

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 040391

PERMIT ISSUED
APR 16 2004
CITY OF PORTLAND

This is to certify that Cough James P & Meredith E / Cilby
has permission to Single Family Home / Addition - 28 x 4 / 10 x deck
AT 32 Orkney St 132 E003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file with this department.

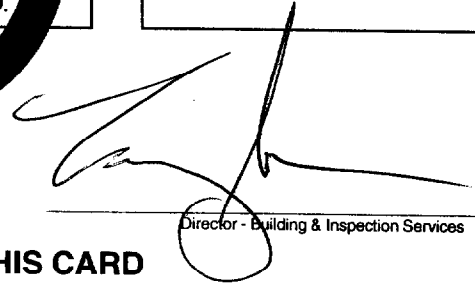
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in.
HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0391	Issue Date:	CBL: 132 E003001
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Location of Construction: 32 Orkney St	Owner Name: Cough James P & Meredith E Jts	Owner Address: 32 Orkney St	Phone:
Business Name:	Contractor Name: Cilby Contractor	Contractor Address: 6 Mussey St. S. Portland	Phone: 2077200591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home / Addition - 28 x 40 w/ 10 x 16 deck	Permit Fee: \$786.00	Cost of Work: \$85,000.00	CEO District: 4
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FIRE DEPT: Approved Denied
 Signature: *[Signature]*

INSPECTION: Use Group: *RS* Type: *SB*
BCA 1999
 Signature: *[Signature]*

Proposed Project Description:
 Single Family Home / Addition - 28 x 40 w/ 10 x 16 deck

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 04/09/2004	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/15/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/15/04</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

4/29/03 Footings Setbacks. New Survey HAS been done. OK.
to POUR Footings. JN

5/3/04 checked Rebar + Forms in PLACE. OK to POUR WALLS JN

5/10/04 - checked Foundation Walls for backfill -
Fabric + Stones ok - weatherproofing ok - no problems
seen. drainage ok
seen. OK to Brickfill.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0391	Date Applied For: 04/09/2004	CBL: 132 E003001
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Location of Construction: 32 Orkney St	Owner Name: Cough James P & Meredith E Jts	Owner Address: 32 Orkney St	Phone:
Business Name:	Contractor Name: Colby Contractor	Contractor Address: 6 Mussey St. S. Portland	Phone (207) 720-0591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home / Addition - 28 x 40 w/ 10 x16 deck	Proposed Project Description: Single Family Home / Addition - 28 x 40 w/ 10 x 16 deck
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 04/15/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 04/15/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) As discussed during the review process, the minimum guardrail height is 36" with ballusters spaced less than 4".			

Comments:
4/13/2004-tmm: Need beam A,B,C sizes - truss specs, 36" min guard, vent in bath, 11" x 17" plot plan, 2x6 joist at deck are over span, hay shown over drain, damproofing - called builder - left message
4/13/2004-tmm: spoke w/builder - went over all of the above - will submit req. info.
4/15/2004-tmm: rec'd above info - ok to issue

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>32 ORKNEY</u>		
Total Square Footage of Proposed Structure <u>960</u>	Square Footage of Lot <u>13888</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>132</u> Block# <u>E</u> Lot# <u>003</u>	Owner: <u>JAMMIE & MEREDITH COUGH</u>	Telephone: <u>7750181</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>BILL COLBY</u> <u>6 MUSSEY ST</u> <u>SO PORTLAND</u> <u>799 5369</u>	Cost Of Work: \$ <u>85000⁰⁰</u> Fee: \$
Current use: <u>single family</u>		
If the location is currently vacant, what was prior use: <u>NO</u>		
Approximately how long has it been vacant: <u>NO</u>		
Proposed use: <u>ADDITION</u>		
Project description: <u>Dining Room / Game Room /</u>		
Contractor's name, address & telephone: <u>COLBY CONTRACTORS</u> <u>6 MUSSEY ST</u> <u>SO PORTLAND MO 04106</u> <u>720-0591</u>		
Who should we contact when the permit is ready: <u>COLBY CONTRACTORS</u>		
Mailing address: <u>6 MUSSEY ST</u> <u>SO PORTLAND MO 04106</u> <u>720-0591</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 799 5369		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>04/02/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds~~, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X [Signature]
Signature of Applicant/Designee

4/20/04
Date

[Signature]
Signature of Inspections Official

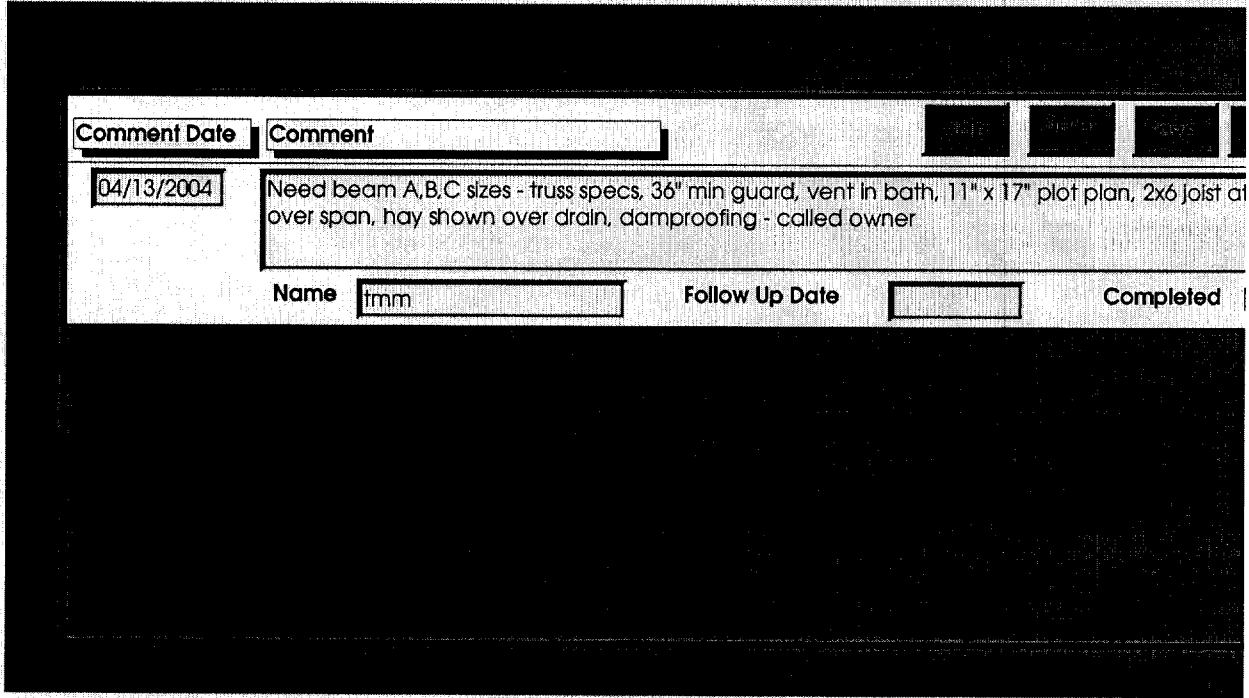
4/20/04
Date

CBL: 132 E003

Building Permit #: 040391



Prmt	Text93	19378	Constr Type	New	Num1	4	
Permit Nbr	04-0391	Location of Construction	32	Orkney St	Appl. Date		
Status	Hold	Permit Type	Single Family		Issue Date		
CBL	132 E003001	District Nbr	4	Estimated Cost	\$85,000.00	Date Closed	



Comment Date	Comment	Name	Follow Up Date	Completed
04/13/2004	Need beam A,B,C sizes - truss specs, 36" min guard, vent in bath, 11" x 17" plot plan, 2x6 joist at over span, hay shown over drain, damproofing - called owner	tmm		

CreatedBy	ldobson	CreateDate	04/09/2004	ModBy	tmm	ModDate	04/13
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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 132 E003001
 Location 32 ORKNEY ST
 Land Use SINGLE FAMILY
 Owner Address COUGH JAMES P & MEREDITH E JTS
 32 ORKNEY ST
 PORTLAND ME 04103
 Book/Page 10253/48
 Legal 132-E-3-4
 ORKNEY ST 26-34
 13888 SF

