

m # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BU **INSPECTION**

PERMIT

Permit Number: 091113 **PERMIT ISSUED**

Please Read
Application And
Notes, If Any,
Attached

is to certify that DIMILLO STEVEN A & MARGARET F. DIMILLO

s permission to new 258 sq ft addition for family room

OCT 20 2009

113 PLEASANT AVE

CE 131 L008001

City of Portland

rovided that the person or persons, firm or corporation accepting this permit shall comply with all
the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating
e construction, maintenance and use of buildings and structures, and of the application on file in
is department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and written permission procured
before this building or part thereof is
lath or other work is set-in. 24
HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Dept. _____

th Dept. _____

al Board _____

r _____

Department Name

Thomas W. Mally 10/19/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1113	Issue Date:	CBL: 131 L008001
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Location of Construction: 113 PLEASANT AVE	Owner Name: DIMILLO STEVEN A & MARGA	Owner Address: 113 PLEASANT AVE	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - new 258 sq ft addition for family room	Permit Fee: \$310.00	Cost of Work: \$28,380.00	CEO District: 4	13,125 #
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003		

Proposed Project Description: new 258 sq ft addition for family room	Signature:	Signature: <i>DM 10/19/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 10/06/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>OK with conditions</i> <i>9 10/7/09</i>	Date: _____	Date: _____

PERMIT ISSUED

OCT 20 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

10-20-09
Date



Signature of Inspections Official

10/19/09
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1113	Date Applied For: 10/06/2009	CBL: 131 L008001
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Location of Construction: 113 PLEASANT AVE	Owner Name: DIMILLO STEVEN A & MARGA	Owner Address: 113 PLEASANT AVE	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - new 258 sq ft addition for family room	Proposed Project Description: new 258 sq ft addition for family room
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/07/2009

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 10/19/2009

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>113 Pleasant Ave</u>		
Total Square Footage of Proposed Structure/Area <u>258</u>		Square Footage of Lot <u>13,125</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>131 - L - 008 - 001</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Steven DiMillo</u> Address <u>113 Pleasant Ave</u> City, State & Zip <u>Portland 04103</u>	Telephone: <u>207 741-8675</u> <u>cell 232-8765</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>25,380</u> C of O Fee: \$ <u>N/A</u> Total Fee: \$ <u>313.80</u>
Current legal use (i.e. single family) <u>single family</u>	If vacant, what was the previous use? <u>N/A</u>	<u>310</u> <u>100</u>
Proposed Specific use: <u>single family</u>	Is property part of a subdivision? <u>No</u> If yes, please name _____	
Project description: <u>Family room addition</u>		
Contractor's name: <u>Not determined</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: <u>Steven DiMillo</u>		Telephone: <u>232-8765</u>
Mailing address: <u>113 Pleasant Ave Portland 04103</u>		

Please submit all of the information outlined on the applicable One-Click. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov/building-inspections or the Inspections Division office, room 315 City Hall or call 874-8703.

