

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that MARCIA L HOWELL

Located At 27 ORKNEY ST

Job ID: 2012-10-5111-ALTR

CBL: 132- F-010-001

has permission to Kitchen and bath remodel – all within existing footprint provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

_____
Code Enforcement Officer / Plan Reviewer

10/19/2012

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5111-ALTR

Located At: 27 ORKNEY ST

CBL: 132- F-010-001

Conditions of Approval:

Zoning

1. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
2. This permit is being issued with the condition that all the work is taking place within the existing footprint. The existing footprint of the principal structure or any accessory structures have not been reviewed for setbacks.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.

Fire

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
4. A sprinkler system is recommended but not required based on the following:
 - a. Plans indicate the addition will not exceed 50% of the total completed structure.



General Building Permit Application

Entered 10/4/12
183

2012-10-5111 ALTR

Location/Address of Construction: <u>27 ORKNEY STREET PORTLAND ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>255 SF RENOVATION</u>	Square Footage of Lot House <u>1800 SF ±</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>132</u> Block# <u>F010</u> Lot#	Applicant: (must be owner, lessee or buyer) Name <u>ARCHITECT</u> <u>SYNTHIA WHEELOCK</u> Address <u>BARBARA WHEELOCK</u> <u>500 CONGRESS ST.</u> City, State & Zip <u>PORTLAND ME 04101</u>	Telephone: <u>207</u> <u>254-4903</u>
Lessee/DBA RECEIVED OCT 03 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name <u>MARCIA HOWELL</u> Address <u>27 ORKNEY ST.</u> City, State & Zip <u>PORTLAND ME 04103</u>	Cost of Work: \$ <u>25,000.00</u> C of O Fee: \$ <u>270.00</u> Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>270.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units _____ If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>KITCHEN AND POWDER ROOM RENOVATION.</u>		
Contractor's name: <u>PAPI & RIMAND BUILDERS</u> Email: _____ Address: <u>P.O. BOX 1079</u> City, State & Zip <u>PORTLAND, MAINE 04104</u> Telephone: <u>207-650-3676</u> Who should we contact when the permit is ready: <u>SYNTHIA WHEELOCK</u> Telephone: <u>207 254-4903</u> Mailing address: <u>500 CONGRESS STREET PORTLAND ME 04103 (WILL PICK-UP PERMIT)</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Synthia A Wheelock Date: 10/2/12

This is not a permit; you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Check , Check Number: 5855

Tender Amount: 270.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 10/4/2012

Receipt Number: 48936

Receipt Details:

Referance ID:	8250	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	270.00	Charge Amount:	270.00
Job ID: Job ID: 2012-10-5111-ALTR - Kitchen and bath remodel			
Additional Comments: 27 Orkney			

Thank You for your Payment!

- The site will be kept clean and free of construction material at all times except during daily staging of deliveries. All tools, ladders, staging, materials etc. will be stored within the interior limits of work or in the garage.
- There will be no smoking in the house at any time.
- Access to the house can be arranged via the architect during the bid phase to get accurate take-offs for area of work.
 - The contract to be used will be AIA Owner-Contractor Agreement for Projects of Limited Scope. The basis for compensation will be a fixed sum.
 - Contractor to include an Owners contingency of \$5,000
 - Contractor to list areas of anticipated unknown conditions. These areas should not be included in the base bid. These areas should be identified separately and should include a range of price for repair. As an example: Damaged plaster under the plastic wall panels. Range of price \$0 - \$1,000 (price given here is for example only) assuming that there may be none (low range) and assuming that there may need to be a full replacement (high range).

Selective Demolition

- Remove plastic wall panel on lower portion of the kitchen walls. Repair any damaged plaster behind panels if discovered.
- Remove the non-bearing wall as shown on plan between kitchen and powder room for the purpose of the kitchen expansion.
- Remove plumbing fixtures, toilet accessories and lighting sconces in powder room. Salvage for reuse.
- Remove Tile floor in kitchen and refrigerator area, remove linoleum floor in powder room, remove portion of wood floor in side hall.
- Remove non-bearing partition between kitchen and powder room including door frame and header at opening between side hall and kitchen.
- Remove existing kitchen appliances. Salvage refrigerator for reuse or surrender to owner. Salvage drying rack for reuse. Remove cabinets, countertops, and sink.

- **Finishes**

- Flooring
Kitchen – remove ceramic tile flooring and replace with hardwood flooring to match existing species and size as in Dining Room. See flooring pattern on drawings.
- New Powder Room – existing wood flooring to remain and to become the floor of the new powder room.
- Floor Refinishing: Sand and refinish all new and existing wood flooring within the limit of work. Careful to pay close attention to the Dining Room patterned floor design with oblique joints.
- Paint
All surfaces to be painted within the limit of work. Paint to be low VOC material. Color and finish to be selected by owner and architect.
- Plaster
Trowel out and repair all plaster cracks within the limit of work. Consult with architect prior to the work.

