

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0577	Issue Date: MAY 24 2004 <b>PERMIT ISSUED</b>	CBL: 131 L008001
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Location of Construction: 113 Pleasant Ave	Owner Name: Dimillo Steven A &	Owner Address: 113 Pleasant Ave	Phone: 2077975484
Business Name:	Contractor Name: The Pool Shed	Contractor Address: Po Box 124: Rt. 35 W. Buxton	Phone: 2077975484
Lessee/Buyer's Name	Phone:	Permit Type: Swimming Pools	Zone: R-5
Past Use: Single Family	Proposed Use: Single Family w/14' x 28' inground pool, 650 sf concrete decking	Permit Fee: 255	Cost of Work: 251,350 \$0.00
Proposed Project Description: install 14' x 28' inground pool w/650 sf concrete decking		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>JIA</i>	INSPECTION: Use Group: <i>J</i> Type: <i>Pool</i> <i>BOCA 1999</i> Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 05/11/2004	<b>Zoning Approval</b>		
		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/20/04</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/20/04</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number 040577 ISSUED

MAY 24 2004

CITY OF PORTLAND

This is to certify that Dimillo Steven A &/The Poolshed

has permission to install 14' x 28' inground pool 650 sf concrete decking

at 113 Pleasant Ave

131 L008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

DepartmentName

Handwritten signature and date 5/20/04

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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<b>Business Name:</b>	<b>Contractor Name:</b> The Pool Shed	<b>Contractor Address:</b> Po Box 124: Rt. 35 W. Buxton	<b>Phone</b> (207) 797-5484
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Swimming Pools	

Single Family w/14' x 28' inground pool, 650 sf concrete decking	install 1
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 05/20/2004  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/20/2004  
**Note:**      **Ok to Issue:**

1) As discussed during the review process, please see attached section 421.10.1.9.9.1 regarding alarms. An alarm must be placed on all doors accessing the enclosed pool area including the garage.

Give to owner.

**421.9.2 Construction:** Enclosure fences shall be constructed as to prohibit the passage of a sphere larger than 4 inches (102 mm) in diameter through any opening or under the fence. Fences shall be designed to withstand a horizontal concentrated load of 200 pounds (896 N) applied on a 1-square-foot (0.093 m<sup>2</sup>) area at any point of the fence.

**421.9.3 Alternative devices:** A natural barrier, pool cover or other protective device approved by the governing body shall be an acceptable enclosure as long as the degree of protection afforded by the substituted device or structure is not less than the protection afforded by the enclosure, gate and latch described herein.

**421.10 Enclosures for private swimming pools, spas and hot tubs:** Private swimming pools, spas and hot tubs shall be enclosed in accordance with Sections 421.10.1 through 421.10.4 or by other approved barriers.

**421.10.1 Outdoor private swimming pool:** An outdoor private swimming pool, including an in-ground, above-ground or on-ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following.

1. The top of the barrier shall be at least 48 inches (1219 mm) above finished ground level measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between finished ground level and the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above finished ground level, such as an above-ground pool, the barrier shall be at finished ground level, such as the pool structure, or shall be mounted on top of the pool structure. Where the barrier is mounted on the pool structure, the opening between the top surface of the pool frame and the bottom of the barrier shall not allow passage of a 4-inch (102 mm) diameter sphere.
2. Openings in the barrier shall not allow passage of a 4-inch (102 mm) diameter sphere.
3. Solid barriers shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1<sup>3</sup>/<sub>4</sub> inches (44 mm) in width. Decorative cutouts shall not exceed 1<sup>3</sup>/<sub>4</sub> inches (44 mm) in width.
5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Decorative cutouts shall not exceed 1<sup>3</sup>/<sub>4</sub> inches (44 mm) in width.
6. Maximum mesh size for chain link fences shall be a 1<sup>1</sup>/<sub>4</sub>-inch (32 mm) square unless the fence is provided with slats fastened at the top or the bottom which

reduce the openings to not more than 1<sup>3</sup>/<sub>4</sub> inches (44 mm).