2.5

5535

Valuation Information

Land	Building	Total
\$36,230	\$96,070	\$132,300

Property Information

Year Built 1902	Style Old Style	Story Height 2	Sq. Ft. 2010	Total Acres 0.319
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 8	Attic Full Finsh
				Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1930	26X30	C	A
SHED-FRAME	1	1988	8X8	C	A

*780
64*

Sales Information

Date 08/28/1992	Type LAND + BLDING	Price \$124,500	Book/Page 10253-048
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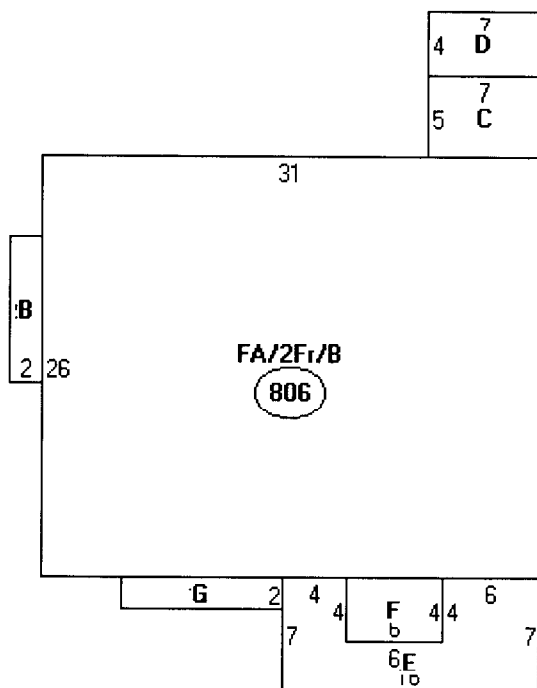
Picture and Sketch

Picture Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



- Descriptor/
- A: FA/2Fr/B
806 sqft
 - B: FBAY/B
18 sqft
 - C: EP
35 sqft
 - D: OFF
28 sqft
 - E: OFF
88 sqft
 - F: FA/2sFBAY
24 sqft
 - G: EP
20 sqft

3692



6 Mussey Street
South Portland, ME 04106
(207) 799-5369

720 - 0591
Bill Colby
32 Project 32 Orkney

Rec - 4/15/04

Date: 04/14/04

ADENDUM TO COUGH PLANS AS REQUESTED BY CODE ENFORCEMENT
OFFICER TAMMY MUNSON

Name; Jamie and Meridith Cough
Job Name: Addition
Street: 32 Orkney
City: Portland State: Maine Zip:

Officer Munson,

Here are the items you requested on 04/13/04. Thank you for your quick action on this process.

- ✓ 1. Set of 11"x 17" plot plans.
- ✓ 2. Fax from supplier on beam and truss specs.
- ✓ 3. We agree to install fan in new bath.
- ✓ 4. Deck framing will be 2" x 8" P.T. - 10' spans o.k.
- ✓ 5. Stone at exterior foundation will be covered with landscaping cloth as requested.
went over - will cover drain
- ✓ 6. Foundation will be coated with damp proofing. (tar)

Thank you once again.

* Spoke w/builder -
gravel - 36"

Bill Colby

APR-13-2004 09:04
BOISE

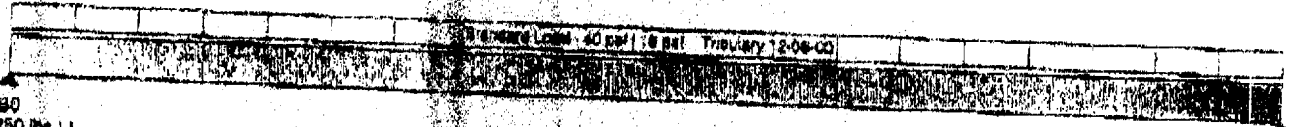
BOISE CASCADE
BC CALC 2003 DESIGN REPORT - US

603 431 7553 P.05
 Tuesday, April 13, 2004 08:45

Double 1 3/4" x 9 1/2" VERSA-LAM 3100 SP

Job Name: Cough Residence
 Address: 32 Orkney Street
 City, State, Zip: Portland, ME
 Customer: Hammond Lumber
 Code reports: ICBO 5012, NER 529

File Name: BC CALC Project: Beam C
 Description: Beam C
 Specifier: Patrick Drake
 Designer: Patrick Drake
 Company: Boise Building Solutions Portsmouth, NH
 Misc: Attn: Scott Sanborn



B0
 2250 lbs LL
 942 lbs DL

B1
 2250 lbs LL
 942 lbs DL

Total Horizontal Length - 08'-00"-00"

General Data

Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 12'-06"-00"
 Live Load: 40 psf
 Dead Load: 16 psf
 Partition Load: 0 psf
 Duration: 115

Load Summary

ID	Description	Load Type	Ref. Unit Area	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Live		00-00-00	08-30-00	Live	40 psf	12-06-00	115%
		Dead				Dead	16 psf	12-06-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	7182 ft-lbs	44.7%	115%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	2691 lbs	38.6%	115%	2	1 - Left
Total Load Defl.	1.516 (0.248")	46.5%		2	1
Live Load Defl.	1.732 (0.148")	68.5%		2	1
Max Defl.	0.208"	20.6%		2	1

Notes

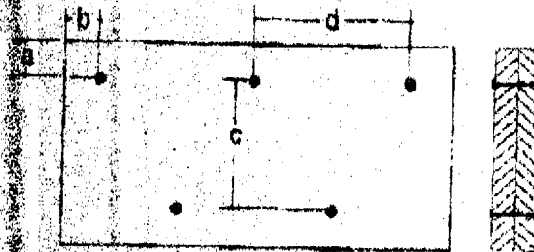
Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets User specified (L/240) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Entered/Displayed Horizontal Span Length(s) + Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Connection Diagram

Consult project design professional of record or BOISE technical representative for connection design.
 Member has no end loads.

Connectors are: 16d Common Nails

a = 2"
 b = 3"
 c = 2-3/4"
 d = 12"



Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)332-9788 before beginning product installation.

BC CALC, BC FRAMER, BC, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM, VERSA-RIM, VERSA-RIM PLUS, VERSA-STRAND™, VERSA-STUD, ALLJOINT® and AJS™ are trademarks of Boise Cascade Corporation.

REC - 4/15/04

MT QUOTE # B50589



1-800-773-4811
 Tel: 207-453-4911
 Fax: 207-453-7952
 P. O. Box 377
 Fairfield, ME 04937

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HAMMOND BELGRADE
 ROUTE 27
 BELGRADE, ME 04917
 (207) 495-3363

S
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32 ORKNEY ST
 PORTLAND, ME

DATE/TIME	04/13/04 07:57:25
PAGE	1
MT ORDER #	
MT QUOTE #	B50589
MT CONTACT	DAVE WIENS
ORDER DATE	
CUSTOMER PO #	
ORDERED BY	SCOTT SANBORN **
DELIVERY DATE	
JOB NAME:	COLBY/COUGH

DELIVERY INSTRUCTIONS:

SPECIAL INSTRUCTIONS:

ROOF TRUSSES

PROFILE	ID	QTY	PLY	LENGTH	BRG SPAN	PITCH		OVERHANG		CANTILEVER		LOADING	SPC	PRICE	
						TOP	BOT	LEFT	RIGHT	LEFT	RIGHT			UNIT	EXTENDED
	S01	14		28-00-00		8.00	4.00	01-00-00	01-00-00			55-7-0-10	24.0		

QUANTITY AND SPEC CHANGES MAY AFFECT PRICING. MAINELY TRUSSES IS NOT RESPONSIBLE FOR TYPOGRAPHICAL ERRORS. PRICES VALID FOR 7 DAYS.