Wood Carpentry

- Rehabilitation of wood windows, storms and screens: See attached Specification entitled Historic Wood Window Restoration. Some portions of this specification may not apply.
- Close up existing kitchen fan opening at exterior wall and finish to match adjacent finishes. Feather in siding to avoid a patched look.
- Cut new opening in exterior wall to receive new range hood vent. Follow manufacturer's recommendations for installation. Patch and finish as required.

Specialties

- Kitchen Countertops and Backsplashes
Granite countertops and 4" backsplashes supplied by Owner. Material, template, delivery and installation by Morningstar in Topsham Maine. Coordination of work by Morningstar is by contractor. Contact at Morningstar: Tozia Dippre (207) 725-7309 Please plan on 3-4 weeks between the template and the installation.

Cabinets and Fronts

- Door and drawer front style to be determined. Provide a selection of door fronts for selection. Paint grade wood cabinets with structural support for granite countertops. No formaldehyde adhesives permitted. All drawers to have traditional wood roll out shelves. Provide Tray storage base cabinet next to refrigerator, drawer units on either side of range and adjacent to sink. Also, if room permits provide small drawer base unit to the left of sink base unit. Provide drawer base unit at blind corner of kitchen counter with drawers opening into basement stair hall. Upper cabinets above refrigerator and either side of range. Provide book shelves under counter as shown on drawings. Provide end panels around all sides. Coordinate cut outs for electrical outlets and switches.
- Cabinet door pulls and drawer pulls (supplied by Owner and installed by contractor)
- Storage/Shelving
Adjustable paint grade wood pantry storage shelves. See detail.
- Hanging Rail and Hook System for pans and utensils (supplied by owner and installed by contractor) See attached catalogue cuts from IKEA. Install 1/2" thick x 6' horizontal finish boards (width to be determined by rail mounting brackets) over the plaster and secure to existing studs. Attach IKEA rails to the finish board. Total of ~~4~~ 4 horizontal boards. Spacing and specific location determined by architect.

Equipment

- Range (supplied by owner and installed by contractor)
Dual fuel 4 burner range. There is propane on site for stove-top cooking /electric oven. Contractor to accept delivery of appliances on Owner's behalf and to store on site either in house or garage.
- Range Hood (supplied by owner and installed by contractor)
This product should come in 30" wide to coordinate with the 30" wide range. Minimum of 600 CFM internal blower with 800 CFM preferred. Existing conditions limit the duct to 8" diameter. Vent thru second floor joist space and across to sidewall. Locate range hood at the maximum allowable height per manufacturer's specifications.
- Dish washer (supplied by owner and installed by contractor)
- Refrigerator (supplied by owner and installed by contractor)
Limit width to 30"
- Washing Machine (supplied by owner and installed by contractor)
Under counter approx. size 23.5w x 26.5d x 34.12h by Miele Co. 888-346-4353 or other comparable under counter washing machine. Another manufacturer is Bausch.

Electrical – See Electrical Plan

- Lighting (supplied by owner and installed by contractor)
See Electrical Plan for locations. Lighting fixture selection forthcoming. Installation to be included in the cost of the work.
- Bathroom Fan (no light) (provided by contractor)
Manufacturer: Fantech Fans Toll Free: 888-875-WAVE (OR EQUAL)
Line: Vent Only - Single Grille
Model: PB110 (Previously PB100)
Duct Size: 4 Inch
CFM: 110 at .2 Static Pressure, 78 at .4, 55 at .6
Watts: 19 at .2 Static Pressure
Box Size: 18 x 12 x 12
Weight: 12 lbs.
7" diameter exposed grill