7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall be not more than 1<sup>3</sup>/<sub>4</sub> inches (44 mm).
8. Access gates shall comply with the requirements of items 1 through 7 of Section 421.10.1, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outwards away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from the bottom of the gate: (a) the release mechanism shall be located on the pool side of the gate at least 3 inches (76 mm) below the top of the gate; and (b) the gate and barrier shall not have an opening greater than 1/2 inch (13 mm) within 18 inches (457 mm) of the release mechanism.
9. Where a wall of a dwelling unit serves as part of the barrier and contains a door that provides direct access to the pool, one of the following shall apply:
  - 9.1 All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The audible warning shall commence not more than 7 seconds after the door and door screen, if present, are opened and shall sound continuously for a minimum of 30 seconds. The alarm shall have a minimum sound pressure rating of 85 dBA at 10 feet (3048 mm) and the sound of the alarm shall be distinctive from other household sounds such as smoke alarms, telephones and door bells. The alarm shall automatically reset under all conditions. The alarm shall be equipped with manual means, such as touchpads or switches, to deactivate temporarily the alarm for a single opening from either direction. Such deactivation shall last for not more than 15 seconds. The deactivation touchpads or switches shall be located at least 54 inches (1372 mm) above the threshold of the door.
  - 9.2 All doors with direct access to the pool through that wall shall be equipped with a self-closing and self-latching device with the release mechanism located a minimum of 54 inches (1372 mm) above the floor. Swinging doors shall open away from the pool area.
  - 9.3 The pool shall be equipped with a power safety cover. Where in a closed position, the cover shall be capable of holding a weight of 485 pounds (2157 N), shall not have any openings that allow passage of a 4<sup>1</sup>/<sub>2</sub>-inch (114 mm) sphere and shall incorporate a system to drain standing water that collects on the cover. The cover control switch shall be permanently in-

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04-0577

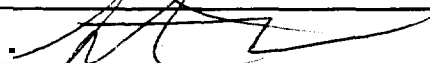
# Pool Installation/Construction Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

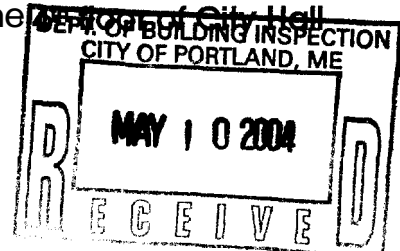
Location/Address of Construction: <u>113 Pleasant Avenue</u>		
Total Square Footage of Proposed Structure <u>392</u>	Square Footage of Lot <u>13,125</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>131</u> <u>5</u> <u>8</u>	Owner: <u>Di Mille, Steven A</u> <u>+Margarette</u>	Telephone: <u>774-8675</u> <del>774-8675</del>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	cost Of Work: \$ <u>25,350.00</u> Fee: \$ <u>185.00</u>
<u>650 Sq Ft. concrete decking</u>		
Contractor's name, address & telephone: <u>The Pool Shed</u>		
Whom should we contact when the permit is ready: <u>Eric Surrrette</u>		
Mailing address: <u>PO Box 124 Route 35</u> <u>West Buxton, ME 04093</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition if a permit for work described in this application is issued. I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>5-7-04</u>
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This is NOT a permit; you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the



Di Millo's Floating Restaurant  
25 Long Wharf  
Portland, Maine 04101  
Tel - 207/772-2216 Fax - 207/772-1081