MISC. JOB NOTES:
 DOUBLE TRUSS ON EACH SIDE OF SKYLIGHT UNITS, LADDER FRAME BETWEEN

ROOF SUB-TOTAL	
FLOOR SUB-TOTAL	\$ 6.00
ITEMS SUB-TOTAL	\$ 6.00
GRAND TOTAL	

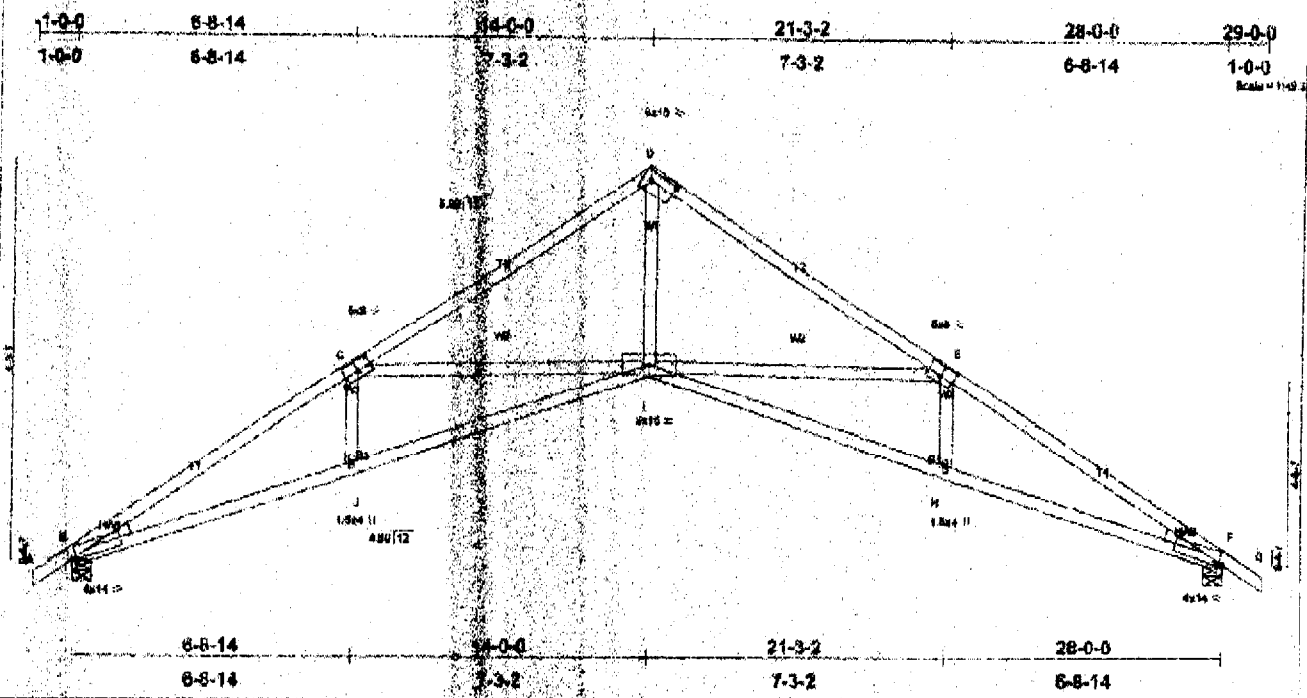
QPR-13-2004 08:11

MAINELY TRUSSES

4.01.02

Job	Truss	Truss Type	Qty	Plt	COLBY/COLOR
00000	301	SCISSOR	14		

Main: Trusses, Inc. Fairfield, ME. Dave Vleas Job Reference: (add phone) 8200 e Sep 18 2003 Mike Industries, Inc. Wed Apr 14 16:03:37 2004 Page 1



LOADING (psf)	SPACING	1-0-0	DEFL.	in (loc)	Welf	Ltd	PLATES	GRIP
TCLL 55.0	Plate Increase	1.15	Vert(LL)	-0.45	>721	240	M820	197/444
TCDL 7.0	Lumber Increase	1.15	Vert(TL)	-0.82	>636	180		
BCLL 0.0	Max Stress Incr	YRS	Horz(TL)	0.58	F	n/a		
BCDL 10.0	Code	MOCA/ANSI03					Weight: 111 lb	

LUMBER
 TOP CHORD 2 X 4 SPF 1650F 1.5E "Except"
 T1 2 X 4 SYP D56, T1 2 X 4 SYP D68
 BOT CHORD 2 X 4 SPF 2100F 1.8E
 WEBS 2 X 4 SPF No.2 "Except"
 W2 2 X 4 SPF 1650F 1.5E, W2 2 X 4 SPF 1830F 1.5E
 WEDGE
 Left: 2 X 4 SPF No.2, Right: 2 X 4 SPF No.2

SPACING
 TOP CHORD Sheathed
 BOT CHORD Right rafter directly applied or 6-10-5 ec bracing

REACTIONS (lb/ft) B=21650-6-6, P=21650-6-9
 Max Horz B=292(load case 3)
 Max (Up/Down)=391(load case 4), F=691(load case 5)

FORCES (lb) Maximum Compression/Maximum Tension
 TOP CHORD A-B=0/63, B-C=-4480/1394, C-D=-3802/837, D-E=-3440/77, E-F=-4400/241, F-G=0/63
 BOT CHORD B-J=-1277/4828, J-K=-1182/4518, K-L=-604/4818, L-P=-604/4828
 WEBS D-E=-164/3016, C-J=-189/189, E-H=-189/189, C-P=-189/189, E-F=-189/189

- NOTES**
- 1) Unbalanced roof live loads have been considered for this design.
 - 2) Wind: ASCE 7-98; 100mph; h=25ft; TCDF=4.2psf; BCDL=8.0psf; Category II; E100; enclosed; MWFRS interior zone; cantilever left and right exposed; and vertical left and right exposed; porch left and right exposed; Lumber: DCL=1.66 plate grip DCL=1.60.
 - 3) Beating at joints B, F considers parallel to grain value using 1.15 for 1.15 angle to grain for all. Building designer should verify capacity of bearing surface.
 - 4) Two NPT USB connectors recommended to connect truss to bearing wall due to uplift at (a) B and F.

LOAD CASE(S) Standard

APR-13-2004 09:02

BOISE CASCADE

603 431 7663 P.02



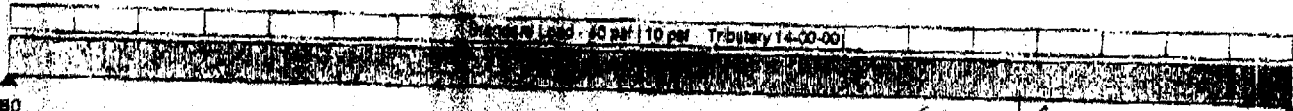
BC CALC 2003 DESIGN REPORT - US

Tuesday, April 13, 2004 08:45

Triple 1 3/4" x 16" VERSA-LAM® S100 SP

Job Name: Cough Residence
Address: 32 Oakway Street
City, State, Zip: Portland, ME
Customer: Hammond Lumber
Code reports: ICBO 5512, NER 829

File Name: BC CALC Project : Beam A
Description: Beam A
Specifier: Patrick Drake
Designer: Patrick Drake
Company: Boise Building Solutions Portsmouth, NH
Misc: Aith: Scott Sanborn



80
6040 lbs LL
1475 lbs DL

81
8040 lbs LL
1475 lbs DL

CAN be
ply 9/2 - w/
16ply

Total Horizontal Length: 18-00-00

General Data
Version: US Imperial
Member Type: Floor Beam
Number of Spans: 1
Left Cantilever: No
Right Cantilever: No
Slope: 0/12
Tributary: 14-00-00
Live Load: 40 psf
Dead Load: 10 psf
Partition Load: 0 psf
Duration: 100

Table with columns: ID, Description, Load Type, Ref, Start, End, Type, Value, Trib., Dur. Row 1: S Standard Load, Unit: Area, Left, 00-00-00, 18-00-00, Live, 40 psf, 14-00-00, 100%. Row 2: Dead, 10 psf, 14-00-00, 80%.

Controls Summary table with columns: Control Type, Value, % Allowable, Duration, Load Case, Span Location. Rows include Moment (22507 ft-lbs, 52.3%), Neg. Moment (0 ft-lbs, N/A), End Shear (3548 lbs, 34.2%), Total Load Defl. (1/443 (0.477"), 53.0%), Live Load Defl. (1/586 (0.389"), 82.0%), Max Defl. (0.477", 47.7%).