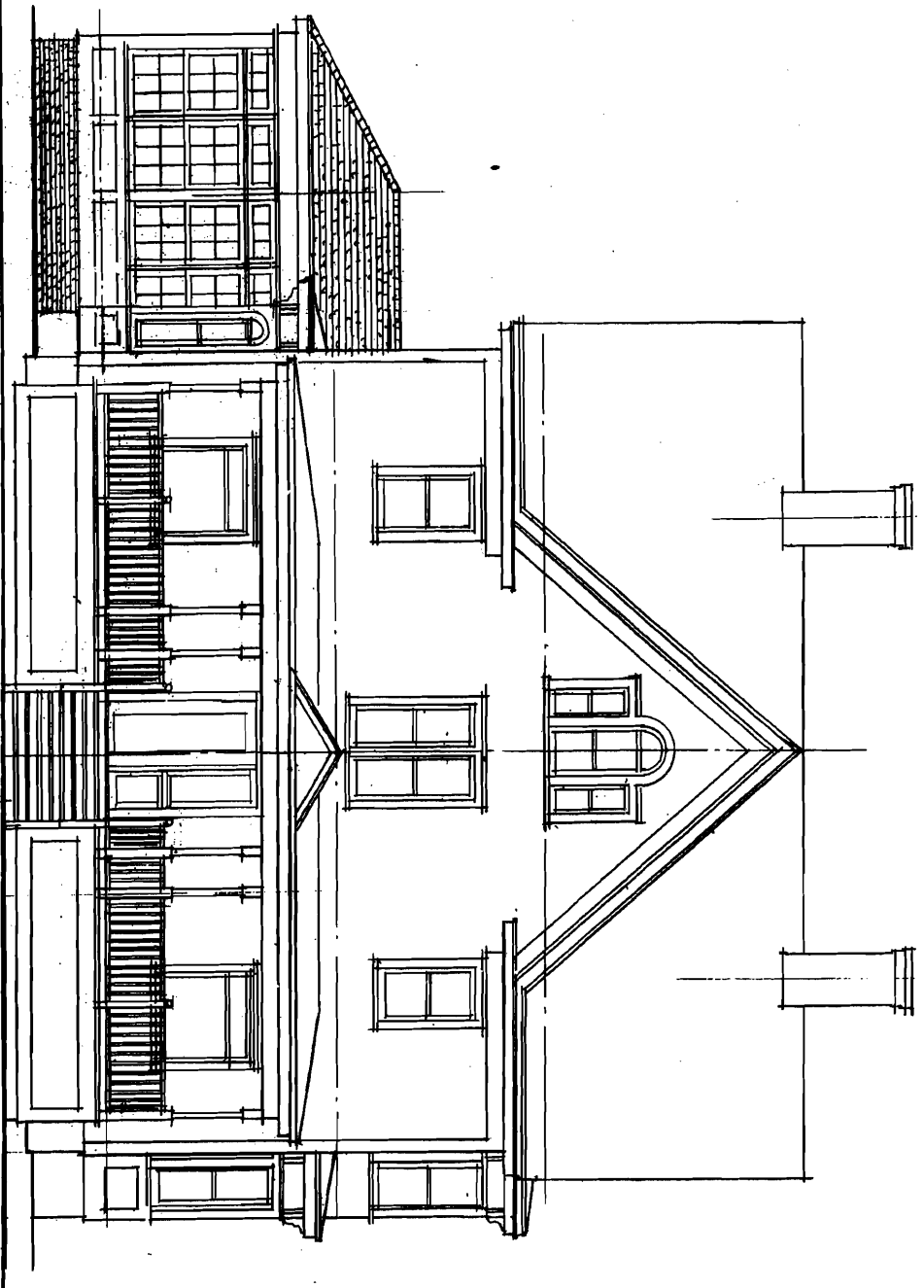
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____

Date: 10-6-09

This is not a permit; you may not commence