**\*FAX COVER\***

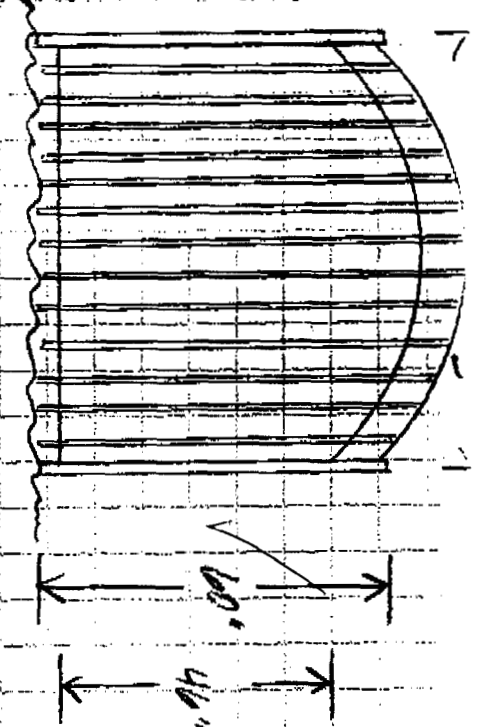
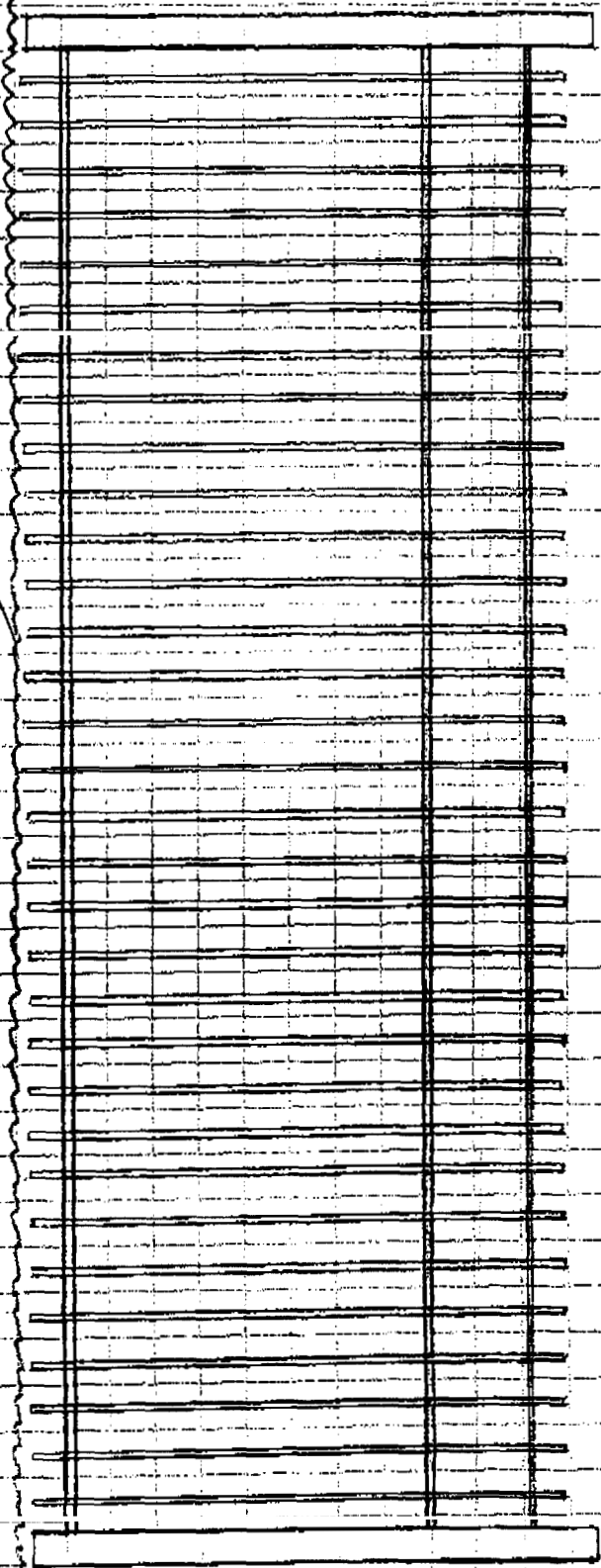
TO: Tammy Munson      DATE: 5-17-04  
FROM: Steve DiMillo      NO. PAGES/INC. COVER 2  
RE: Fence/Gate Detail

**MESSAGE**

Tammy,  
Sorry for the delay. I can be reached  
on my cell phone today.  
Thanks,  
Steve