Notes

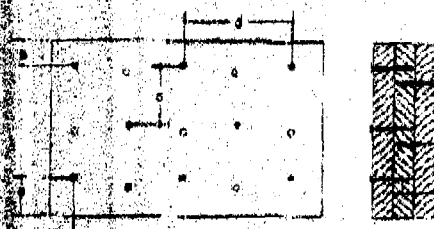
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Minimum bearing length for S1 is 1-1/2".
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. and bearing + 1/2 intermediate bearing

Connection Diagram

Consult project design professional of record or BOISE technical representative for connection design.
Nailing schedule applies to both sides of the member.

Connectors are: Two Sinker Nails

- a = 2"
b = 3"
c = 4"
d = 12"
e = 3"



Disclosure

The competence and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current installation Guide and the applicable building codes. To obtain an installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMERS®, BC®®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLWOIST® and AJS™ are trademarks of Boise Cascade Corporation

APR-13-2004 09:03

BOISE CASCADE

603 431 7663 P.03

Tuesday, April 13, 2004 09:46

Title 1 3/4" x 24" VERSA-LAM® 500 SP

Job Name: Cough Residence
 Address: 32 Orkney Street
 City, State, Zip: Portland, ME
 Customer: Hammond Lumber
 Code reports: ICBO 5512, NER 829

File Name: BC CALC Project Beam B
 Description:
 Specifier: Patrick Drake
 Designer: Patrick Drake
 Company: Boise Building Solutions Portsmouth, NH
 Mfg: Attn: Scott Sanborn



B0
 3434 lbs LL
 3361 lbs DL

B1
 8743 lbs LL
 3426 lbs DL

Total Horizontal Length - 19-00-00

General Data

Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 13-00-00

Live Load: 40 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 100

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dist.
8	Standard Load	Unif. Area	Left	00-00-00	19-00-00	Live	40 psf	13-00-00	100%
1	Roof Load	Unif. Area	Left	19-08-00	19-00-00	Live	40 psf	07-00-00	115%
2	Wall Load	Unif. Lin.	Left	00-00-00	06-06-00	Dead	18 psf	07-00-00	90%
						Live	0 plf	n/a	90%
3	Roof Load	Unif. Area	Left	00-00-00	06-06-00	Dead	86 plf	n/a	90%
						Live	40 psf	07-00-00	115%
4	Wall Load	Unif. Lin.	Left	19-08-00	19-00-00	Dead	18 psf	07-00-00	90%
						Live	0 plf	n/a	90%
5	Post Load	Cent. Pt.	Left	06-06-00	06-06-00	Dead	86 plf	n/a	90%
						Live	2250 lbs	n/a	115%
6	Post Load	Cent. Pt.	Left	19-06-00	19-06-00	Dead	842 lbs	n/a	90%
						Live	2250 lbs	n/a	115%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	30877.1 lbs	38.7%	115%	3	1 - Internal
Neg. Moment	n/a	n/a	100%		
End Shear	3533 lbs	35.3%	115%	3	1 - Right
Total Load Defl.	0.774 (0.285")	31.0%		3	1
Live Load Defl.	0.107 (0.285")	44.9%		3	1
Max Defl.	0.285"	28.6%		3	1

Notes

Design meets Code minimum (ICBO) Total load deflection criteria.
 Design meets User specified (LLSD) Live load deflection criteria.
 Design meets minimum (LSD) Minimum load deflection criteria.
 Minimum bearing length for B0 is 2-5/8"
 Minimum bearing length for B1 is 2-3/4"
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure
 The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800) 232-0768 before beginning product installation.

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Triple 1 3/4" x 24" VERSA-LAM® 2750 SF

Job Name: Cough Residence
 Address: 32 Orkney Street
 City, State, Zip: Portland, ME
 Customer: Hammond Lumber
 Code reports: ICBO 5512, NER 629

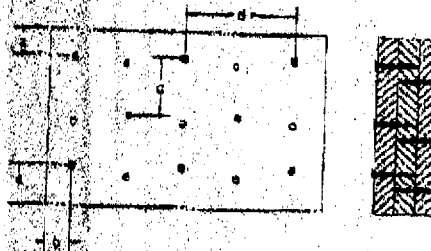
File Name: BO CALD Project: Beam B
 Description:
 Specifier: Patrick Drake
 Designer: Patrick Drake
 Company: Boise Building Solutions, Portsmouth, NH
 M.d. A/n: Scott Sanborn

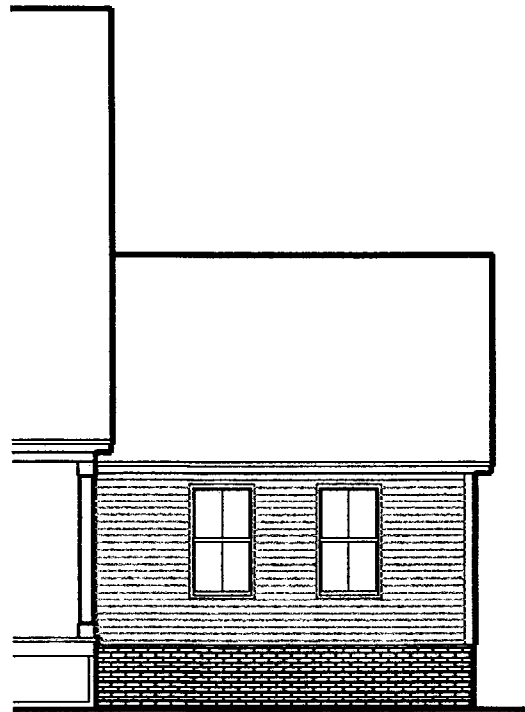
Connection Diagram

Consult project engineer or professional of record or BOISE technical representative for connection design.
 Nailing schedule applies to both sides of the member.
 Concentrated loads are not considered in side load analysis.

Connectors are: 1/2" Sink-in Nails

a = 2"
 b = 3"
 c = 6-5/8"
 d = 12"
 e = 3"





EXISTING
NEW

FRONT ELEVATION



EXISTING
NEW

RIGHT SIDE ELEVATION



NEW
EXISTING

REAR ELEVATION



NEW
EXISTING

LEFT SIDE ELEVATION

NOTE:
ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION
OPENS, STUD HEIGHTS AND EXISTING STRUCTURAL
INTEGRITY, ARE TO BE FIELD VERIFIED
BY BUILDER/CONTRACTOR PRIOR TO
PERFORMING CONSTRUCTION. ALL ADJUSTMENTS
ARE TO BE PERFORMED AS REQUIRED.

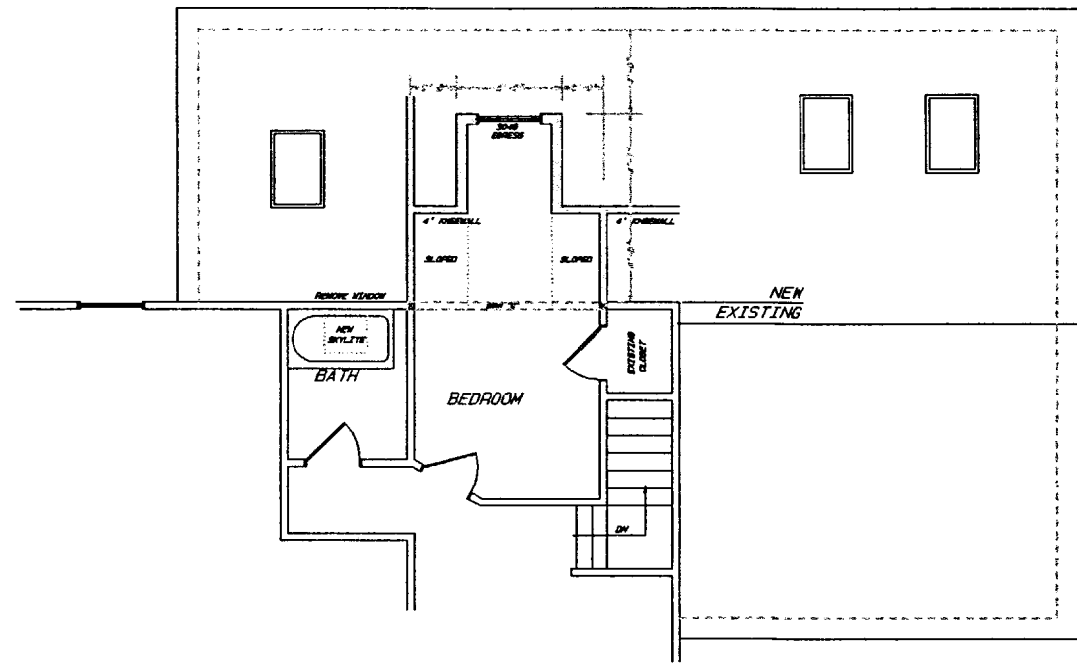
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MARTIN
MEIER
CUSTOM
HOME
DESIGNER

