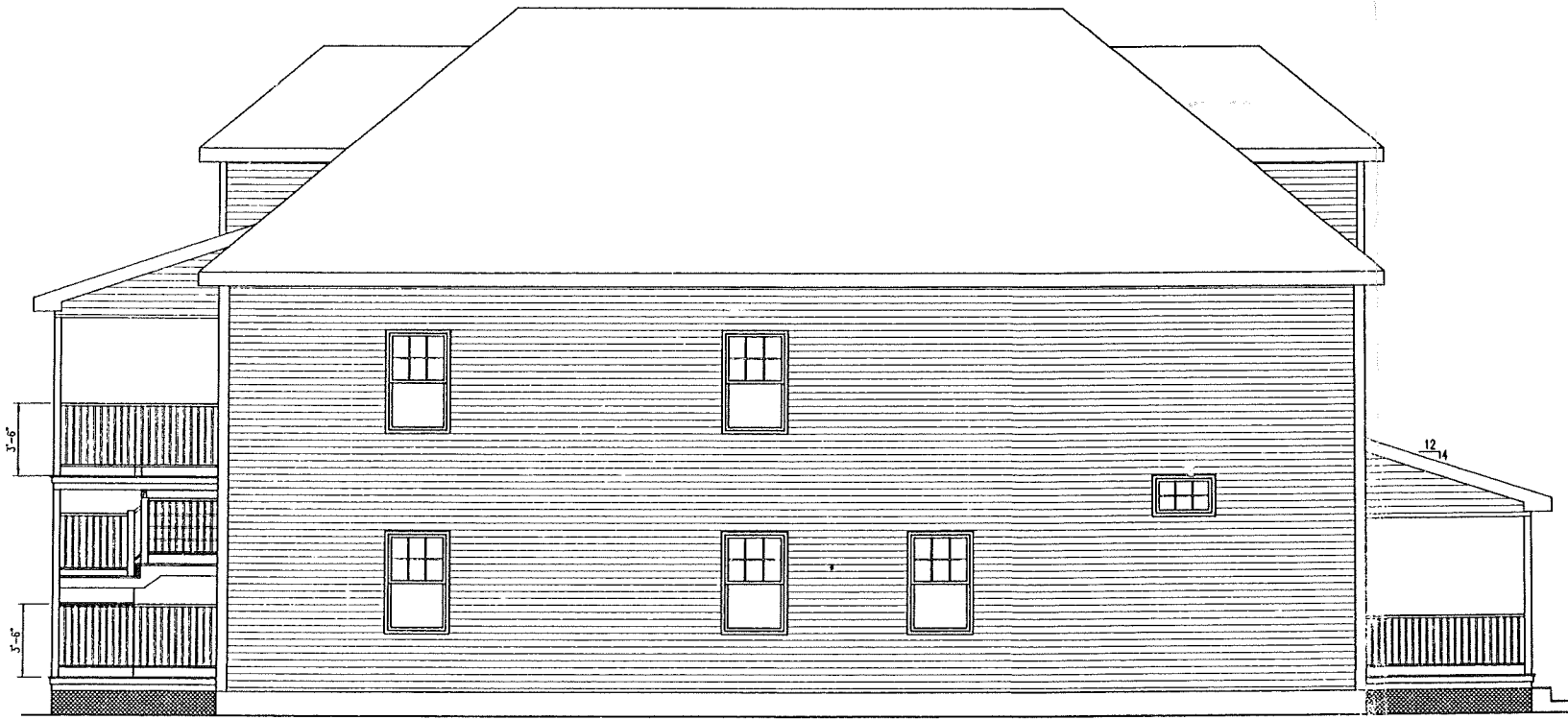


FRONT ELEVATION *frny. concrd st.*

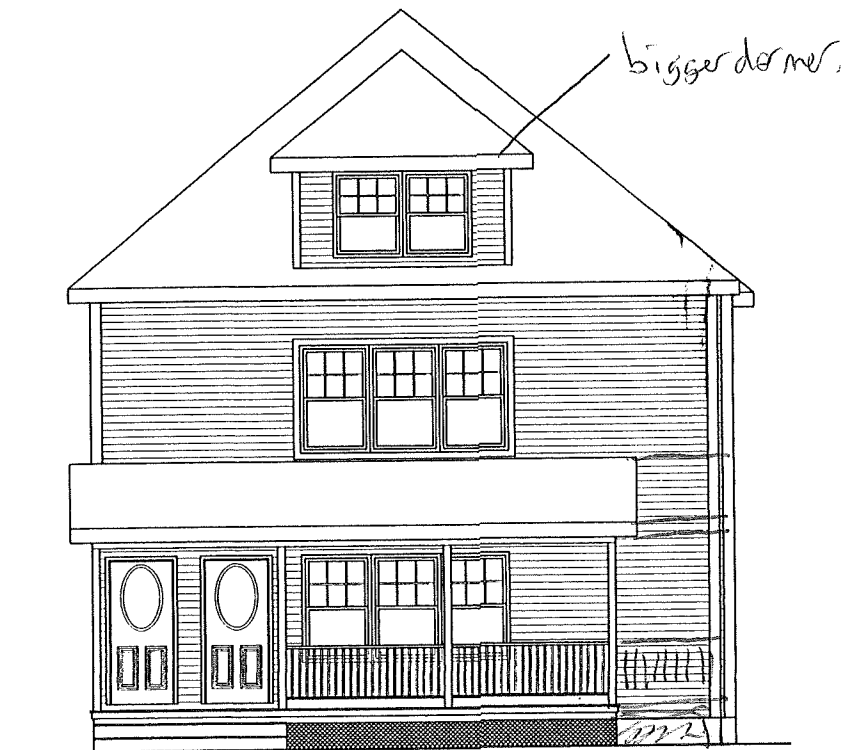


RIGHT ELEVATION

2x4 Rail
FL. RAILS & BALUSTER SYSTEM
4" MAX. SPACING BETWEEN BALUSTERS
MAX 3 1/2" space
typ.
6"x6" FT. POSTS
3/4" FT. DECKING
2"x8" FT. JOISTS @ 16" O/C.