ANY work until the permit is issued

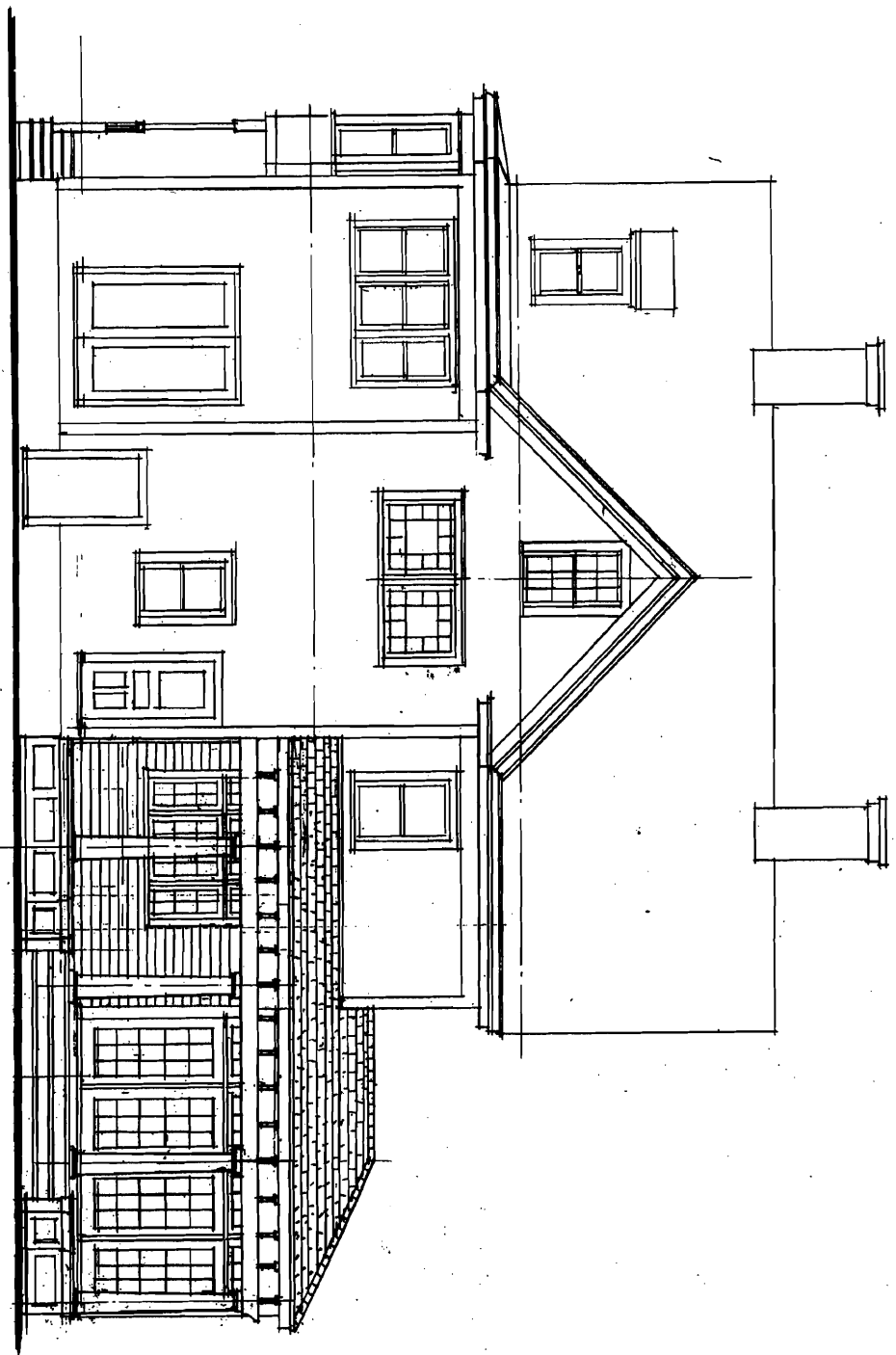
RECEIVED
OCT 6 2009
Dept. of Building Inspections
City of Portland, Maine