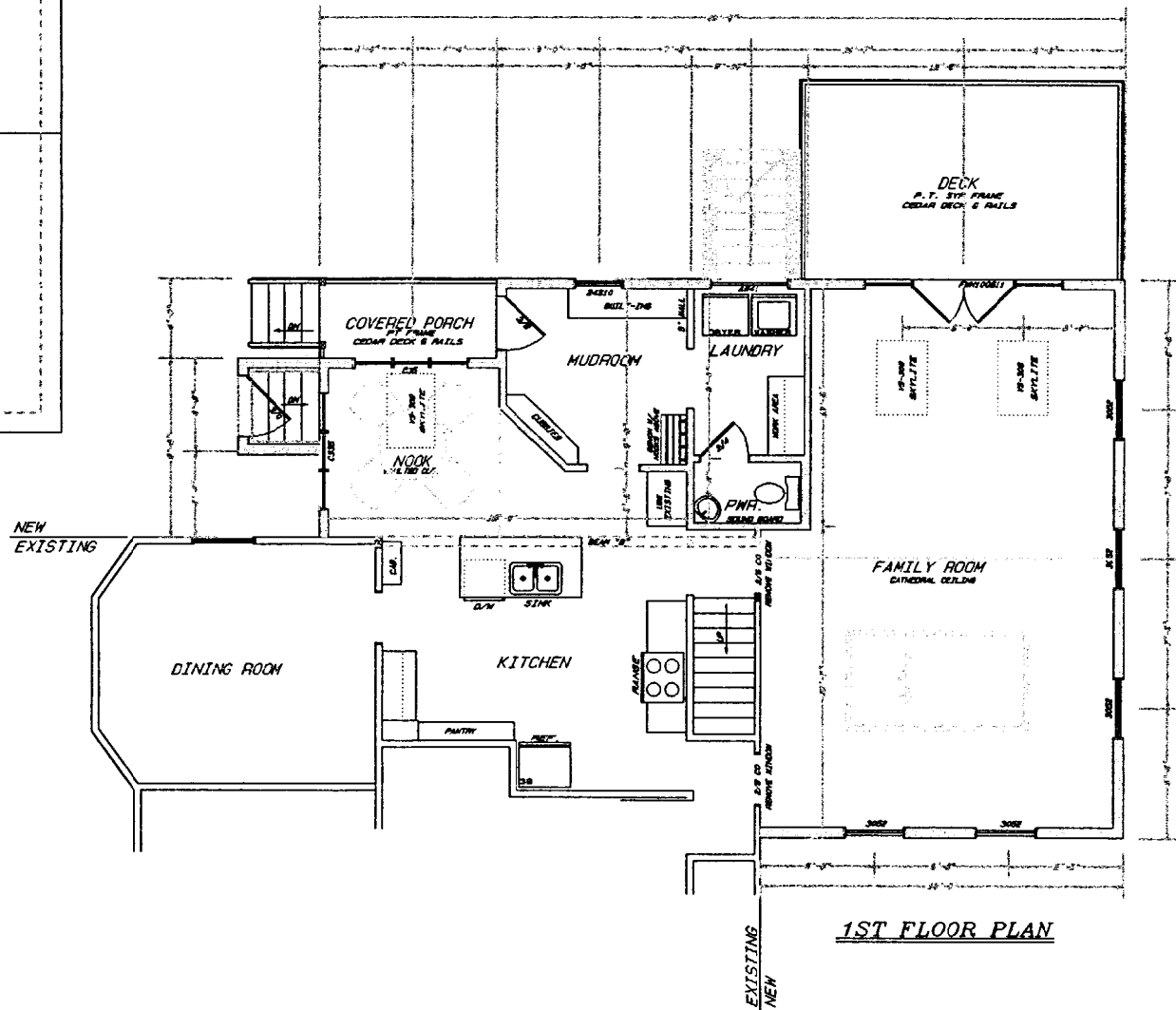
P.O. Box 350
Yarborough, Maine 04096
207-646-3749

COUGH RESIDENCE
32 ORKNEY STREET
PORTLAND, MAINE

ELEVATIONS	
BY: M. Meier	PROJECT # 03033
SCALE: 1/4" = 1'-0"	SHEET #
DATE: JAN. 27, 2004	1 of 4



2ND FLOOR PLAN



1ST FLOOR PLAN

BEAM SCHEDULE BEAM SIZES BY SUPPLIER

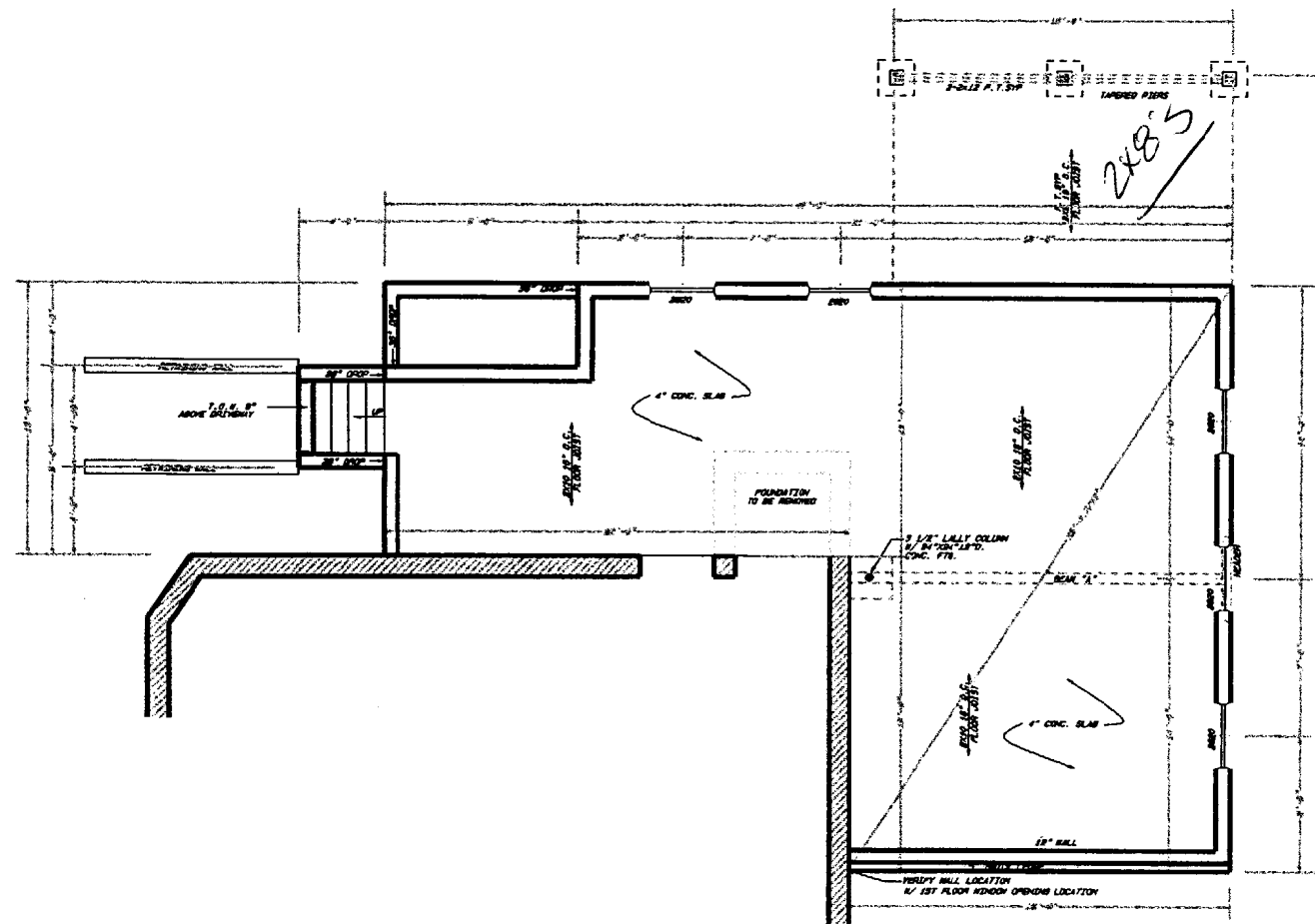
SYM	TYPE (LOCATION)	WOOD	STEEL	BEAM
A	1ST FLOOR			
B	2ND FLOOR			
C	2ND FLOOR/ROOF			
D				
E				