Call 282-8765

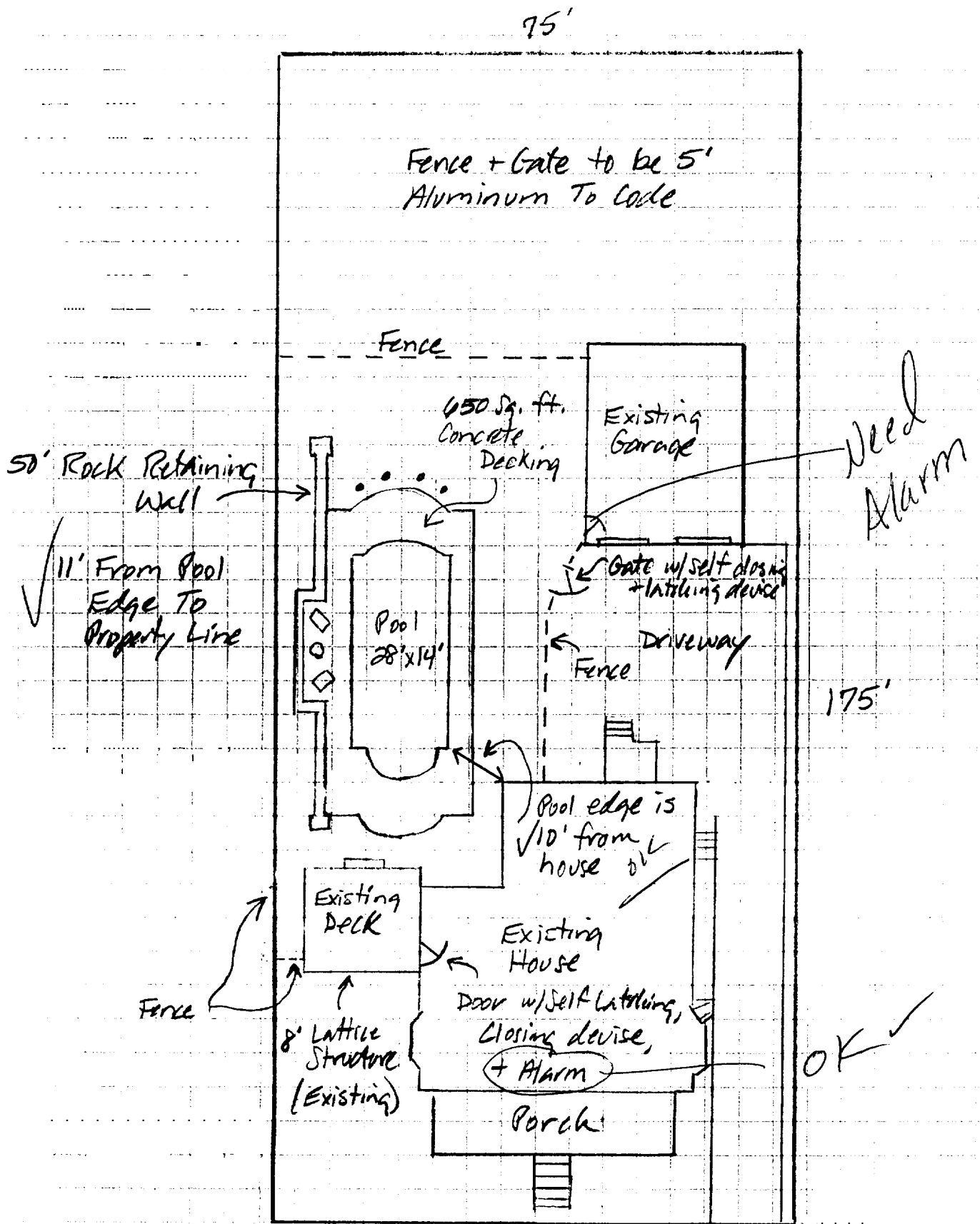
- Rider from Access Gate
- Space Between Riser's 3 3/4"
- Gate opens away from Post
- Gate will be Equipped with Self-Closing and Self-Latching Hardware
- The Release Mechanism will be Located 5" From The Ground



- Space Between Riser's 3 3/4"
- Dull paint Black Ornamental Aluminum Fence
- 2 x 2" Posts Cemented Behind Gate - 8' Length

Steven + Margaret Dimills  
113 Clearant Ave  
04103





1/4" = 5' Scale

Steven + Margaret DiMillo  
 113 Pleasant Ave  
 Portland, ME 04103

# MORTGAGE LOAN INSPECTION PLAN

I HEREBY STATE TO  
VISION TITLE & CLOSING  
THE LENDER  
AND ITS TITLE INSURER

**THE BUILDING SETBACKS ARE**  
IN CONFORMITY WITH THE  
TOWN ZONING REQUIREMENTS  
THE DWELLING DOES NOT FALL  
WITHIN THE SPECIAL FLOOD  
HAZARD AREA AS DELINIATED BY  
F.E.M.A.

THE LAND DOES NOT FALL  
WITHIN THE SPECIAL FLOOD  
HAZARD AREA AS DELINIATED  
BY F.E.M.A. ON COMMUNITY/  
PANEL # 230051 0007C

## LOCUS ADDRESS

PLEASANT AVENUE  
PORTLAND, MAINE

OWNERS: STEVEN & MARGARET  
DiMILLO

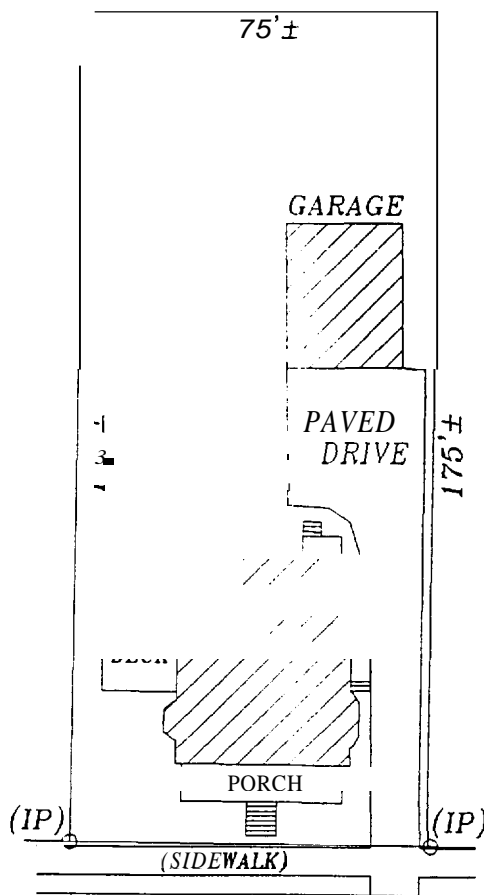
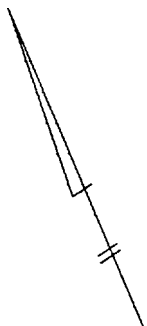
NORTHEASTERN LAND  
SURVEYING  
**134 SCHOOL STREET**  
GORHAM, MAINE 04038  
PHONE (207) 839-2090  
FAX (207) 839-6361

JOB NUMBER 158-51

INSPECTION DATE

10-05-01

SCALE: 1"=40'



DWELLING IS A  
2.25 STORY WOOD  
HOUSE ON A  
BRICK FOUNDATION

PLEASANT AVENUE  
(BIT.)

THIS IS NOT A BOUNDARY SURVEY  
AND IS NOT FOR RECORDING  
PURPOSES. THIS PLAN MAY NOT  
REVEAL CONFLICTS WITH ABUTTING  
DEEDS. THE PROPERTY IS SUBJECT TO  
ALL RIGHTS, COVENANTS, RESTRICTIONS,  
AND EASEMENTS OF RECORD.

**REFERENCES**

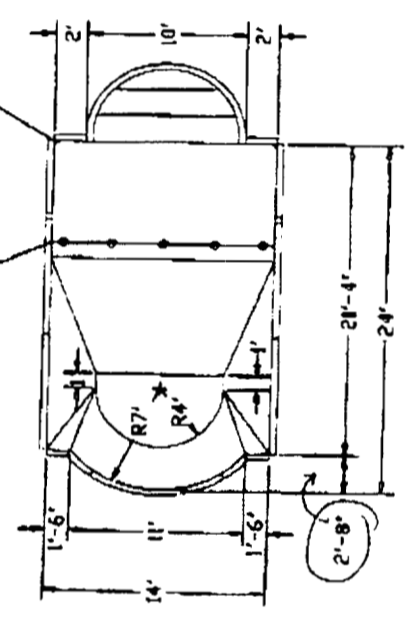
PLAN BOOK	_____	PAGE	_____	LOT	_____
DEED BOOK	<u>8134</u>	PAGE	<u>312</u>		
COUNTY	<u>CUMBERWND</u>				

DRAWN BY TJT

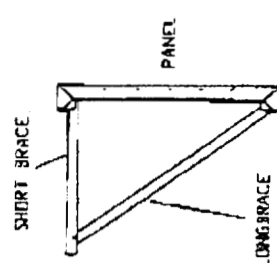
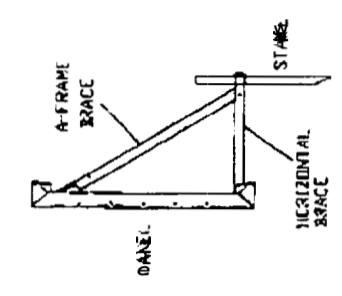
*AttN Steve Dimillo*

MANDATORY ROPE AND  
FLOAT 12 INCHES FROM  
SLOPE CHANGE

6' RADIUS  
TYPICAL  
(4) PLACES

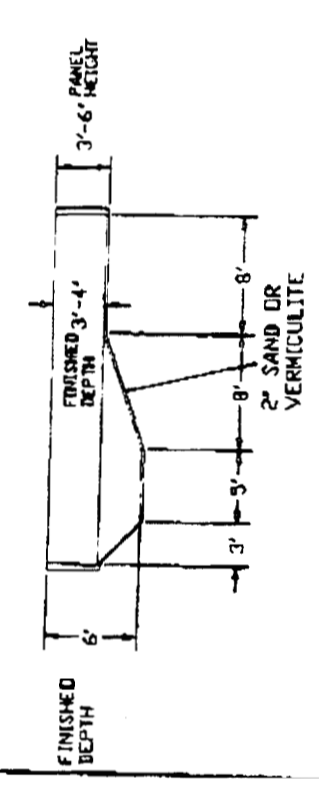


A-FRAME DETAIL DECK SUPPORT DETAIL



**NOTES:**

- 1) THIS IS A TYPE '0' POOL. DIVING EQUIPMENT IS NOT ALLOWED ON THIS POOL.
- 2) EACH BRACE WILL BE MOUNDED WITH A MINIMUM OF 1 FOOT OF CONCRETE.
- 3) 'NO DIVING' LABELS MUST BE INSTALLED AROUND THE POOL IN ACCORDANCE TO LINER MANUFACTURERS INSTRUCTIONS.



**WARNING!**

SWIMMING POOLS ARE DANGEROUS WHEN USED IMPROPERLY. CONSULT YOUR DEALER FOR SAFETY INFORMATION ON THE SAFE USE OF SWIMMING POOLS. IT IS THE RESPONSIBILITY OF TOWN OFFICIALS, BUILDERS AND HOMEOWNERS TO FOLLOW ALL SAFETY RECOMMENDATIONS OF N.S.P.I., ALL LOCAL ORDINANCES AND EQUIPMENT MANUFACTURERS.

**INTERPOOL**

14' X 24' PATRICIAN WITH  
10' ROMAN FIBERGLASS SIFF

DATE: 10/15/02  
SCALE: NONE  
DRAWN BY: J.F.  
ACADREF: SBPT11424

## POOLS PERMIT APPLICATION CHECKLIST

The following submissions are required at the time of application. Incomplete applications will be held until missing information is submitted, at which time the approval process will begin.

- EIA 1 copy of the deed if you have owned the property less than 365 days.
- ✓ 1 copy of a legible site/plot plan showing specific locations and dimensions of all existing and proposed structures, their distances from property lines, your property lines, any easements or rights of way, and all existing and proposed walkways. The plan must show all proposed additions/alterations/accessory structures with dimensions and specific locations.
- ✓ 1 copy of the building/construction plan: If your plans are larger than 11" x 17" we will need one copy on paper no larger than 11" x 17" of all submissions. We cannot accept applications without the reduced submission. Electronic plans may be submitted in place of the 11" x 17" copies, and must be in the PDF format. Structural drawings on how the pool will be built or assembled must be included; details from the manufacturer are best.
- ✓ The proposed construction area must be staked out for a site plan visit to confirm dimensions on the plot plan. Property pins in relation to proposed construction must be viewable if proposed setback is within 1' of minimum setback. If no property pins are viewable, it is the responsibility of the owner to secure survey services to ensure verification of property line.

### A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- ✓ Cross-Sections w/Framing details of all decks, stairs, gates, doorways. Include how any decking is connected to the pool or other structures,
- ✓ All walkways must be shown in detail as stated in 421.5.4 and barriers (fencing, gates, latches) 421.9, 421.10
- ✓ Stair and handrail details
- ✓ Ladder protection and/or fencing

All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.

### **PERMIT HOLDERS ARE REQUIRED TO ARRANGE FOR INSPECTIONS AT THE FOLLOWING TIMES:**

- \_\_\_\_\_ Pre-installation meeting in Inspections Office
- \_\_\_\_\_ Pool location inspection prior to start
- \_\_\_\_\_ Pool electrical and grounding prior to backfill or covering any conductors, including conduit, wires, junction boxes, etc.
- \_\_\_\_\_ Final Electrical Inspection
- \_\_\_\_\_ Final Occupancy Inspection