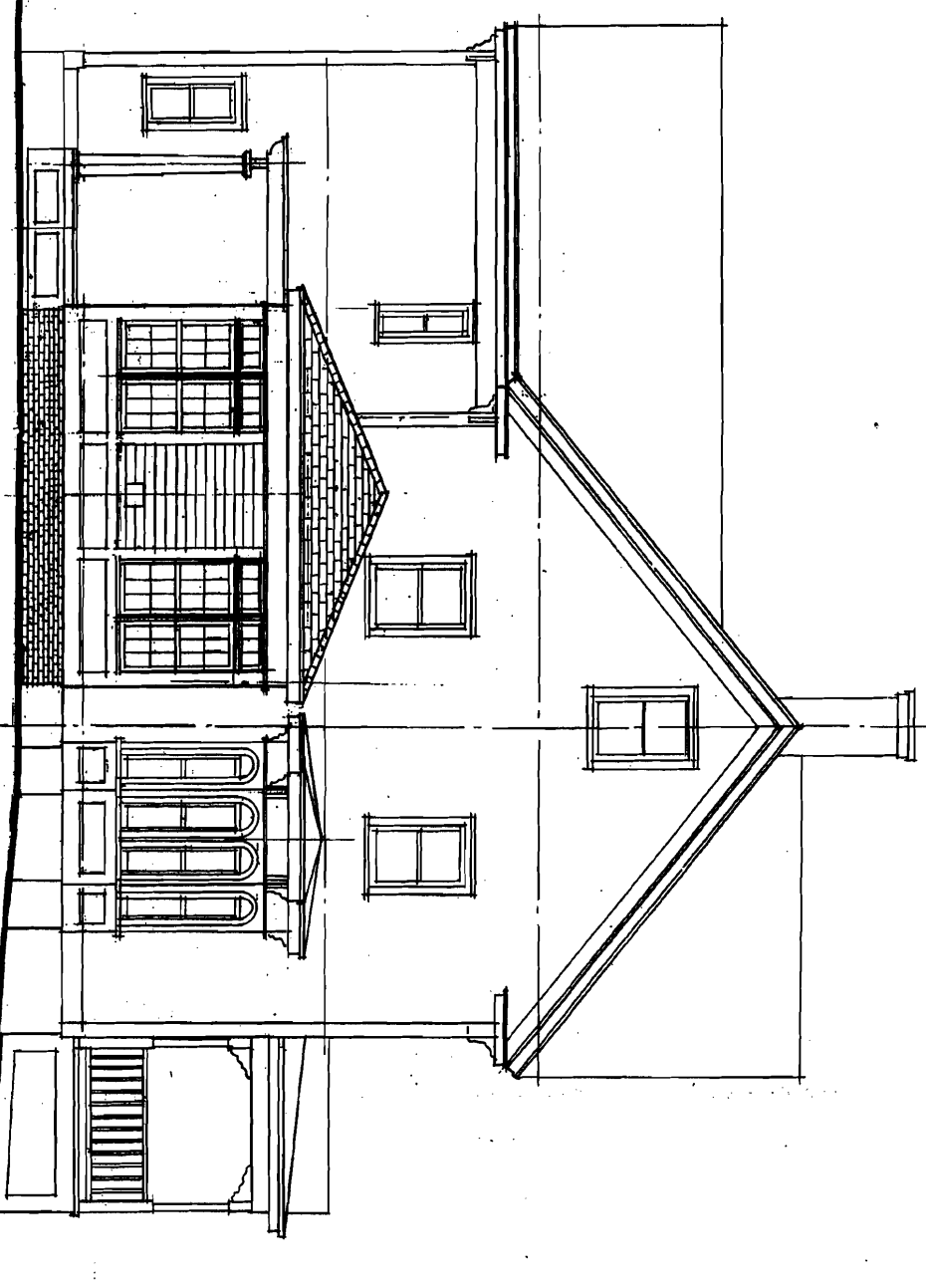
SOUTH ELEVATION
88001 BEECH AVENUE



EAST ELEVATION



NORTH ELEVATION



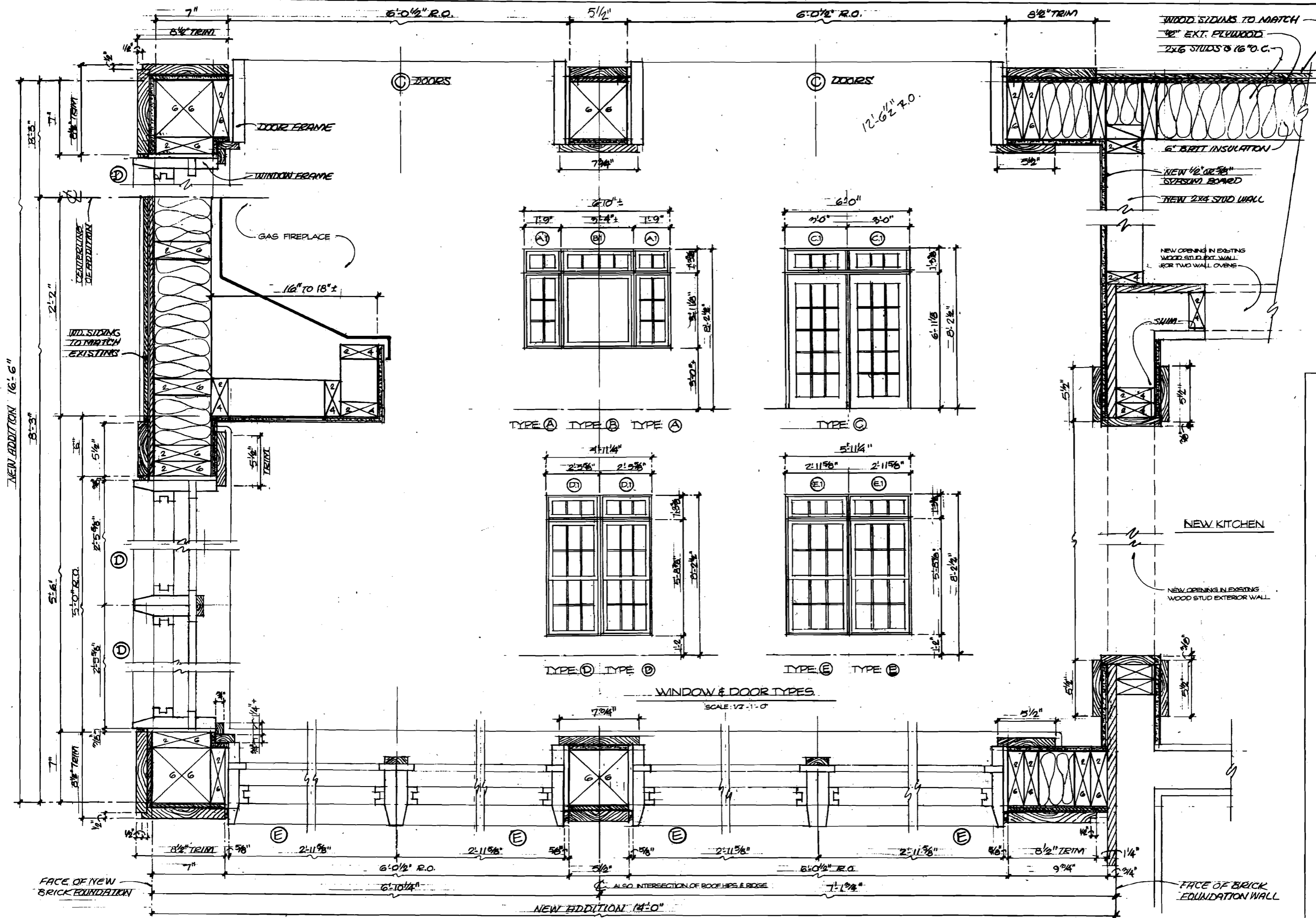
WEST ELEVATION

brigan e. duff
associates
10 beach street
portland, me 04101
tel: 207-773-9300

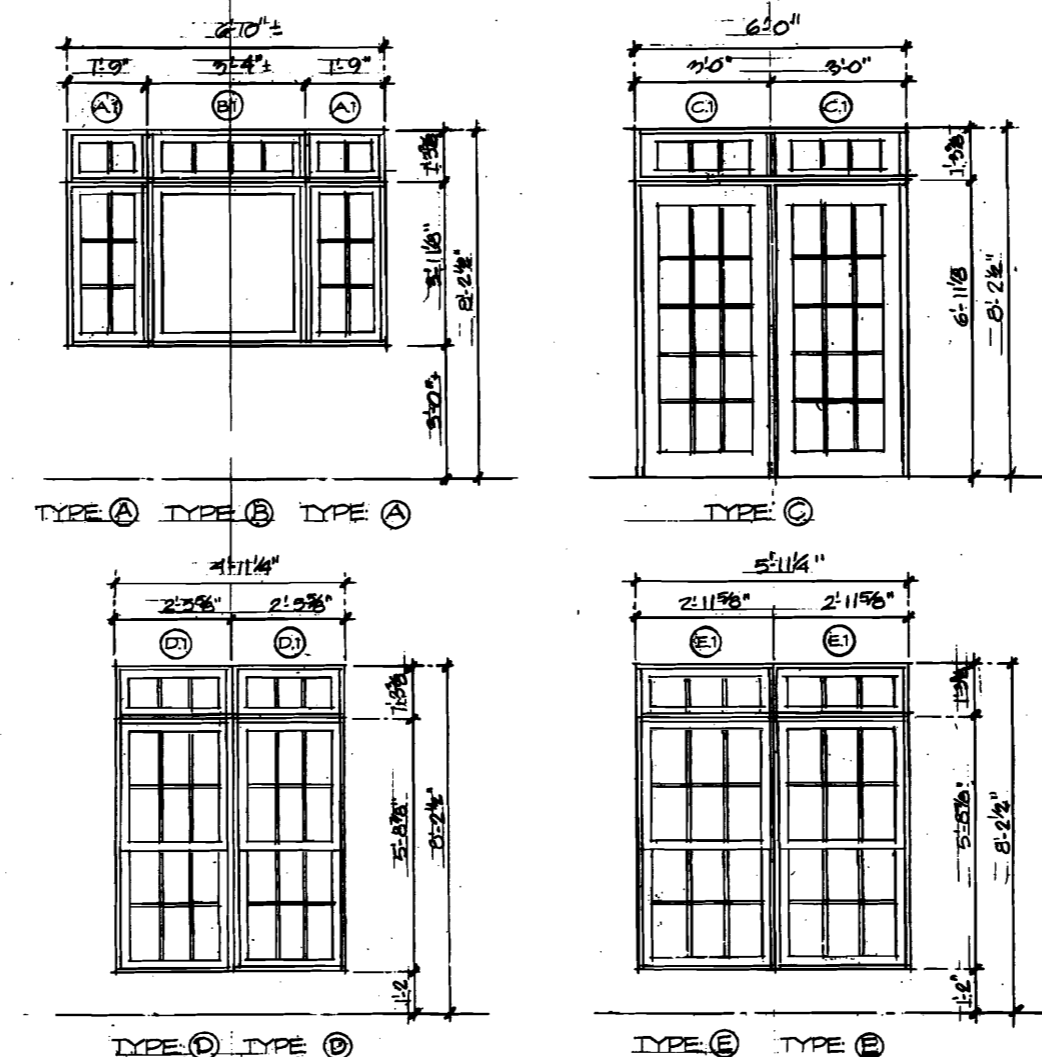
ADDITION TO RESIDENCE
FOR
Steve & Marge DiMillo
113 BEECH AVENUE
DOWNTOWN PORTLAND, MAINE 04103

date: **PROGRESS 7/24/0**
known by: **B. E. DUFFY**
scale: **1/4" = 1'-0"**
sheet title: **EXTERIOR ELEVATIONS**

sheet no.: **A-2**



WOOD SIDINGS TO MATCH
 1/2" EXT. PLYWOOD
 2x6 STUDS @ 16" O.C.



brian e. duffy
 associates.
 architecture to build b
 303 chandler's wharf
 portland, me 04101
 tel: 207-638-9500