REAR ELEVATION



LEFT ELEVATION

12/11 - Sawtube 2x6 o/c' typ. frny. mtlws

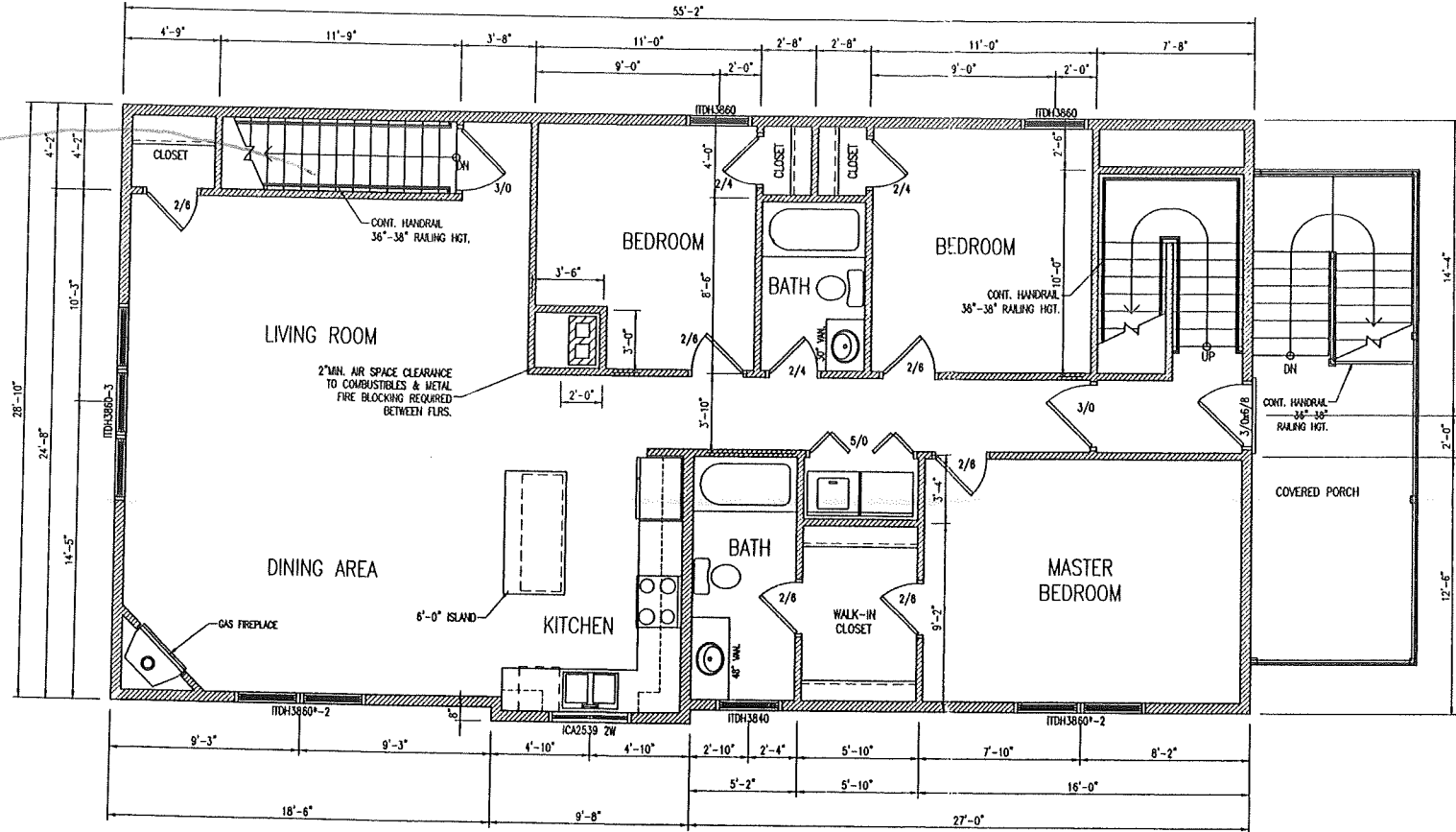


ELEVATIONS
NIAL CONSTRUCTION
3 MATHEW STREET, PORTLAND

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Revisions:	
	4/29/08
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Drawn By:	MTA
Project:	CLB021508
Sheet Number:	

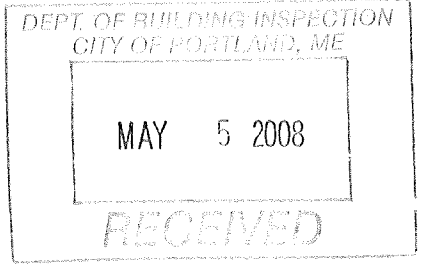
Stair
1st to 2nd
16 RISERS @ 7 1/4"



- NOTES:
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS
1. EACH SLEEPING AREA
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS
 4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED
- * EGRESS WINDOW