NOTE:
 ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION DROPS, STUD HEIGHTS AND EXISTING STRUCTURAL INTEGRITY, ARE TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR PRIOR TO PERFORMING CONSTRUCTION. ALL ADJUSTMENTS ARE TO BE PERFORMED AS REQUIRED.

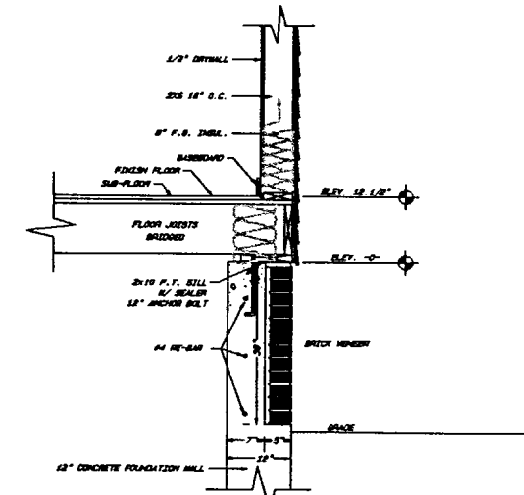
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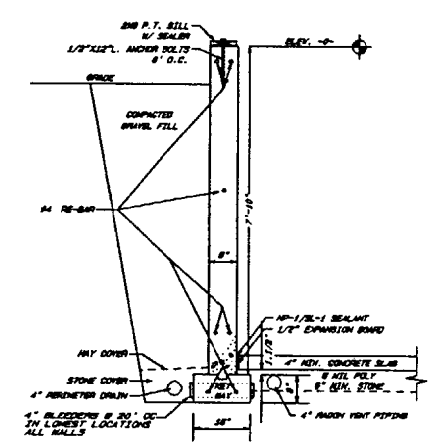
	COUGH RESIDENCE	
	32 ORKNEY STREET PORTLAND, MAINE	
	FLOOR PLANS	
BY: M. Meier	PROJECT #	03033
SCALE: 1/4" = 1'-0"	DATE:	JAN. 27, 2004
P.O. Box 350 Yarmouth, Maine 04096 207-648-3749		SHEET # 2 of 4



FOUNDATION PLAN



SILL DETAIL "B"
SCALE 3/4" = 1'-0"



8" FOUNDATION WALL SECTION
SCALE 1/2" = 1'-0"

NOTE:
ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION DROPS, STUD HEIGHTS AND EXISTING STRUCTURAL INTEGRITY, ARE TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR PRIOR TO PERFORMING CONSTRUCTION. ALL ADJUSTMENTS ARE TO BE PERFORMED AS REQUIRED.

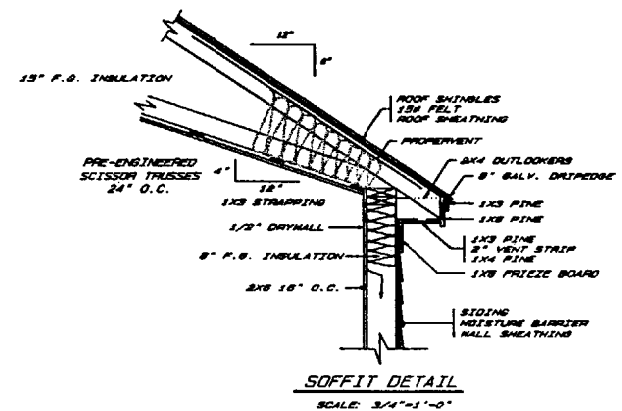
- CONCRETE NOTES:
1. MIN. 28 DAY COMPRESSIVE STRENGTH: 3000 PSI
 2. DESIGN OF FOOTINGS IS BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2500 PSF @ 28 DAYS. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY PRIOR TO ANY CONSTRUCTION.
 3. PLACE FOOTINGS ON UNDISTURBED MATERIAL.
 4. REINFORCE ALL SPREAD FOOTINGS W/ #4 REBAR @ 12" O.C. EACH DIRECTION, @ 3" CLEAR FROM BOTTOM.
 5. FROST PROTECTION: 4'-6" MIN.

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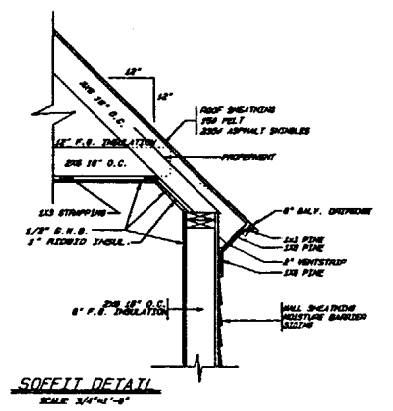
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	COUGH RESIDENCE	
	32 ORKNEY STREET PORTLAND, MAINE	
	FOUNDATION PLAN	
BY: H. Meier	PROJECT #	03033
SCALE: 1/4" = 1'-0"	SHEET #	
DATE: JAN. 27, 2004		3 of 4

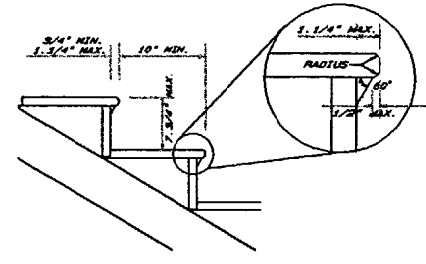
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Yermouth, Maine 04098
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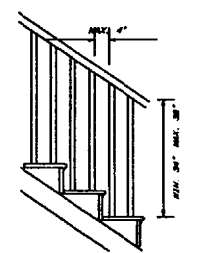
SOFFIT DETAIL
SCALE: 3/4"=1'-0"



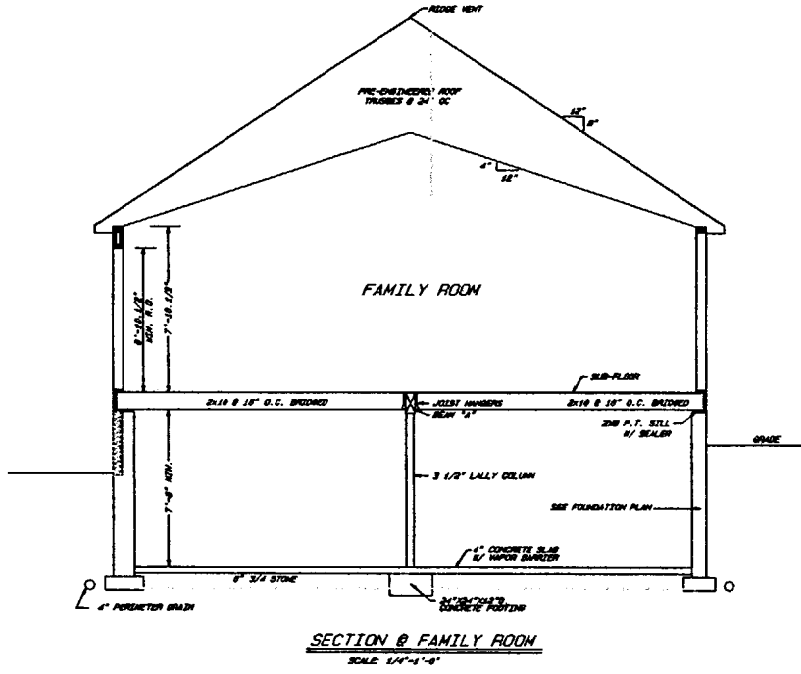
SOFFIT DETAIL
SCALE: 3/4"=1'-0"