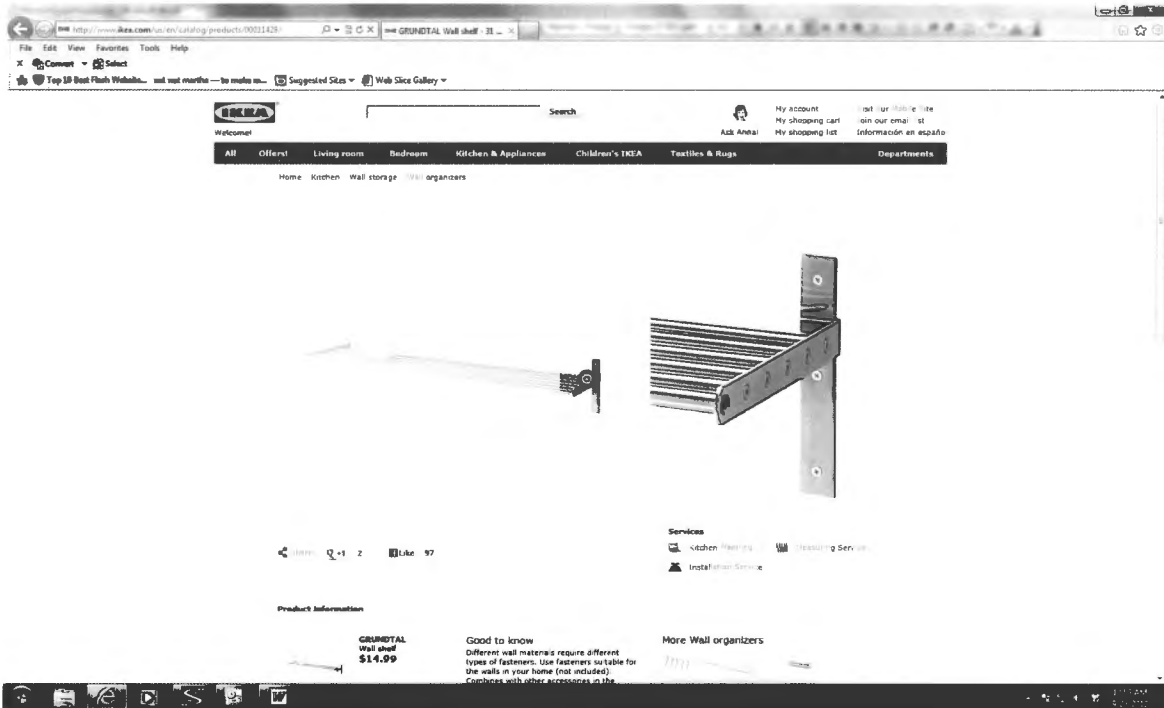
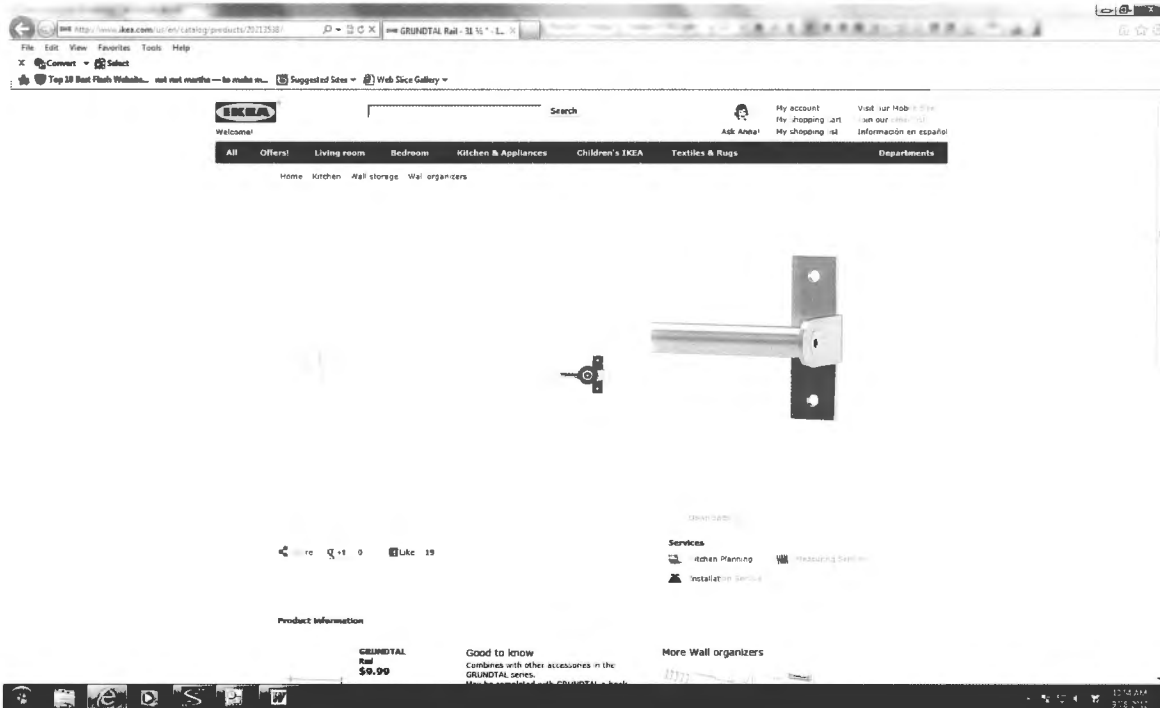
Plumbing

- Existing Powder Room Plumbing Fixtures
Salvage existing toilet, wall hung sink, faucet, toilet accessories for reuse in new powder room. Salvage lighting fixture for owner.
- Toilet – Install 2" x 4" staggered studs at new Powder Room plumbing side wall only to accommodate the required clearance below for the toilet waste line. Adjust the wall thickness to accommodate this requirement.
- Existing Drying Rack supplied by Owner.
Reuse existing drying rack on exterior wall adjacent to sink. Contractor to install. Height to be determined in the field by architect.
- New kitchen sink by contractor: actual interior size of sink is 10" deep x 22" under-mount stainless steel, single bowl sink by Elkay Co. Coordinate number of holes in sink with owner supplied kitchen faucet prior to ordering sink
- Kitchen Faucet (supplied by owner and installed by contractor)
Gooseneck faucet with removable spray finish to match cabinet handles.