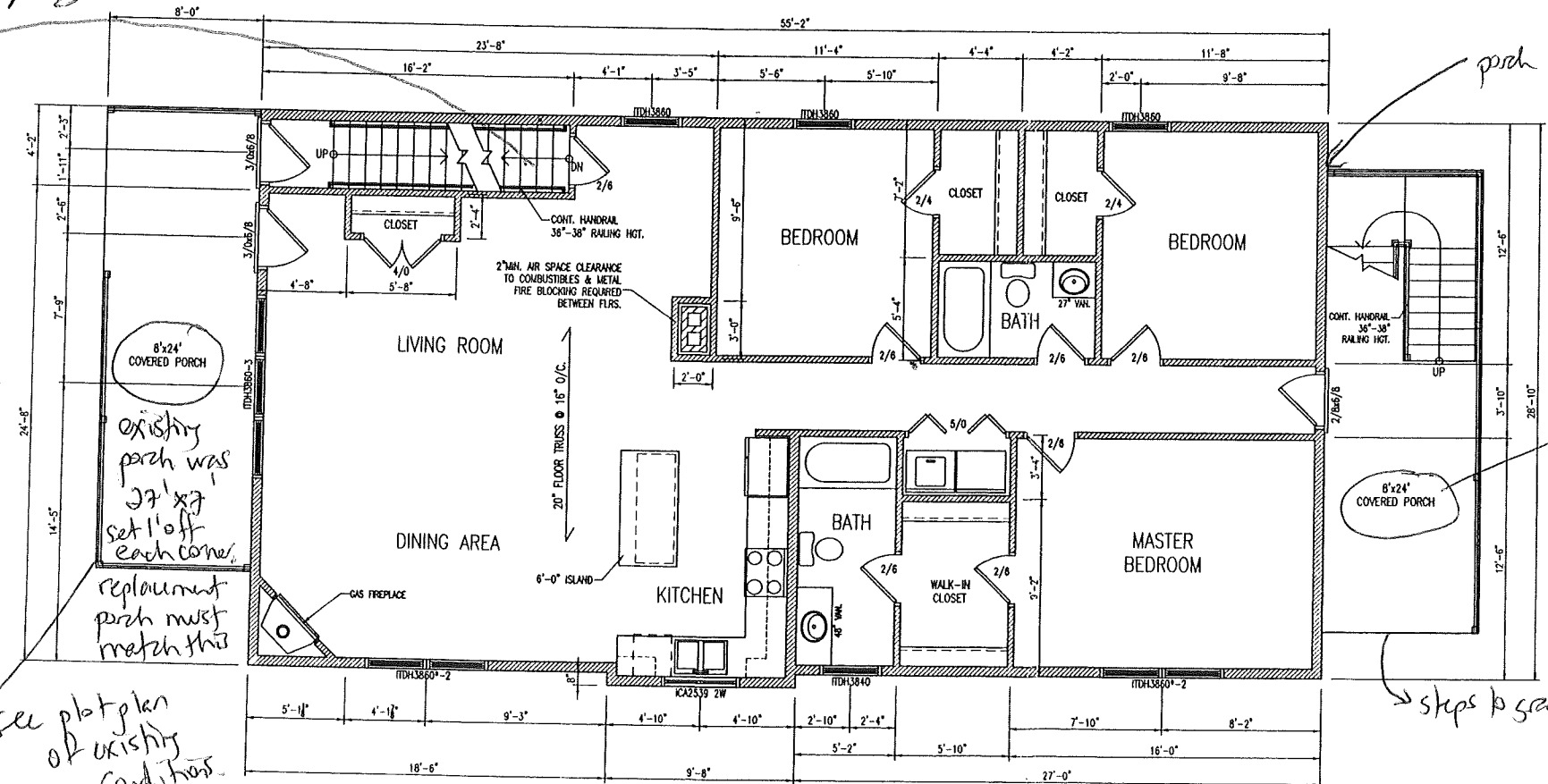
ANDERSON MFR CERTIFIED UNIT PERFORMANCE		
400 SERIES WINDOWS ANDERSEN		
PRODUCT TYPE:		
CASMENT	U-FACTOR	WITHOUT GRILLES HP
	R-VALUE	LOW-E:
TILT-WASH DOUBLE-HUNG	0.33	0.34
TILT-WASH DOUBLE-HUNG PICTURE	0.33	0.33
TILT-WASH DOUBLE-HUNG TRANSOM	0.33	0.33
AWING	0.33	0.33
GLIDING WINDOW	0.36	0.36
	R-VALUE	0.36

*ANDERSEN MFR CERTIFIED TOTAL UNIT PERFORMANCE



SECOND FLOOR PLAN

Stair
Basement to First
13 RISER @ 7 3/8"



3/4" NOSING
10 1/2" NOSING to NOSING

Typical Tread Detail

8'x24' COVERED PORCH
existing porch was 27' x 27' set 1' off each corner
replacement porch must match this

see plot plan of existing conditions.

porch must be located 7.5' from end of building.

porch can only be 6.5' x 20' - see plot plan w/ existing conditions done by Sebago Technics.

steps to grade.

FIRST FLOOR PLAN



FIRST & SECOND FLOOR PLAN
NIAL CONSTRUCTION
3 MATHEW STREET, PORTLAND

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