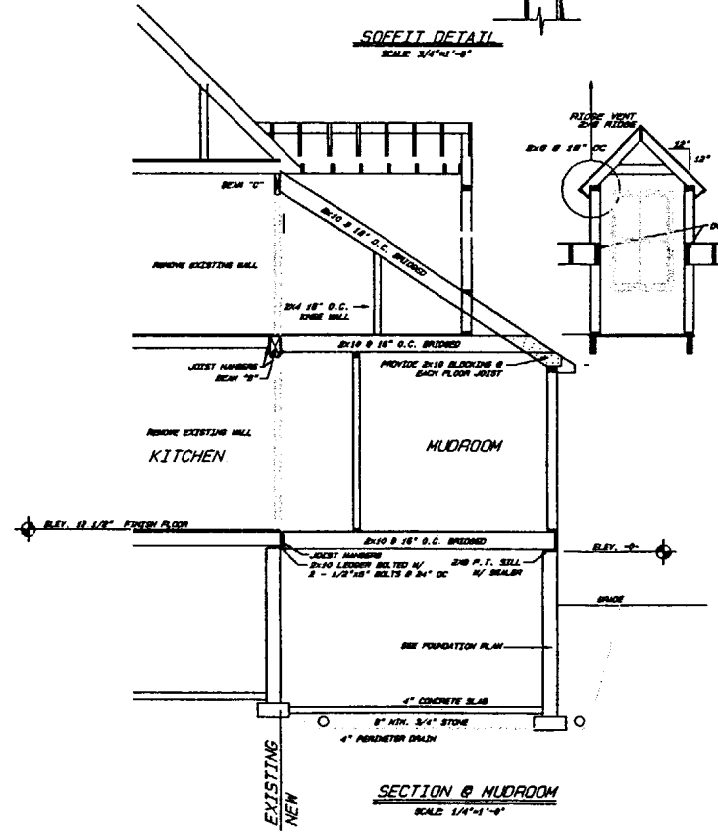
STAIR DETAIL



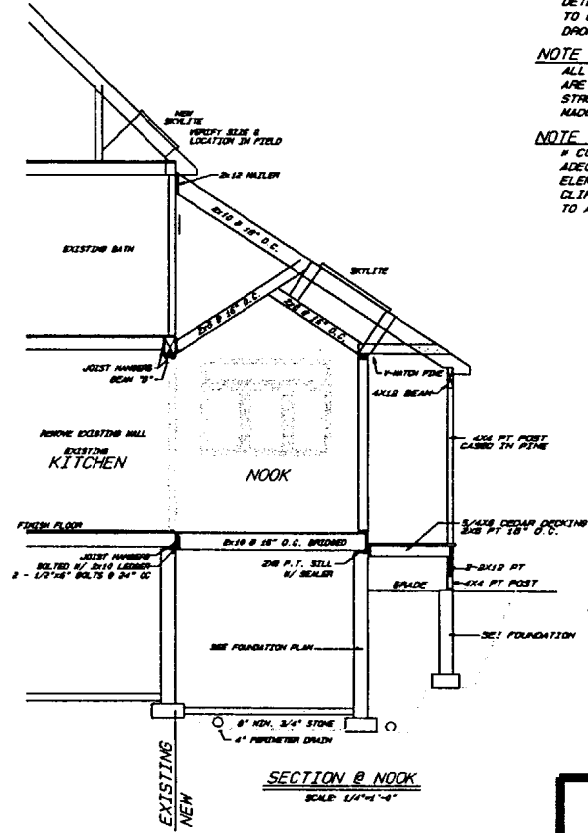
HANDRAIL DETAIL



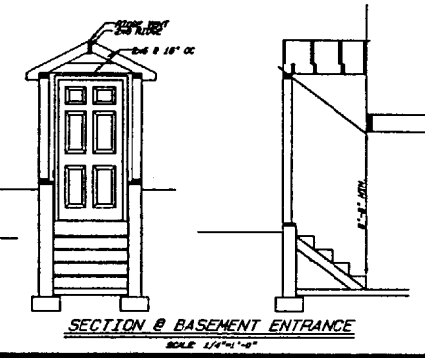
SECTION @ FAMILY ROOM
SCALE: 1/4"=1'-0"



SECTION @ MUDROOM
SCALE: 1/4"=1'-0"



SECTION @ NOOK
SCALE: 1/4"=1'-0"



SECTION @ BASEMENT ENTRANCE
SCALE: 1/4"=1'-0"

FRAMING MATERIAL SPECIFICATIONS	
FLOOR SHEATHING:	3/4" T&G EXL. PLWOOD
WALL SHEATHING:	1/2" GDS EXL. PLWOOD
ROOF SHEATHING:	3/8" GDS EXL. PLWOOD
UNDERLAMENT:	3/8" AS PLWOOD
MOISTURE BARRIER:	TYVEK HOUSEWRAP
VAPOR RETARDENT:	TI-TUFF
EXTERIOR SIDING:	VINITL TO MATCH EXISTING
EXTERIOR TRIM:	24 PINE WRAPPED IN ALUMINUM
SILLS:	2x8 PRESSURE TREATED
FLOOR JOIST:	2x10 SPRUCE
WALL STUDS:	2x4 SPRUCE
CEILING JOIST:	2x4 SPRUCE
RAFTERS:	2x6 SPRUCE
EAVE VENT:	2" WHT. ALUMINUM
DRIPEDGE:	2" S&S
ROOFING SHINGLES:	36# TIMBERLINE 20 YR. OR HIGH EXTN.
RIDGE VENT:	ROLL VENT
1" AIR SPACE MAT.:	PROPERVENT
FOUNDATION INSULATION:	NONE
SILL SEALER:	PER AVAILABILITY
FLOOR BLOCKS & NUMBERS:	18" FIBERGLASS
EXTERIOR WALL INSULATION:	3 1/2" FIBERGLASS
2ND FLOOR INSULATION:	3 1/2" FIBERGLASS
CEILING INSULATION:	1 1/2" FIBERGLASS
SLOPED ROOF INSULATION:	2" F.R.B. W/ 1" BIRD DENAL.