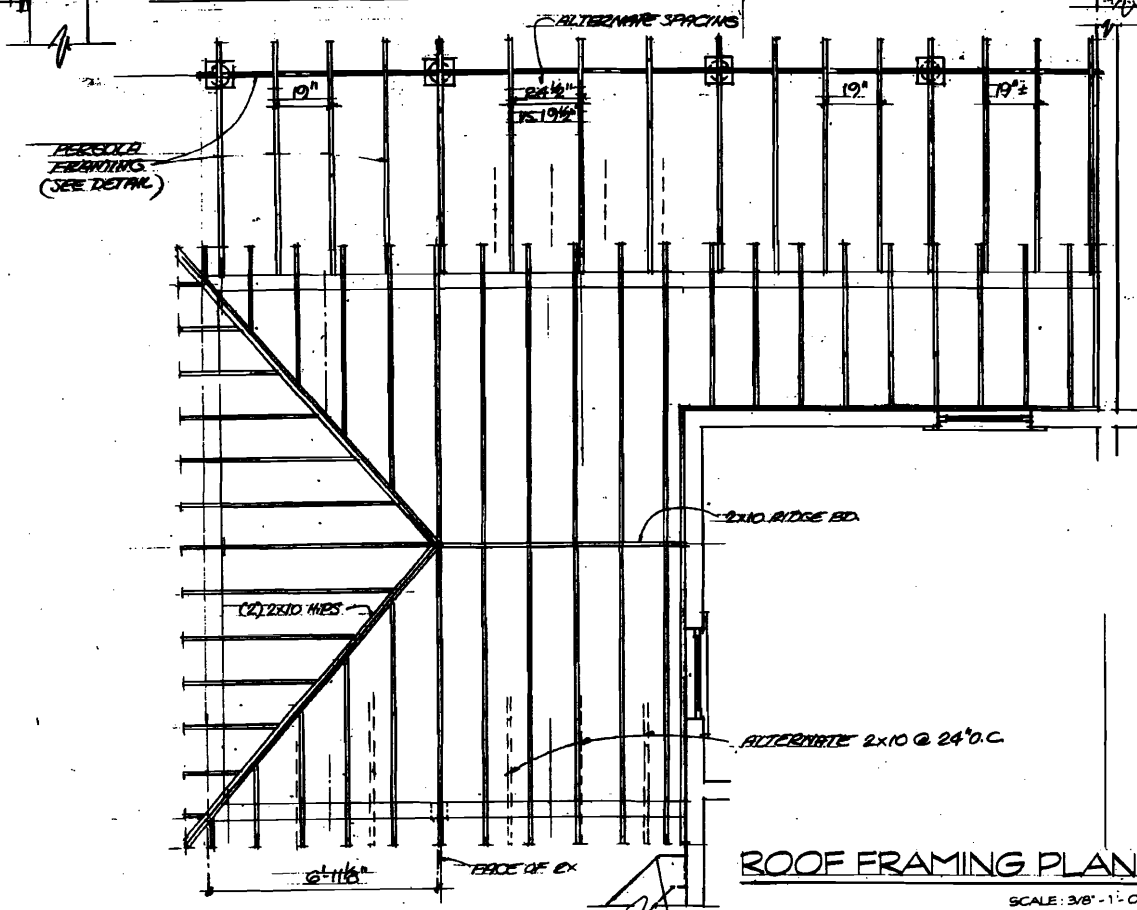
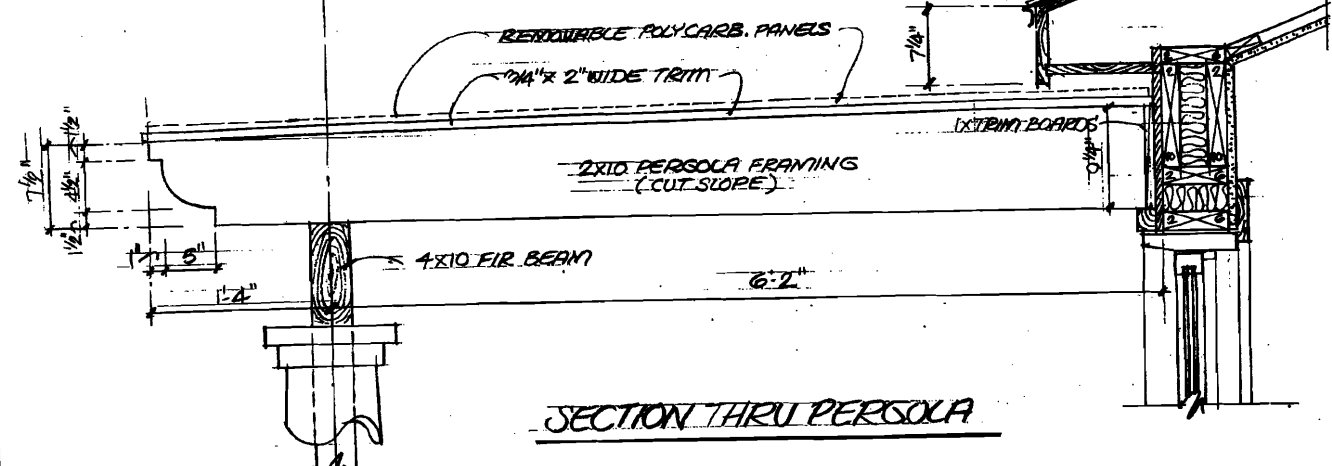
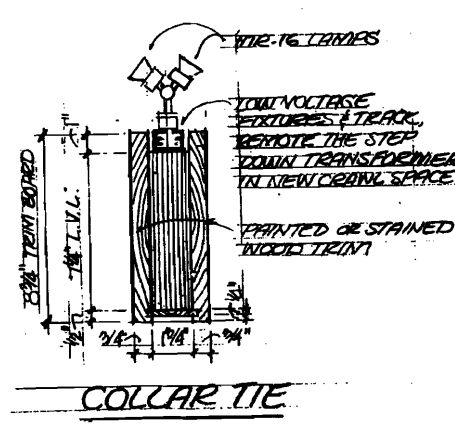
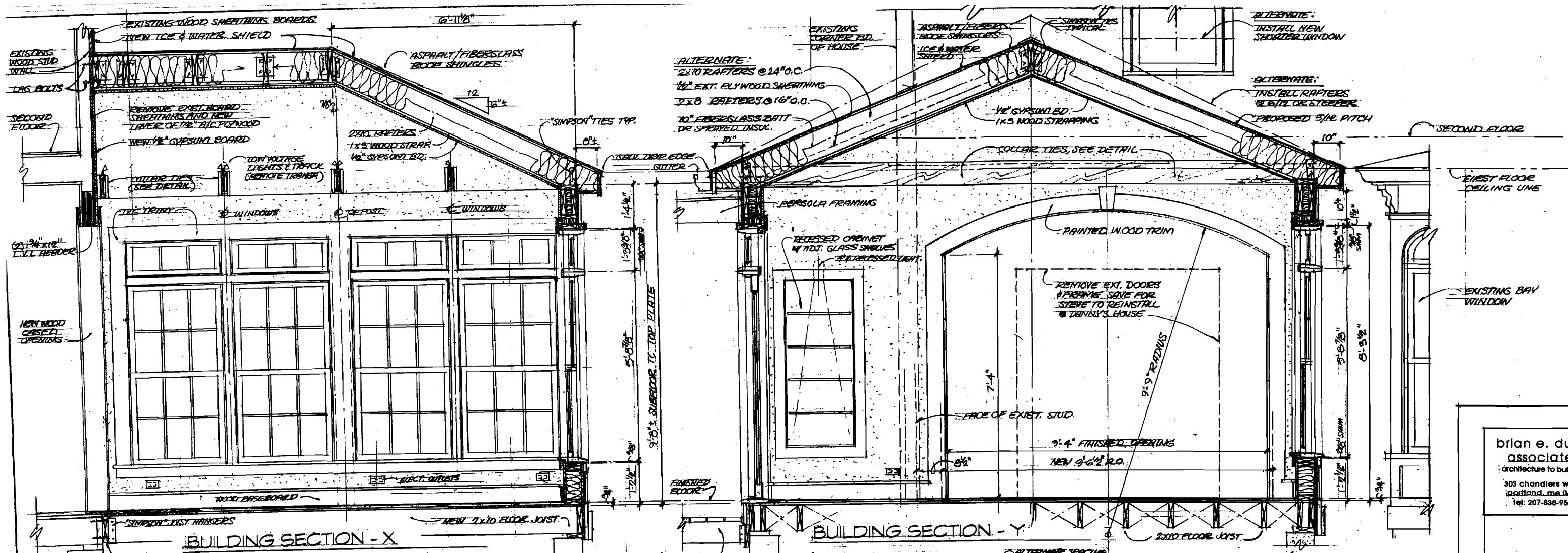
ADDITION TO RESIDENCE
 FOR
Steve & Marge DiMillo
 113 DUMASANT AVENUE
 PORTLAND, MAINE 04103

date: **PROGRESS 7-24-0**
 drawn by: **B.E. DUFFY**
 scale: **PLAN 3/4" = 1'-0"**
TYPES 1/2" = 1'-0"

sheet title:
**FLOOR PLAN
 FRAMING AND
 WINDOW TYPES**

sheet no.:

A-3



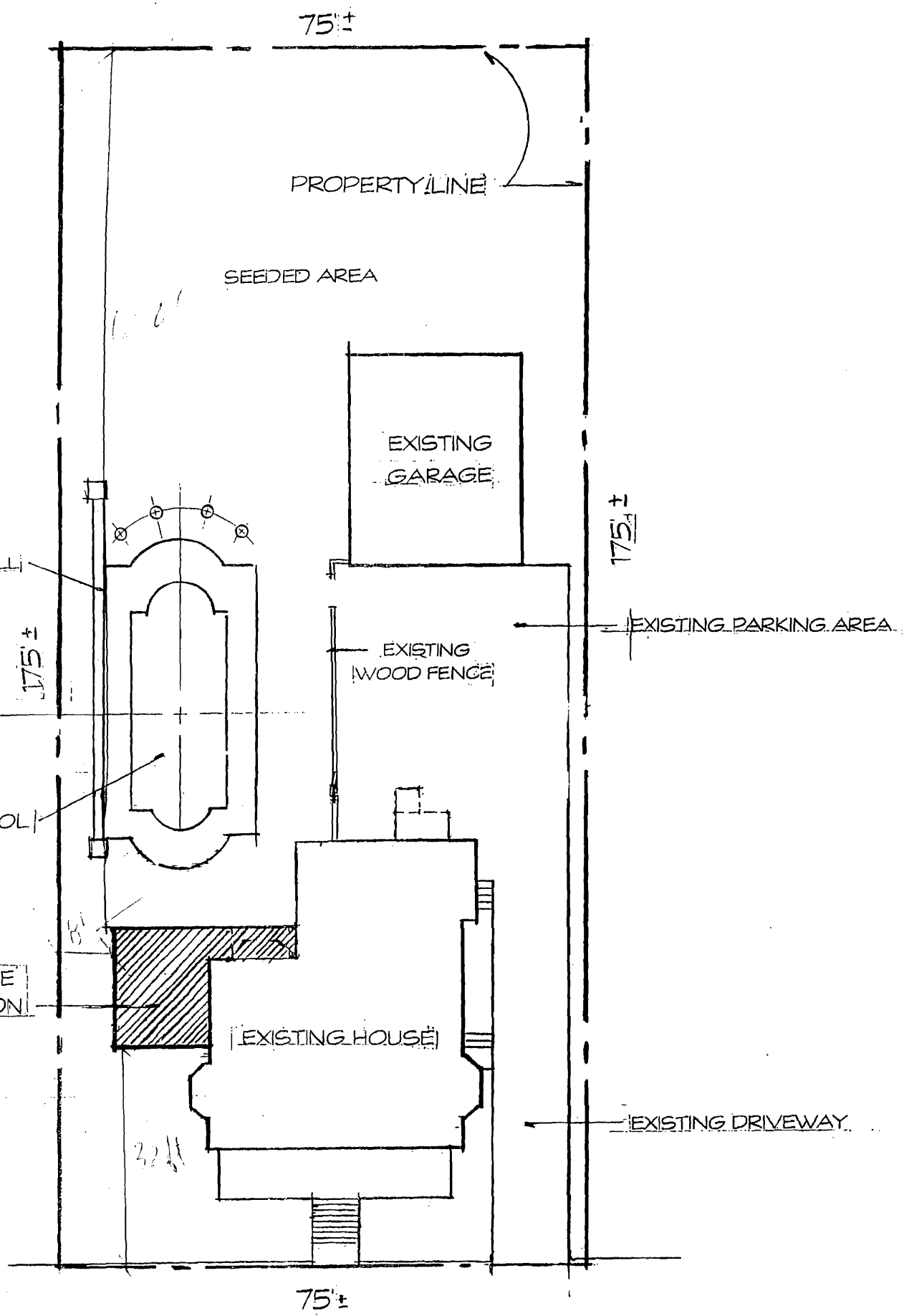
brian e. duff
associates
architecture to build by
303 chandler wharf
portland, ma 04101
tel: 207-838-9500

ADDITION TO RESIDENCE
FOR
Steve & Marge Dimittio
113 DUNBANT AVENUE
PORTLAND, MA 04101

date: **PROCESSED 7-24-**
drawn by: **B. E. DUFF**
scale: **AS NOTED**

sheet title:
**ROOF FRAMING
PLAN & BUILDING
SECTIONS**

sheet no.:
A-5



113 PLEASANT AVENUE

SITE PLAN

SCALE: 1" = 20'

ZONE: R-5

SETBACKS: 25' FRONT YARD

8' SIDE YARD

10' 20' REAR YARD

20' FRONT YARD

LOT SIZE: 13,150 SQ. FT.

? 40% MAX. COVERAGE: 3,938 SQ. FT.

EXISTING BUILDING / DECKS: 2,429 SQ. FT.

NEW ADDITION & DECKS: 550 SQ. FT.

PROPERTY LINE

EXISTING FENCE

16'-6" NEW ADDITION

11' YARD SETBACK

8'-0" SIDE SETB