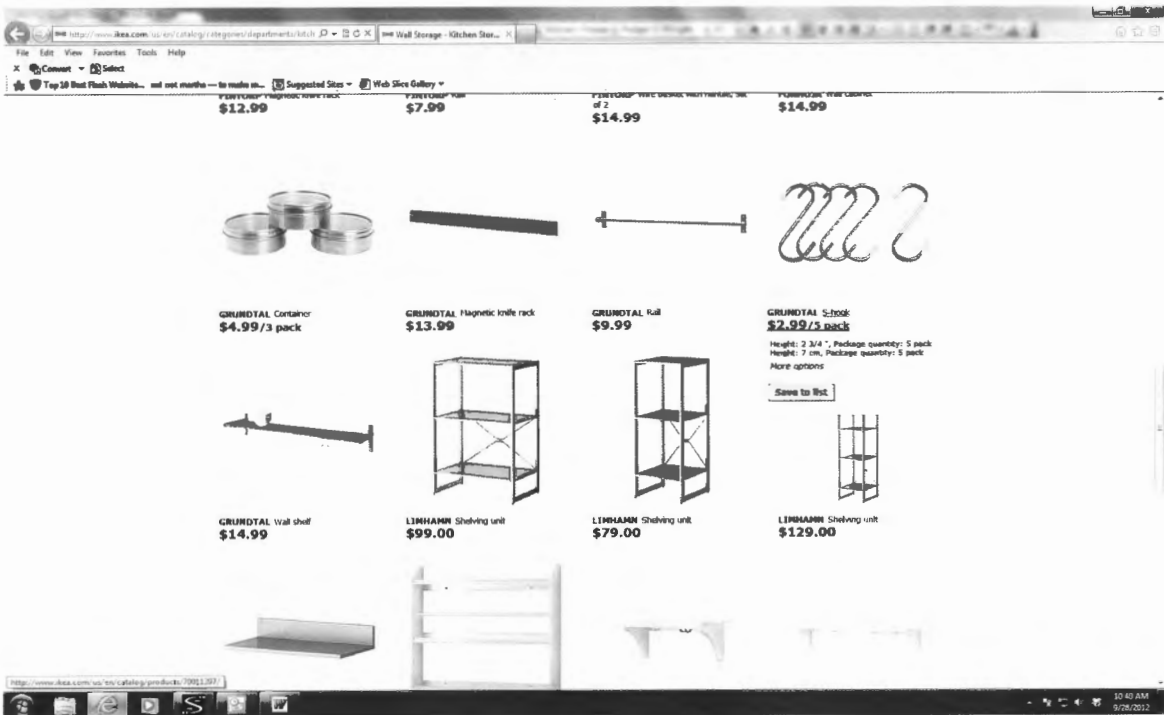
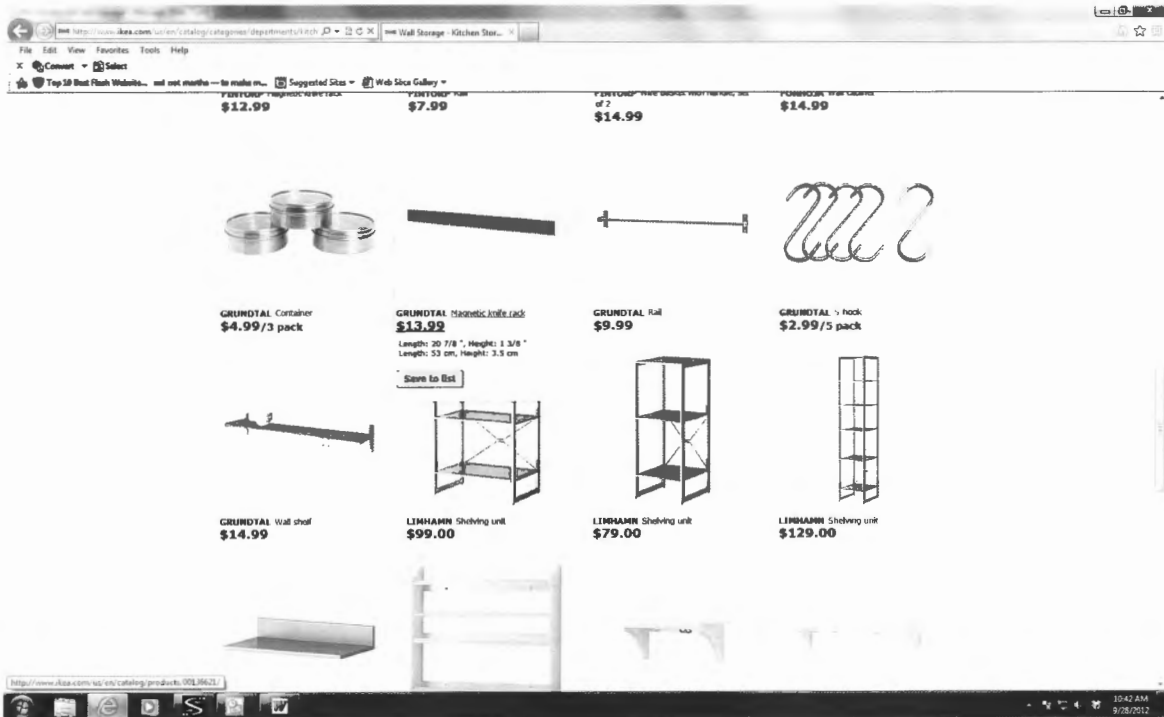
HVAC

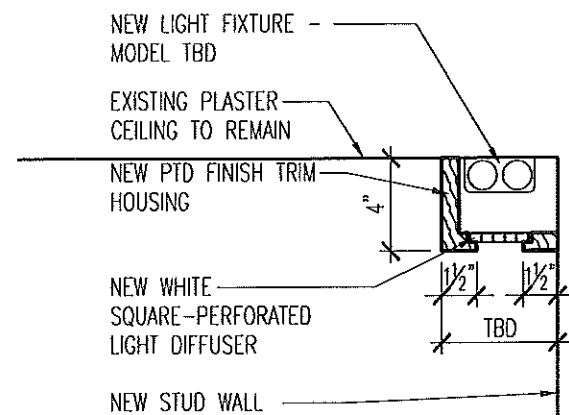
- Existing heating system is a hot water oil-fired boiler with cast iron radiators throughout house. Provide new cast iron baseboard radiator in Powder Room. See Plan for location. Size to be determined by heating contractor. This radiator does not need to be separately zoned and should be added to the existing adjacent zone.

End of Specifications

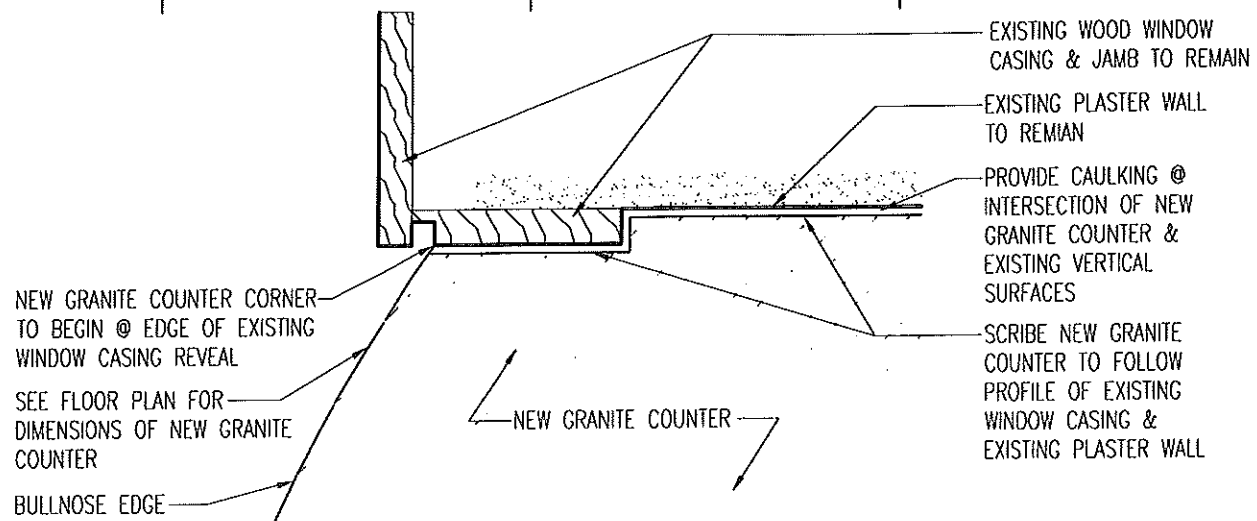


Barba + Wheelock Architecture, Preservation
Howell Residence
27 Orkney Street * Portland, Maine
October 2, 2012

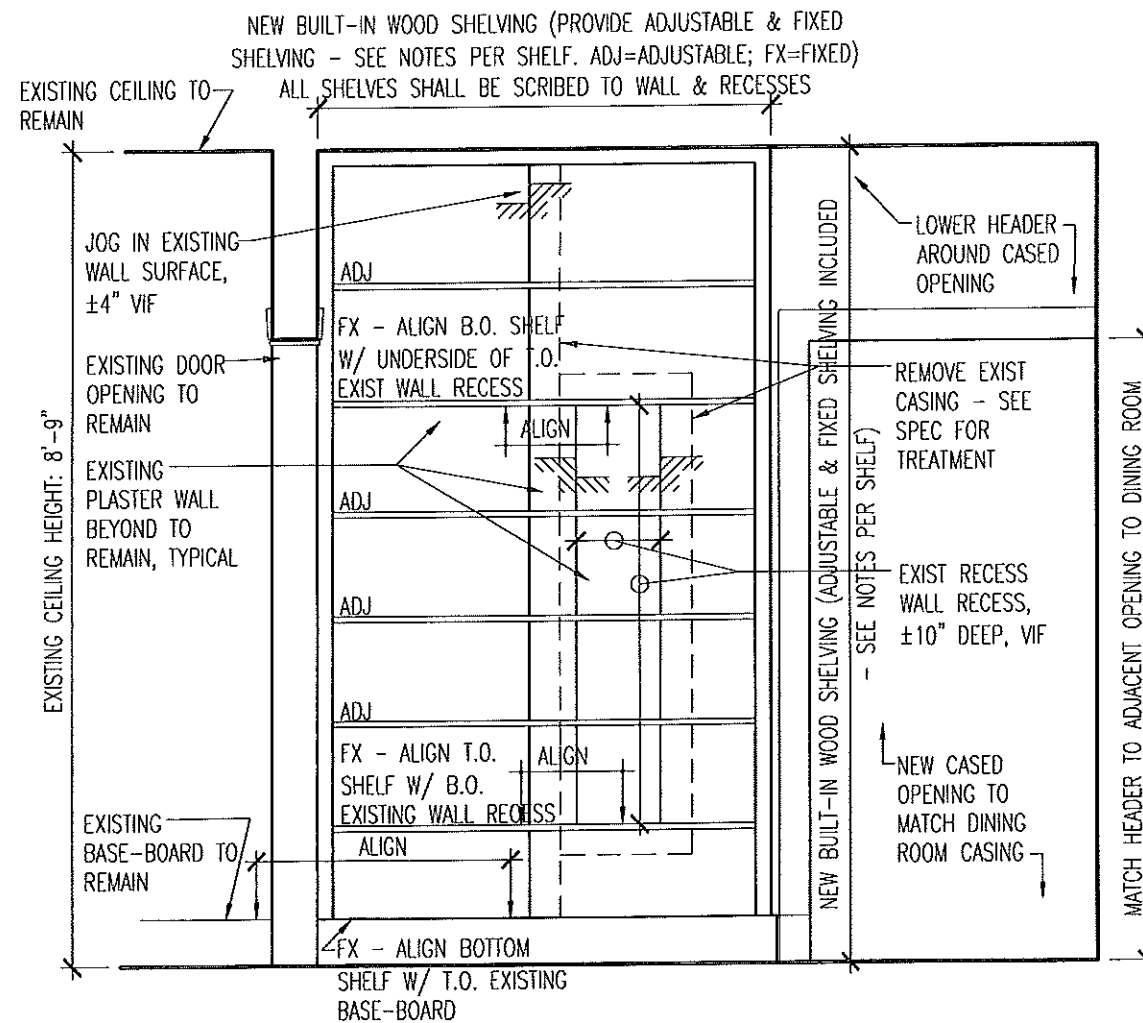




2 SECTION DETAIL @ NEW POWDER RM LIGHT DIFFUSER
1-1/2"=1'-0"



3 PLAN DETAIL @ NEW KITCHEN COUNTER EDGE
3"=1'-0"



1 ELEVATION DETAIL @ NEW BUILT-IN SHELVING
1/2"=1'-0"

BARBA+WHEELOCK

ARCHITECTURE
PRESERVATION
DESIGN

500 CONGRESS STREET
PORTLAND, MAINE 04101
TEL 207.772.2722

Issued For/Revisions:
1, 10/02/2012 Construction Documents

**THE HOWELL
HOUSE**
27 ORKNEY RD
PORTLAND,
MAINE

Title:
INTERIOR DETAILS

Project No: 2012012

Date: 10/02/2012

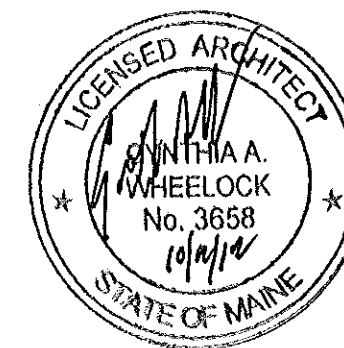
Drawing No:

A-2

BARBA+WHEELLOCK

ARCHITECTURE
PRESERVATION
DESIGN

500 CONGRESS STREET
PORTLAND, MAINE 04101
TEL 207.772.2722



Issued For/Revisions:
1. 10/02/2012 Construction Documents

**THE HOWELL
HOUSE**
27 ORKNEY RD
PORTLAND,
MAINE

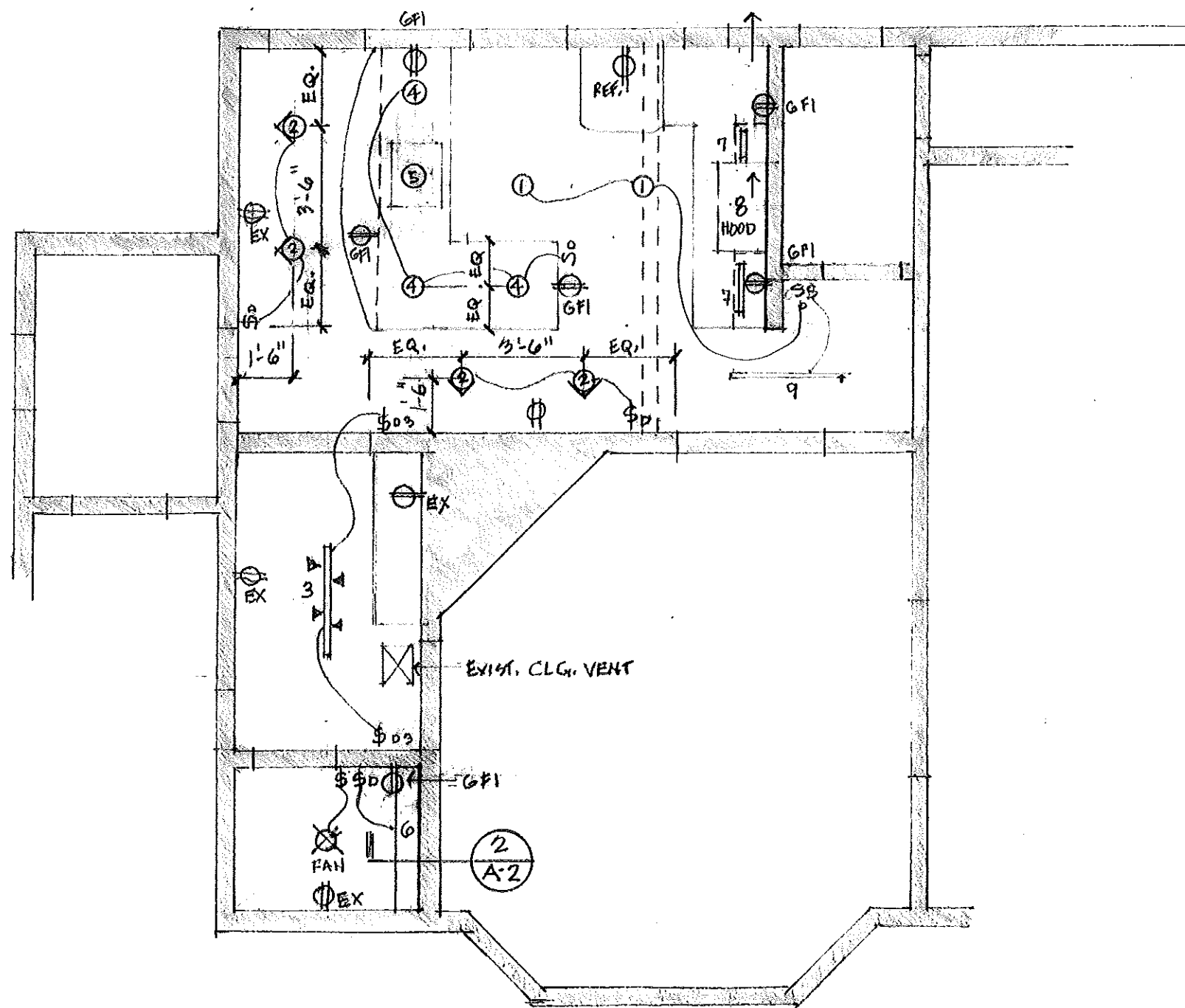
Title:
ELECTRICAL & LIGHTING

Project No: 2012012

Date: 10/02/2012

Drawing No:

A-3

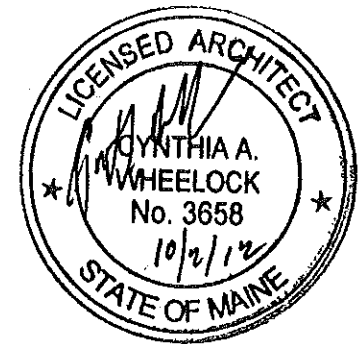


1 ELECTRICAL & LIGHTING PLAN
1/4" = 1'-0"

BARBA+WHEELOCK

ARCHITECTURE
PRESERVATION
DESIGN

500 CONGRESS STREET
PORTLAND, MAINE 04101
TEL 207.772.2722



Issued For/Revisions:
1. 10/02/2012 Construction Documents

THE HOWELL
HOUSE
27 ORKNEY RD
PORTLAND,
MAINE

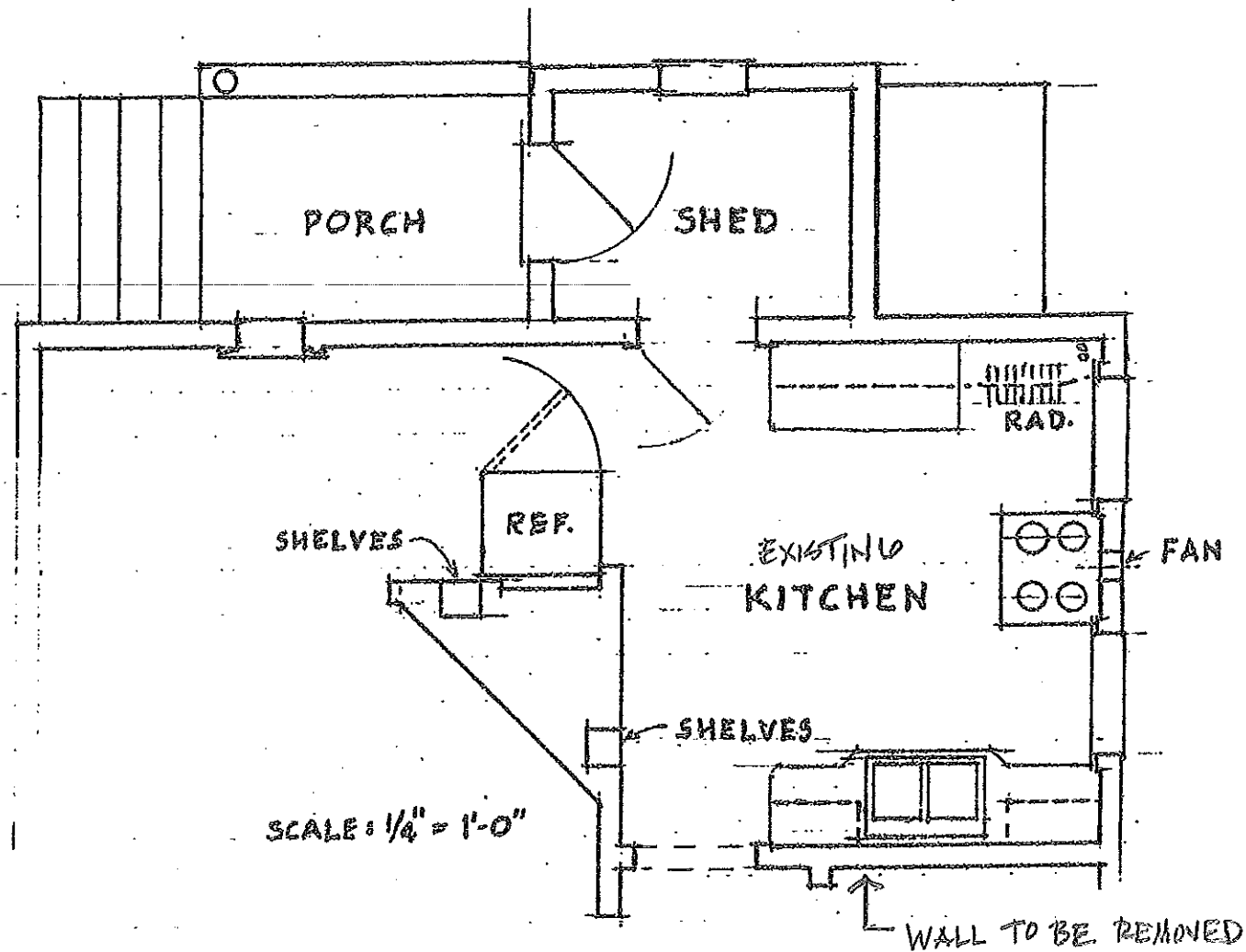
Title:
EXISTING FLOOR PLAN

Project No: 2012012

Date: 10/02/2012

Drawing No:

A-4



SEE SPECIFICATION FOR DEMOLITION NOTES.

1 EXISTING FLOOR PLAN
1/4" = 1'-0"