WOOD FRAMING NOTES:

- STRUCTURAL LUMBER NO. 2 BRUCE, PINE, FIR OR BETTER.
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- PATTERNED CONPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BASIC BUILDING CODE LATEST EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECKS AND SHEATHING: PROVIDE NO NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE:
8" O.C.: ALONG ALL PANEL EDGES
8" O.C.: ALONG INTERMEDIATE MEMBERS
ALL PLYWOOD SUB-FLOORS TO BE BLIND AND NAILED WITH 8D SCREW NAILS.
TO SUPPORTING MEMBERS WHICH ARE BUILT-UP WITH 18D NAILS @ 16" O.C., TOP AND BOTTOM
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS. IF STUDS ARE NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO SIMPSON LUG10 OR LUG10.
- PROVIDE 2" x 6" HEADERS OVER ALL OPENINGS IN BEARING WALLS UNLESS SHOWN OTHERWISE.
- PROVIDE DOUBLE TOP PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS. STAGGER TOP PLATE SPLICES IN EXTERIOR WALLS 4'-0" AND PROVIDE AT LEAST #100 NAILS PER SPLICE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUNDERS IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE MINIMUM OF TWO 2x STUDS AT THE ENDS OF ALL BRUL TRUSS BEAMS UNLESS SHOWN OTHERWISE.
- ROOF AND WALL SHEATHING: APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, EXTERIOR.
ROOF: 5/8" THICK
WALLS: 1/2" THICK
INSTALL SHEETS WITH GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS
- POSTS AT CORNERS OF EXTERIOR WALLS: PROVIDE 6x6 POST OR 3" x 8x8 MINIMUM.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS.
- PROVIDE STAINLESS STEEL NAILS TO ATTACH SIDING AND EXT. TRIM TO SUPPORTING MEMBERS.
- WEDGE-LAM BEAMS (LVL'S): BLIND LAMINATED VENEER LUMBER OF DOUGLAS FIR AS MANUFACTURED BY TRUS-JOIST OR BOISE ISLAND OR APPROVED EQUAL. PV = 200 PSI; F_b = 2800 PSI; E = 2,000,000 PSI.
ALL LVL HEADERS TO HAVE A MINIMUM OF DOUBLE 2x JACKS UNLESS NOTED OTHERWISE ON THE PLANS.
- BOLTS, NUTS & WASHERS: 1/2" - 1307, HOT DIPPER GALVANIZED CONFORMING TO ASTM - A153.
- NAILS: COMMON NING, EXCEPT BARRED NAILS AT PLYWOOD SHEATHING. PROVIDE GALVANIZED NAILS AT EXPOSED FRAMING.
- METAL CONNECTORS: APPROVED STEPS OF PROPER TYPE & GAUGE AS REQUIRED ON DRAWINGS. NOT DIPPER GALVANIZED.
- ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH BOCA CODE APPENDIX.
- PROVIDE SOLID BRIDGING, SIZED TO MATCH FLOOR JOIST, AT RED-SPAN IN ALL FLOOR SYSTEMS.
- LIVE LOADS FOR FLOOR JOISTS SHALL BE FOR THE BOCA BASIC BUILDING CODE LATEST EDITION.

NOTE 1

ALL ELEVATION DROPS ARE TO BE DETERMINED AND FIELD VERIFIED ACCORDING TO GRADE AND SITE CONDITIONS. ADJUST DROPS AS REQUIRED.

NOTE 2

ALL STRUCTURAL BEAMS AND ROOF SYSTEM ARE TO BE REVIEWED BY A MAINE LICENSED STRUCTURAL ENGINEER. ALL CHANGES TO BE MADE AS REQUIRED.

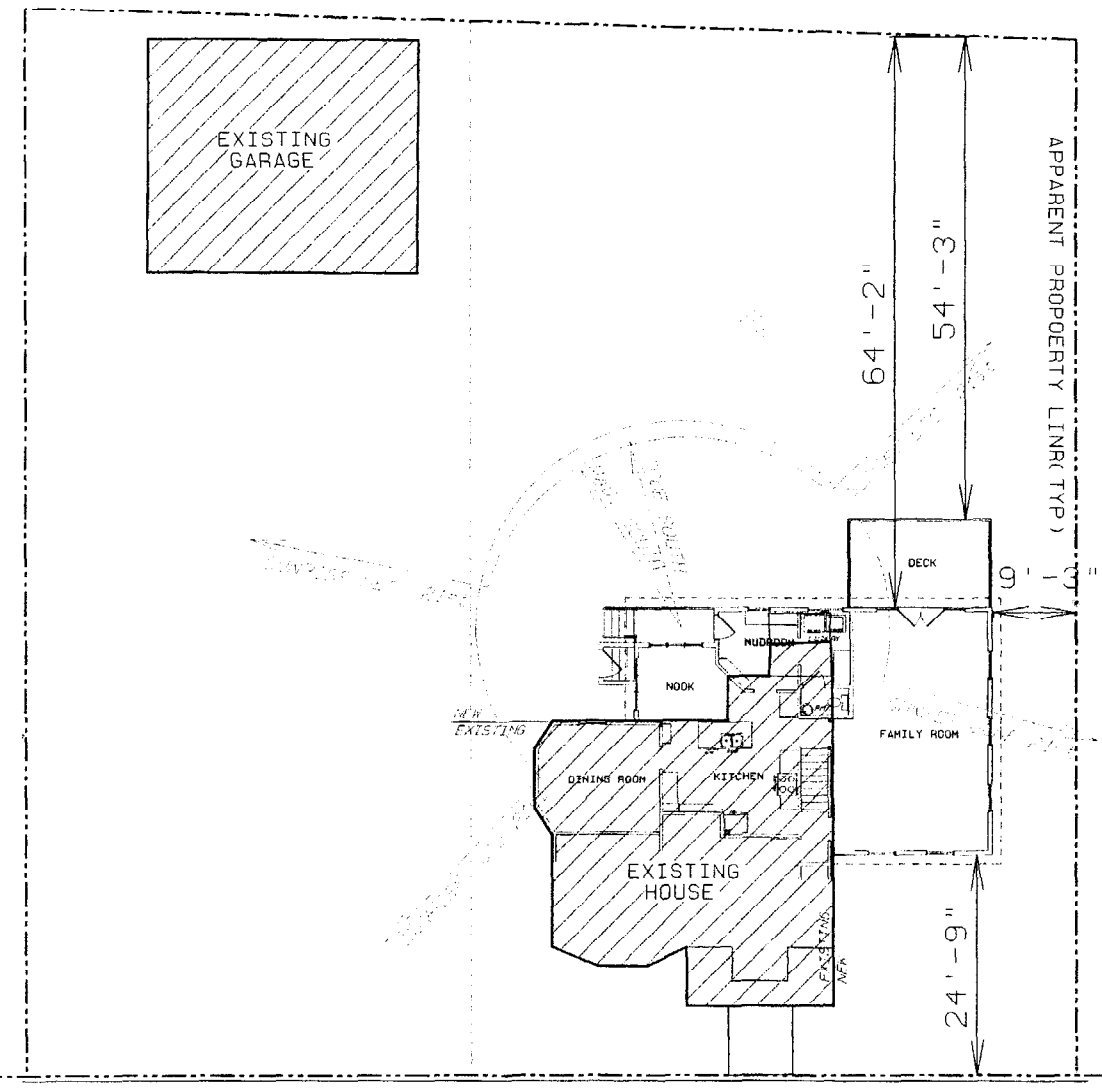
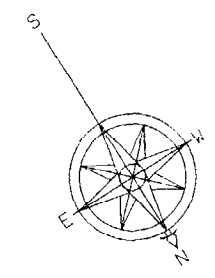
NOTE 3

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE CONNECTIONS BETWEEN ALL STRUCTURAL ELEMENTS. PROVIDE SUITABLE JOIST HANGERS, CLIP ANGLES, LAG BOLTS, ETC., AS REQUIRED TO ADEQUATELY CONNECT MEMBERS.

NOTE:
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<p>MARTIN MEIER CUSTOM HOME DESIGNER</p>	<p>COUGH RESIDENCE</p>	
	<p>32 ORKNEY STREET PORTLAND, MAINE</p>	
	<p>FRAMING SECTIONS</p>	
<p>P.O. Box 350 Yarborough, Maine 04096 207-840-3740</p>	<p>BY: H. Meier SCALE: 1"=8" DATE: JAN. 27, 2004</p>	<p>PROJECT # 03033 SHEET 1 4 of 4</p>



ORKNEY STREET

Handwritten notes:
 R-5
 Sides 8' - 1 story OK
 12' - 2 story comply to 8'
 front + rear - 20' - OK

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	COUGH RESIDENCE	
	32 ORKNEY STREET PORTLAND, MAINE	
	PLOT PLAN	
	BY: H. Meier SCALE: 1" = 10' DATE: FEB. 15, 2004	PROJECT # 03033 SHEET #



CITY OF PORTLAND, MAINE
Department of Building Inspections

4/8/04

20

Received from

Colby Contractors

Location of Work

32 Orkney

Cost of Construction

\$ 85,000

Permit Fee

\$ 786

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL:

132-E-3

Check #:

7269

Total Collected \$

786

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy