

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMITS

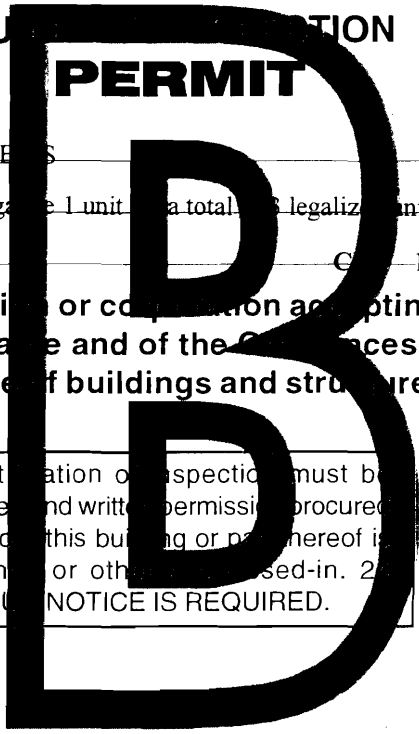
PERMIT

Permit Number: 081383

Please Read Application And Notes, If Any, Attached

This is to certify that RODERICK VIRGINIA E HE
has permission to 3 Legal residential units - Legal 1 unit - a total of 3 legaliz units
AT 109 PLEASANT AVE 131 L006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.
PERMIT ISSUED

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. Cathy Cross
Health Dept.
Appeal Board
Other CITY OF PORTLAND
Department Name

Chf. I PA 12/3/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1383	Issue Date: 12/3/08	CBL: 131 L006001
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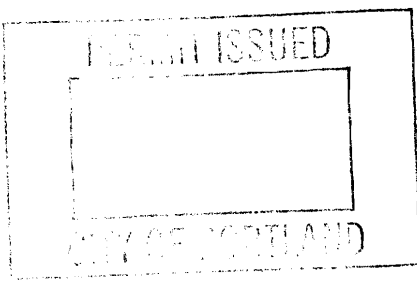
Location of Construction: 109 PLEASANT AVE	Owner Name: RODERICK VIRGINIA E HEIRS	Owner Address: 109 PLEASANT AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Legalization of Non-Conforming Units	Zone: R5

Past Use: Residential - 2 Legal units 1 non legal unit	Proposed Use: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units	Permit Fee: \$375.00	Cost of Work: \$375.00	CEO District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: R-2 Type: SB IBC-2003	

Proposed Project Description: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units	Signature: <i>Cora C...</i>	Signature: <i>CL 12/3/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 10/29/2008	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



CITY OF PORTLAND

APPLICATION FOR LEGALIZATION OF NONCONFORMING DWELLING UNITS Section 14-391 – In effect March 24, 2004

Location/Address of Legalization: 109 PLEASANT AVE

Tax Assessor's Chart, Block & Lot	Owner: <u>VIRGINIA E. RODERICK ESTATE</u>	Telephone:
Chart# Block# Lot#	Address: <u>13 ROCKWOOD TERRACE</u>	<u>207-797-9673</u>
<u>131</u> <u>L</u> <u>6</u>	<u>FALMOUTH ME 04105</u>	<u>(home)</u>

Contact name, address & telephone if different than above: REBECCA RICKER
207-838-5322 (cell)

Cost of Work: \$ UNKNOWN
Fee: \$ 300.00

\$300 per legalized unit & \$75 per C of O

Current # of legal D.U. 2 Requested # of units
To be legalized: 1 Total bldg. units: 3

Attach evidence that each requested unit to be legalized existed as of 4/1/95:
List evidence that you are submitting:
LETTER DATED 1/31/84 FROM CITY OF PORTLAND RE: HOUSING INSPECTIONS
SHOWS THE TOTAL # OF DWELLING UNITS FOR 107-109 AS 6.

Attach evidence that the current owner/applicant neither constructed nor established the non-conforming dwelling units to be legalized: List evidence that you are submitting:
DEATH CERTIFICATE FOR PREVIOUS OWNER VIRGINIA E. RODERICK 8/3/07
(ESTATE FEDERAL ID#: 26-6071915 NO ATTACHMENT)

I hereby certify that I am the Owner of record of the above property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Rebecca L Ricker Date: 10/24/08

This is NOT a permit, you may not commence ANY work until the permit is issued.

October 24, 2008

City of Portland
Department of Planning & Development
389 Congress Street
Portland, ME 04101

Re: 107/109 Pleasant Avenue, Portland, ME 04103
Application for Legalization of Nonconforming Dwelling Units

Although this is one physical building, each side was purchased separately at different times by my parents, Donald and Virginia Roderick, and legally remains two parcels.


My father died in 1988 and my mother died last year on 8/3/07. Many years ago, my father made the 3rd floors of both 107 and 109 Pleasant Ave. into separate apartments. It was not until my siblings and I recently looked into selling this building that we discovered that those 3rd floor apartments were nonconforming units.

The City of Portland has assessed this property as two three-family parcels for some time.

As a personal representative of my mother's estate and one of the new owners, I am submitting this application and attached documents for your review. I have also enclosed documentation for my appointment as personal representative as well as a check for \$600.00 to cover fees for the two units.

Please let me know if I have omitted anything or can answer any questions.

Sincerely,



Rebecca L. Ricker
Personal Representative
Virginia E. Roderick Estate
13 Rockwood Terrace
Falmouth, ME 04105
207-838-5322



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

LEGALIZATION OF NONCONFORMING DWELLING UNITS FOR OFFICE USE ONLY

Address & CBL: 109 Pleasant Ave - 131-L-006

Notices to owners of properties situated within 300 feet sent on: gave to Gough 10/31/07; sent 11/12/07

City Housing Ordinance compliance given on: ^{10/31/07 to Mike} gave Memo received: 11/17/07 approved w condition

City NFPA compliance given on: 10/31/07 to Captain Goss received: 11/6/07 approved w condition

Received any letters within 10 days from notices sent? no

Unit(s) existed prior to April 1, 1995? inspection sheet - 11/23/84 - 3 units existed
inspection letter - 1/31/84 - 6 units between 107 & 109 Pleasant

Unit(s) shown to be established by different owner? death certificate of Virginia Radnick 10/13/07
personal representative document 10/12/07

Site plan included: yes

Floor plans included? yes

Is ZBA action required? no

**IMPORTANT NOTICE FROM CITY OF PORTLAND
ZONING DIVISION
TO RESIDENTS AND PROPERTY OWNERS
IN THE VICINITY OF 107 PLEASANT AVENUE**

Virginia Roderick Heirs, owners of the property located at 107 Pleasant Avenue, has submitted an application to legalize one (1) existing non-conforming dwelling unit for a total of three (3) dwelling units within this building. The legalization may be permitted if the applicant can meet the requirements allowed under Section 14-391 of the Zoning Ordinance.

If you have any objection to the above permit application, you must submit your opposition in writing within ten (10) days of this notice to: City of Portland Zoning Administration City Hall - Room 315, 389 Congress Street Portland, Maine 04101

FOR ADDITIONAL INFORMATION

For more information you may contact Marge Schmuckal, Zoning Administrator, at (207) 874-3333. Office hours are 8:00am to 4:00pm weekdays.

No objection as long as provision made for garaging vehicles.

Ellen Jones

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1383	Date Applied For: 10/29/2008	CBL: 131 L006001
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Location of Construction: 109 PLEASANT AVE	Owner Name: RODERICK VIRGINIA E HEIRS	Owner Address: 109 PLEASANT AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Legalization of Non-Conforming Units	

Proposed Use: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units	Proposed Project Description: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/01/2008
Note: **Ok to Issue:**

- 1) With the issuance of this permit and the certificate of occupancy, this property shall remain be a three family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 12/03/2008
Note: **Ok to Issue:**

- 1) 1. Inspection violations noted on 11/06/2008 must be corrected per violation list. See attached sht.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 12/01/2008
Note: **Ok to Issue:**

- 1) Dryer vent penetrates rear exit stair. Remove or box in with 5/8 inch Type-X sheetrock.
- 2) Seal all through penetrations.
- 3) Fire seperation between 107 and 109 must be maintained.
- 4) Combustable storage is not permitted in exits. Anything that has the potential to interfere with the use of the exit is not permitted.
- 5) Smoke detectors are required with in dwelling units on every every story and immediately outside of every sleeping area. They will soon be required with in all sleeping rooms.
- 6) All smoke detectors must be AC powered. All new installations must but be interconnected with in the unit and battery back up.
- 7) All wall mounted smoke detectors must be located between 4 and 12 inches from the ceilings, or ceiling mounted more than 4 inches from the wall. They may not be with in 36 inches of a door to a bathroom. They should not be located on an exterior wall or the ceiling directly under a roof.
- 8) 1-hour fire door assemblies required between exit stairs and units, basement, or storage. If the owner paints the doors w/ an approved intumessent paint and adds self closing hinges they may use option 2, 3 or 4 per 101-31.2.2.1.3 (2006 ed).

Comments:

10/31/2008-amachado: Spoke to Rebecca Ricker. Need floor plans for the second & third floors.

10/31/2008-amachado: Application is complete. Gave notice to neighbors form to Gayle. Gave life safety sheet to Captain Cass. Gave Mike Menario the housing sheet.

11/6/2008-amachado: Received life safety sheet back - approved w/ conditions.

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
 Portland, Maine 04101

Inspection Violations

Owner/Manager RODERICK VIRGINIA E HEIRS		Inspector Mike Menario	Inspection Date 11/6/2008
Location 109 PLEASANT AVE	CBL 131 L006001	Status	Inspection Type Building Permit-Legalize Nonconf

Code	Int/Ext	Floor	Unit No.	Area	Compliance Date
1) 110.26 (B)	Interior			Basement	
Violation: NEC 2005/NFPA 70					
Notes: 1. Need house panel 2. Clean up wiring and label panel					
2) 6-108.e	Interior			Basement	
Violation: Chimneys, flues and vent.					
Notes: 1. Chimney cleaned and checked 2. Fix drier vents					
3) 6-109.d	Interior			Basement	
Violation: Disposal of rubbish, ashes, garbage and waste					
Notes: 1. Removal of paints , trash , etc.					
4) 6-111.1	Interior			Basement	
Violation: Plumbing standards/Basic facilities.					
Notes: 1. Plumbing needs to be corrected and secured 2. Feed for oil line needs to be secured and protected 3. Cap old sewer line					
5) 6-109/5.2	Interior			Bulkhead	
Violation: Interior floors, walls, ceilings, doors.					
Notes: 1. Fix stairs to basement 2. Replace or repair stairs and bulkhead door					
6) 6-108.e	Interior	2nd		Stairways	
Violation: Chimneys, flues and vent.					
Notes: 1. Back stairway need to box in dryer vent with 5/8 sheetrock and hard pipe vent					
7) 6-108.b	Interior	3rd		Stairways	
Violation: Interior floors, walls, ceilings and doors					
Notes: 1. Fire rate front stairway with 5/8 sheetrock					
8) 110.26 (B)	Interior	3rd		Kitchen	
Violation: NEC 2005/NFPA 70					
Notes: 1. Add outlet on counter					

Comments:

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date



511110131/08

CITY OF PORTLAND

**NFPA LIFE SAFETY CODE – FIRE PREVENTION CODE
DWELLING UNIT COMPLIANCE**

Section 14-391 of the Land Use Ordinance allows illegal nonconforming dwelling units to become legalized thru a given process. Part of this process is that the dwelling unit(s) that are requested to be legalized must comply or be able to comply with the NFPA Life Safety Code – Fire Prevention Code PRIOR to issuing the requested permit.

Please return this form to the Zoning Administrator (Marge Schmuckal) as to compliance or the ability to comply with these codes.

Location: 109 Pleasant Ave 131-L-006

Owner: Virginia E. Roderick heirs

Address of Owner: 13 Rockwood Terrace, Falmouth 04105 Telephone: 797-9673

Applicant information if different than above: Rebecca Rider 838-5322

Current number of legal units: two (2)

Number of units to be legalized: one (1)

total: three (3)

Comments of approval or disapproval (list any and all conditions):

- * Need fire doors (considering AFA).
- * Need some additional smoke detectors.
- * Some smoke detectors improperly located.
- * Combustible storage not allowed in exits

*Approved w/ conditions
See Urban insite*

Signature: Bjellwalf **Date:** 11/6/08

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1383	Date Applied For: 10/29/2008	CBL: 131 L006001
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Location of Construction: 109 PLEASANT AVE	Owner Name: RODERICK VIRGINIA E HEIRS	Owner Address: 109 PLEASANT AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Legalization of Non-Conforming Units	

Proposed Use: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units	Proposed Project Description: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units
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Dept: Zoning Status: Reviewer: Ann Machado Approval Date: Note: Ok to Issue:

Dept: Building Status: Pending Reviewer: Approval Date: Note: Ok to Issue:

Dept: Fire Status: Approved with Conditions Reviewer: Ben Wallace Jr. Approval Date: Note: Ok to Issue:

- 1) Dryer vent penetrates rear exit stair. Remove or box in with 5/8 inch Type-X sheetrock.
 - 2) Seal all through penetrations.
 - 3) Fire separation between 107 and 109 must be maintained.
 - 4) Combustible storage is not permitted in exits. Anything that has the potential to interfere with the use of the exit is not permitted.
 - 5) Smoke detectors are required with in dwelling units on every every story and immediately outside of every sleeping area. They will soon be required with in all sleeping rooms.
- All smoke detectors must be AC powered. All new installations must but be interconnected with in the unit and battery back up.
- All wall mounted smoke detectors must be located between 4 and 12 inches from the ceilings, or ceiling mounted more than 4 inches from the wall. They may not be with in 36 inches of a door to a bathroom. They should not be located on an exterior wall or the ceiling directly under a roof.
- 1-hour fire door assemblies required between exit stairs and units, basement, or storage. If the owner paints the doors w/ an approved intumescent paint and adds self closing hinges they may use option 2, 3 or 4 per 101-31.2.2.1.3 (2006 ed).

Comments:

1/2008-amachado: Spoke to Rebecca Ricker. Need floor plans for the second & third floors.

1/2008-amachado: Application is complete. Gave notice to neighbors form to Gayle. Gave life safety sheet to Captain Cass. Mike Menario the housing sheet.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1383	Date Applied For: 10/29/2008	CBL: 131 L006001
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Location of Construction: 109 PLEASANT AVE	Owner Name: RODERICK VIRGINIA E HEIRS	Owner Address: 109 PLEASANT AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Legalization of Non-Conforming Units	

Proposed Use: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units	Proposed Project Description: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units
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Dept: Zoning **Status:** **Reviewer:** Ann Machado **Approval Date:**
Note: **Ok to Issue:**

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:**
Note: **Ok to Issue:**

- 1) Dryer vent penetrates rear exit stair. Remove or box in with 5/8 inch Type-X sheetrock.
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Comments:
 3/31/2008-amachado: Spoke to Rebecca Ricker. Need floor plans for the second & third floors.
 3/31/2008-amachado: Application is complete. Gave notice to neighbors form to Gayle. Gave life safety sheet to Captain Cass. Gave Mike Menario the housing sheet.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1383	Date Applied For: 10/29/2008	CBL: 131 L006001
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Location of Construction: 109 PLEASANT AVE	Owner Name: RODERICK VIRGINIA E HEIRS	Owner Address: 109 PLEASANT AVE	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Legalization of Non-Conforming Units	

Proposed Use: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units	Proposed Project Description: 3 Legal residential units - Legalize 1 unit for a total of 3 legalized units
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Dept: Zoning	Status:	Reviewer: Ann Machado	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Fire	Status: Approved with Conditions	Reviewer: Ben Wallace Jr.	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
<ul style="list-style-type: none"> 1) Dryer vent penetrates rear exit stair. Remove or box in with 5/8 inch Type-X sheetrock. 2) Seal all through penetrations. 3) Fire separation between 107 and 109 must be maintained. 4) Combustible storage is not permitted in exits. Anything that has the potential to interfere with the use of the exit is not permitted. 5) Smoke detectors are required with in dwelling units on every every story and immediately outside of every sleeping area. They will soon be required with in all sleeping rooms. 6) All smoke detectors must be AC powered. All new installations must but be interconnected with in the unit and battery back up. 7) All wall mounted smoke detectors must be located between 4 and 12 inches from the ceilings, or ceiling mounted more than 4 inches from the wall. They may not be with in 36 inches of a door to a bathroom. They should not be located on an exterior wall or the ceiling directly under a roof. 8) 1-hour fire door assemblies required between exit stairs and units, basement, or storage. If the owner paints the doors w/ an approved intumescent paint and adds self closing hinges they may use option 2, 3 or 4 per 101-31.2.2.1.3 (2006 ed). 				

Comments:

10/31/2008-amachado: Spoke to Rebecca Ricker. Need floor plans for the second & third floors.

10/31/2008-amachado: Application is complete. Gave notice to neighbors form to Gayle. Gave life safety sheet to Captain Cass. Gave Mike Menario the housing sheet.



girm 10/3/08

CITY OF PORTLAND

**CITY OF PORTLAND HOUSING CODE
DWELLING UNIT COMPLIANCE**

Section 14-391 of the Land Use Ordinance allows illegal nonconforming dwelling units to become legalized thru a given process. Part of this process is that the dwelling unit(s) that are requested to be legalized must comply or be able to comply with the City of Portland's Housing Code PRIOR to issuing the requested permit.

Please return this form to the Zoning Administrator (Marge Schmuckal) as to compliance or the ability to comply with these codes.

Location: 109 Pleasant Avenue - 131-L-006

Owner: Virginia E Redrick heirs

Address of Owner: 13 Rockwood Terrace, Falmouth 04105 Telephone: 797-9673

Applicant information if different than above: Rebecca Ricker 838-5322

Current number of legal units: two (2)

Number of units to be legalized: one (1)

bbl: three (3)

Comments of approval or disapproval (list any and all conditions):

Approved with conditions

Signature: [Handwritten Signature]

Date: 11-17-08

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
 Portland, Maine 04101

Inspection Violations

Owner/Manager RODERICK VIRGINIA E HEIRS		Inspector Mike Menario	Inspection Date 11/6/2008
Locatation 109 PLEASANT AVE	CBL 131 L006001	Status	Inspection Type Building Permit-Legalize Nonconf

Code	Int/Ext	Floor	Unit No.	Area	Compliance Date
1) 110.26 (B)	Interior			Basement	
Violation:	NEC 2005/NFPA 70				
Notes:	1. Need house panel 2. Clean up wiring and label panel				
2) 6-108.e	Interior			Basement	
Violation:	Chimneys, flues and vent.				
Notes:	1. Chimney cleaned and checked 2. Fix drier vents				
3) 6-109.d	Interior			Basement	
Violation:	Disposal of rubbish, ashes, garbage and waste				
Notes:	1. Removel of paints , trash , etc.				
4) 6-111.1	Interior			Basement	
Violation:	Plumbing standards/Basic facilities.				
Notes:	1. Plumbing needs to be corrected and secured 2. Feed for oil line needs to be secured and protected 3. Cap old sewer line				
5) 6-109/5.2	Interior			Bulkhead	
Violation:	Interior floors, walls, ceilings, doors.				
Notes:	1. Fix stairs to basement 2. Replace or repair stairs and bulkhead door				
6) 6-108.e	Interior	2nd		Stairways	
Violation:	Chimneys, flues and vent.				
Notes:	1. Back stairway need to box in dryer vent with 5/8 sheetrock and hard pipe vent				
7) 6-108.b	Interior	3rd		Stairways	
Violation:	Interior floors, walls, ceilings and doors				
Notes:	1. Fire rate front stairway with 5/8 sheetrock				
8) 110.26 (B)	Interior	3rd		Kitchen	
Violation:	NEC 2005/NFPA 70				
Notes:	1. Add outlet on counter				

Comments:

From: Gayle Guertin
To: Ann Machado; Marge Schmuckal
Date: 11/10/2008 12:38:43 PM
Subject: legalization of non conforming units

The abutters notices for the following legalization of non-conforming dwelling units..... will be sent out on Wednesday, November 12, 2008.

Thanks Gayle

107 Pleasant Ave. CBL 131 L007
109 Pleasant Ave. CBL 131 L006
32 Ellsworth St. CBL 054 C005
56 Mellan St. CBL 048 E025

**IMPORTANT NOTICE FROM CITY OF PORTLAND
ZONING DIVISION**

**TO RESIDENTS AND PROPERTY OWNERS
IN THE VICINITY OF**

Given 10/31/08

Issues: Virginia Rodenbeck heirs, owners of the property located at 109 Pleasant Avenue Street, have submitted an application to legalize one existing non-conforming dwelling unit for a total of three dwelling units within this building. The legalization maybe permitted if the applicant can meet the requirements allowed under Section 14-391 of the Zoning Ordinance.

Feedback: If you have any objection to the above permit application, you must submit your opposition in writing within ten (10) days of this notice to: City of Portland Zoning Administration City Hall - Room 315-389 Congress Street Portland, Maine 04101

FOR MORE INFORMATION

For more information you may contact Marge Schmuckal, Zoning Administrator, at (207) 874-6695. The office hours are 8:00am to 4:00pm weekdays.

NOV 7

October 31, 2008

City of Portland
Department of Planning & Development
Zoning Administration

OCT 31

Attn: Ann Machado

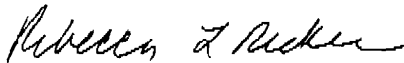
FAX: 874-8716

Re: 107/109 Pleasant Avenue, Portland, ME 04103
Application for Legalization of Nonconforming Dwelling Units

Per your phone call today, I am enclosing the floor plans for the 2nd and 3rd floors of 109 Pleasant Avenue that I accidentally omitted.

Please call if there is anything else I need to submit.

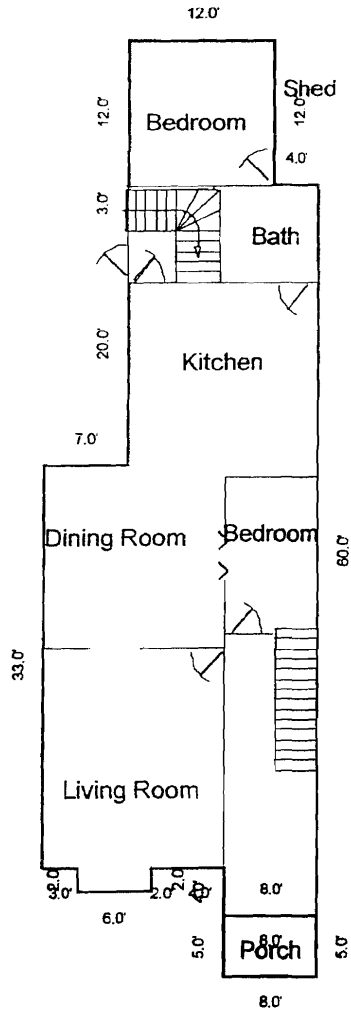
Thank you,



Rebecca L. Ricker
Personal Representative
Virginia E. Roderick Estate
13 Rockwood Terrace
Falmouth, ME 04105
207-838-5322

109 PLOT - 111' FRONT

First Floor



Sketch by Apex IV Windows™

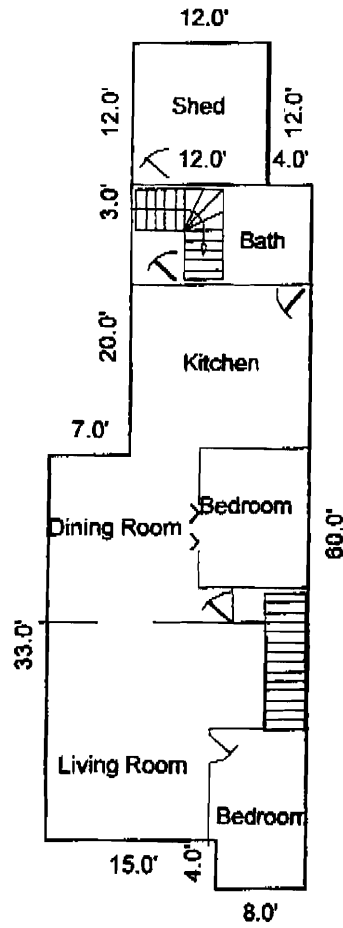
Comments:

AREA CALCULATIONS SUMMARY			
Code	Description	Size	Totals
GLA1	First Floor	1315.00	1315.00
P/P	Porch	40.00	40.00
TOTAL LIVABLE (rounded)			1315

LIVING AREA BREAKDOWN		
Breakdown		Subtotals
First Floor		
2.0	x 6.0	12.00
12.0	x 12.0	144.00
23.0	x 33.0	759.00
16.0	x 23.0	368.00
4.0	x 8.0	32.00
5 Areas Total (rounded)		1315

Second Floor

109 PLEASANT AVE.



001 81

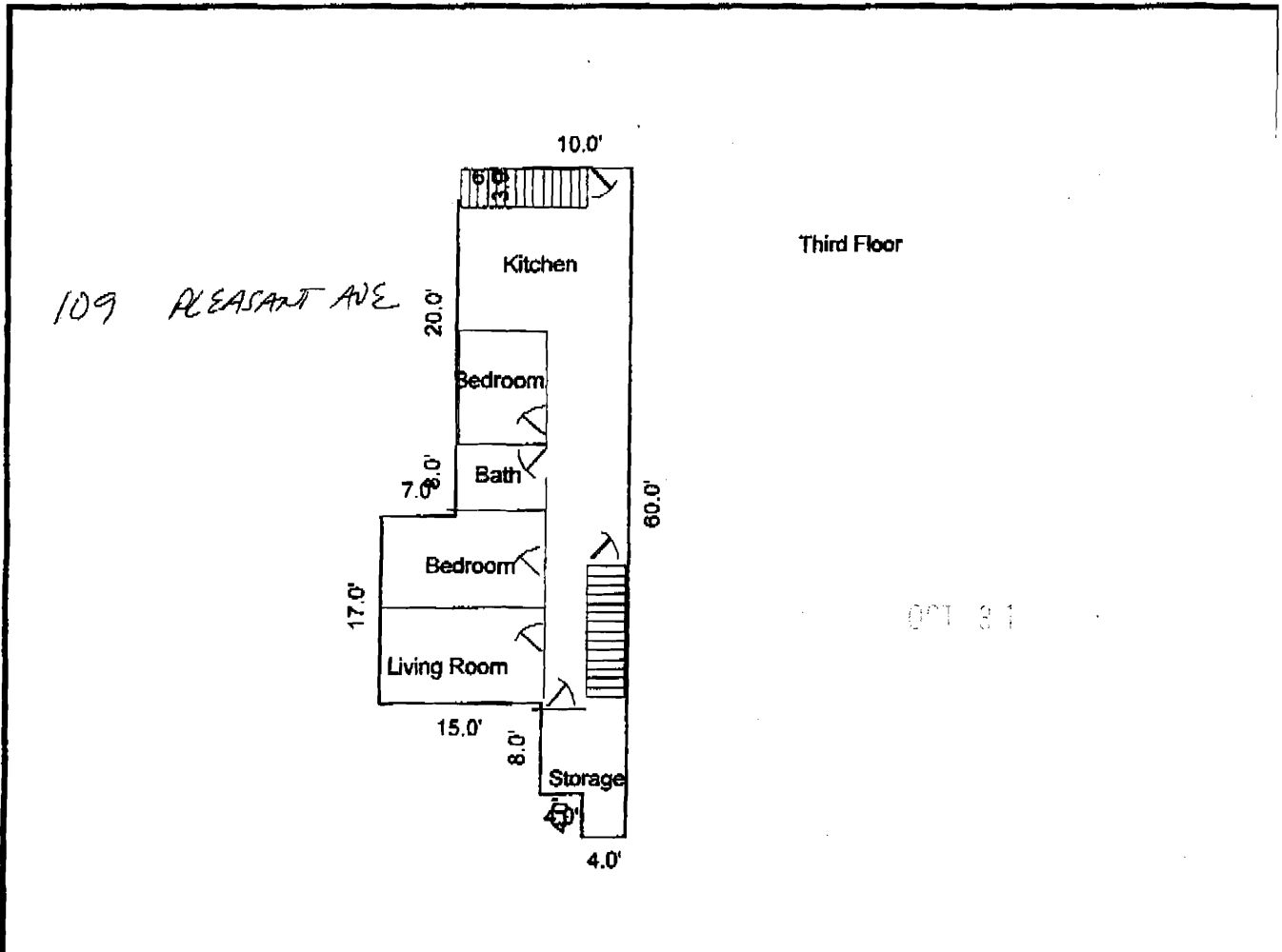
VIRGINIA E RODERICK ESTATE

Sketch by Apex IV Windows™

Comments:

AREA CALCULATIONS SUMMARY			
Code	Description	Size	Totals
GLA2	Second Floor	1159.00	1159.00
OTH	Storage	144.00	144.00
TOTAL LIVABLE (rounded)			1159

LIVING AREA BREAKDOWN		
Breakdown		Subtotals
Second Floor		
23.0 x	33.0	759.00
4.0 x	8.0	32.00
15.0 x	23.0	368.00
3 Areas Total (rounded)		1159



VIRGINIA E. LODERICK ESTATE

Sketch by Agas & Windows™

Comments:

AREA CALCULATIONS SUMMARY			
Code	Description	Size	Totals
GLA3	Third Floor	949.00	949.00
TOTAL LIVABLE (rounded)			949

LIVING AREA BREAKDOWN		
Breakdown		Subtotals
Third Floor		
17.0 x	23.0	391.00
8.0 x	8.0	64.00
16.0 x	28.0	448.00
3.0 x	10.0	30.00
4.0 x	4.0	16.00
5 Areas Total (rounded)		949

City of Portland

5yr Standard Insp;

Check out sheet
STRUCTURE INSPECTION SCHEDULE

Housing Inspection Division

ARTICLE 5 HOUSING CODE

1) Insp. Name H IRVING

2) Insp. Date 7-23-84 3) Insp. Type Gen 4) Proj. Code 131 5) Ass'n's: Chas't 2 6) Bl'g: 2 7) Lst: 27 8) Cross: 1 9) Bldg: 1 10) Insp. 1 11) Date 7-23-84

12) House No. 107-109 Pleasant Ave 13) Sec. H. No. 772-1175 14) Suf. ABO 15) Direct. 1 16) Street Name Pleasant Ave 17) Bldg. Design ABO

18) Owner or Agent: Virginia & Donald Roderick 5108 Pleasant Ave 19) Status ABO 20) Bldg's Re: 1

21) Address: 107-109 Pleasant Ave 772-1175 ABO 1

22) City and State: Portland ME. Zip Code 04103

23) D. Units 6 24) Occ. D. U.'s 6 25) Rm. Units 8 26) Occ. R. U.'s 8 27) No. Occupants 8 28) Com' IU. WO 29) Bldg. Type WO 30) Stories 2 31) Const Mat WO 32) O. B's WO

33) C.H. 772-1175 34) Pho. R 35) Zoned For R 36) Actual Land Use R 37) D.D. Y 38) Lts Ad. Bth. Fac. Y 39) Disp. Y 40) Closing Date Y

EXTERIOR - Structure		Cd. Viol.	INTERIOR - Structure		Cd. Viol.
✓ Foundation	EX/FO	108-2	Lighting		113
✓ Walls	EX/WA	108-2	✓ Elec. Wiring	EW	113
✓ Roof	RO	108-2	✓ Floors	FL	108-2
✓ Porch	PO	108-4	✓ Walls	IN/WA	108-2
✓ Stairs	EX/SR	108-4	✓ Ceilings	CE	108-2
✓ Steps	SP	108-4	✓ Windows	IN/WI	108-3
✓ Doors	DO	108-3	✓ Airshafts	AS	108-3
✓ Windows	EX/WI	108-3	✓ Roof Rafters	ROR	108-1
✓ Eaves	EA	108-1	✓ Sanitation	SAN	109-5
✓ Trim	TR	108-1	✓ Stairways	IN/SRW	108-4
✓ Chimney	EX/CH	108-5	✓ Stair Treads	SRT	108-4
✓ Gutters	GU	108-1	✓ Wastelines	WSL	111-4
✓ Roof Drains	RD	108-1	✓ Supply Lines	SUL	111-3
✓ Bulkhead	BU	108-4	✓ Stacks	ST	114-1
✓ Outbuildings	GR - SH		✓ Flues	FU	114-1
✓ Yard	YA		✓ Vents	VE	114-1
✓ Garbage	GA	109-4	✓ Chimney	IN/CR	114-1
✓ Rubbish	RU	109-4	✓ Heating Equip. Furnace - FU	Space heater - SPH	114-2
✓ Containers	CO	109-4	✓ Bsm't. Sanitation Litter - LI	Debris - DE	109-4
✓ Drainage	DR	108-1	✓ Dampness	DMP	108-1
✓ Infestation	IN-CR-FL	109-5	✓ Lighting	BS/LI	113
✓ Rats	RA	109-5	✓ Elec. Panel	EL/pa	113
✓ Other		109-5	✓ Stairs	BS/SR	108-2
✓ Fire Escape	FE	116-2	✓ Foundation	IN/FO	108-2
✓ Dual Egress	DE	116-2	✓ Floor Joists		108-2
✓ Driveways	DW		✓ Carrying Timbers		108-2
✓ Walks	WA		✓ Sills		108-2
✓ Fences	FN		✓ Bsm't. Dwelling Unit RDU		110-6

✓ Remarks on reverse side

ARTICLE 5 HOUSING CODE
Health Department
DWELLING UNIT SCHEDULE

Housing Inspection Division

City of Portland

INSP DATE

7-23-84 109

INSP # - FORM NO.

H41

TENANTS NAME						FLR.#	LOCATION	RMG. TP.	#RMS.	#PEO.	#ALL'D	SLRRM.
LARRY STROUT						2	L		5	1		2

Child Un. 10	Child 1-6	+ Lead Survey - Results	Rent	Rent Code	Furn	Hot Water	Dual Egrs.	Ck'ng.	Heat	Lav.	Bath	Flush
			109	109	AD	Y	Y	Free	OF	Y	Y	Y

KITCHEN

DESCRIPTION	CODE
() Plaster - L, C, M, - Ceiling/Walls	108-2
() Windows - loose, broken glass, glaze	108-3
() Sash/Frames - broken, missing, worn	108-3
() Floor - loose, worn, dam., buckled	108-2
() Doors - Knob/lk - missing - Panels/Frames dam.	108-3
() Counter/Stor. Space Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	-
() Sink - chipped, cracked, leaks	111-1
() Range - improper stack, flue, vent	114-1
() Refrigerator Space Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	-
() Plumbing (a) 6(a) Water Supply Hot <input checked="" type="checkbox"/> Cold <input checked="" type="checkbox"/>	111-3
() Electrical (a)	113
() Sanitation (a)	109

BATHROOM

DESCRIPTION	CODE
() Plaster - L, C, M - Ceiling/Walls	108-2
() Window - loose, broken glass, glaze	108-3
() Sash/Frames - broken, missing, worn	108-3
() Floor - loose, worn, dam., buckled	108-2
() Door - knob/lk - missing - Panels/Frames dam.	108-3
() Toilet - Tnk - brkn, loose, leaks, Seat, l'se crkd	111-1
() Lavatory - chipped, cracked, leaks, trap leaks	111-1
() Bathtub/Shower - leaks cross connection	111-1
() Ventilation Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	112
() Plumbing (b) 6(a) Water Supply Hot <input checked="" type="checkbox"/> Cold <input checked="" type="checkbox"/>	111-3
() Electrical (b)	113
() Sanitation (b)	109

LIVING ROOM

DESCRIPTION	CODE
() Plaster - L, C, M, - Ceiling/Walls	108-2
() Windows - loose, broken, glaze	108-3
() Sash/Frames - broken, missing, worn	108-3
() Floor - loose, worn, damaged	108-2
() Door - knob/lk - missing - Panels/Frames dam.	108-3
() Electrical (c)	113
() Sanitation (c)	109

DINING ROOM

DESCRIPTION	CODE
() Plaster - L, C, M - Ceiling/Walls	108-2
() Windows - loose, broken, glaze	108-3
() Sash/Frames - broken, missing, worn	108-3
() Floor - loose, worn, damaged	108-2
() Doors - Knobs/lk - missing, Panels/Frames dam.	108-3
() Electrical (d)	113
() Sanitation (d)	109

Bedrooms and/or other rooms

DESCRIPTION	Code
() Plaster - L, C, M - Ceiling/Walls	108-2
() Windows - Loose, broken, glaze	108-3
() Sash/Frames - broken, missing, worn	108-3
() Floors - loose, worn, damaged	108-2
() Door - knobs/lk - missing - Panels/Frames dam.	108-3
() Electrical (e)	113
() Sanitation (e)	109
() Clothes Closet Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Bedrooms and/or other rooms

DESCRIPTION	Code
() Plaster - L, C, M - Ceiling/Walls	108-2
() Windows - Loose, broken, glaze	108-3
() Sash/Frames - broken, missing, worn	108-3
() Floors - loose, worn, damaged	108-2
() Door - knobs/lk - missing - Panels/Frames dam.	108-3
() Electrical (e)	113
() Sanitation (e)	109
() Clothes Closet Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Plumbing	Electrical	Sanitation - Vermin O R
ER	ER	ER

REMARKS:



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

January 31, 1984

#DU: 6

Virginia & Donald Roderick
108 Pleasant Avenue
Portland, Maine 04103

Re: 107-109 Pleasant Ave. 131-L-6, 7 Gen.

The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above referred property.

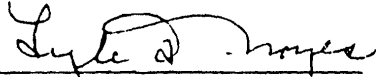
Contratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code.

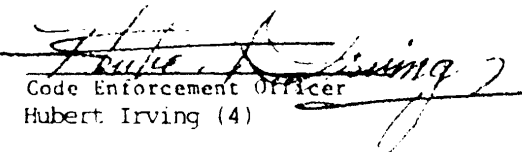
Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely yours,
Joseph E. Gray, Jr., Director
Planning & Urban Development

By


Lyle D. Noyes
Inspections Services Division


Code Enforcement Officer
Hubert Irving (4)

jmr

Inspection Services
P. Samuel Hoffes
Chief



Planning and Urban Development
Joseph B. Gray Jr.
Director

MAY 21, 1996

CITY OF PORTLAND

RODERICK VIRGINIA E
108 PLEASANT AVE
PORTLAND ME 04103

Re: 109 PLEASANT AVE
CBL: 131 L 006
DU: 3

Dear Ms. Roderick:

The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above referred property.

Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code. We did, however, note the following items that could cause future problems:

1. INT - OVERALL - 113.50
HARD-WIRED BATTERY-BACKUP SMOKE DETECTORS ARE REQUIRED IN EACH UNIT

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely,

Handwritten signature of Arthur Rowe.

Arthur Rowe
Code Enforcement Officer

Handwritten signature of Tammy Munson.

Tammy Munson
Code Enfc. Offc./ Field Supv.

CERTIFICATION OF VITAL RECORD

STATE OF MAINE

COPY - Place of Death COPY - Place of Residence COPY - Place Permit Issued

NAME KNOWN TO PHYSICIAN		STATE OF MAINE DEPARTMENT OF HEALTH AND HUMAN SERVICES				State File Number
CERTIFICATE OF DEATH				STANDARD FORM		
1a. FIRST NAME Virginia		1b. MIDDLE NAME E.		1c. LAST NAME Roderick		1d. JR., etc.
2. DATE OF DEATH (Mo, Dy, Yr) August 3, 2007		3. SEX F	4. SOCIAL SECURITY NUMBER 194-20-5077	5a. AGE (Yrs) 81 <small>Last Birthday</small>	5b. UNDER 1 YEAR <small>Months Days Hours Minutes</small>	5c. UNDER 1 DAY <small>Hours Minutes</small>
7. BIRTHPLACE (City and State or Foreign Country) West Chester, Pennsylvania			8. WAS DECEDENT EVER IN U.S. ARMED FORCES? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		9. PLACE OF DEATH (Check only one) HOSPITAL: <input type="checkbox"/> DOA <input type="checkbox"/> OTHER: <input checked="" type="checkbox"/> Nursing Home <input type="checkbox"/> Residence <input type="checkbox"/> Inpatient <input type="checkbox"/> ER/Outpatient <input type="checkbox"/> Other (Specify)	
10. FACILITY NAME (If not institution, give street and number) Cedars Nursing Care Center			11. COUNTY OF DEATH Cumberland		12. CITY OR TOWN OF DEATH Portland	
13. MARITAL STATUS <input checked="" type="checkbox"/> Married <input type="checkbox"/> Never Married <input checked="" type="checkbox"/> Widowed <input type="checkbox"/> Divorced		14. MOST RECENT SPOUSE (If wife, give maiden name) <input type="checkbox"/> Living <input checked="" type="checkbox"/> Deceased Donald M. Roderick		15. DECEDENT'S USUAL OCCUPATION (Give kind of work done during most of working life. Do not use retired.) Management		16. KIND OF BUSINESS / INDUSTRY Import/Export
17. DECEDENT'S EDUCATION (Specify only highest grade completed) Elementary/Secondary (0-12 grades) 12 College (1-4 or 5+ years) English			18. RACE - American Indian, Black, White, etc. (Specify) White		19. (FACE - American Indian, Black, White, etc. (Specify))	
20. RESIDENCE STATE Maine		21. RESIDENCE COUNTY Cumberland		22. RESIDENCE CITY OR TOWN Portland		23. RESIDENCE STREET AND NUMBER 109 Pleasant Avenue
24a. FATHER'S FIRST NAME Charles		24b. FATHER'S MIDDLE NAME Nelson		24c. FATHER'S LAST NAME Swett		24d. FATHER'S JR., etc. n/a
25a. MOTHER'S FIRST NAME Mary		25b. MOTHER'S MIDDLE NAME Elizabeth		25c. MOTHER'S MAIDEN SURNAME Jarrett		
26. INFORMANT - NAME (Type or Print) Katie Mahoney			27. MAILING ADDRESS (Street and Number or Rural Route Number, City or Town, State, ZIP Code) 494 Deering Avenue Portland, ME 04103			
28. METHOD OF DISPOSITION: <input type="checkbox"/> Temporary Storage <input checked="" type="checkbox"/> Burial <input type="checkbox"/> Cremation <input type="checkbox"/> Removal from State <input type="checkbox"/> Use by Medical Science <input type="checkbox"/> Other (Specify)						29. WAS BODY EMBALMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
30a. PLACE OF DISPOSITION (Name of cemetery, crematory, or other place) Evergreen Cemetery			30b. LOCATION - (City or Town, State) Portland, Maine		30c. DATE OF DISPOSITION (Mo, Dy, Yr) 08-10-07	
31a. SIGNATURE OF FUNERAL PRACTITIONER OR AUTHORIZED PERSON <i>Margaret S. York</i>			32. NAME AND ADDRESS OF FACILITY OR AUTHORIZED PERSON Independent Death Care of Maine LLC 471 Deering Avenue Portland Maine 04103-			
31b. LICENSEE NUMBER PRIUITS			32b. FUNERAL ESTABLISHMENT LICENSE NUMBER HO9917			
33. CERTIFYING PHYSICIAN: To the best of my knowledge, death occurred at the time, date, and place, and due to the cause(s) and manner as stated. Signature and Title: <i>Joel L. Botler, M.D.</i>				34. DATE SIGNED (Mo, Dy, Yr) 8/6/07		35. VIEWED BODY AFTER DEATH? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
36a. NAME OF ATTENDING PHYSICIAN IF OTHER THAN CERTIFIER (Type or Print) Joel L. Botler, M.D.			36b. NAME AND ADDRESS OF CERTIFIER (Type or Print) <i>Peter Emery, M.D.</i> 180 Park Avenue, Portland, ME, 04102		37. TIME OF DEATH 11:15 <input checked="" type="checkbox"/> AM <input type="checkbox"/> PM	
38. REGISTRAR'S SIGNATURE <i>Arundell S. Beaubien Asst. City Clerk</i>					39. DATE FILED (Mo, Dy, Yr) AUG 10 2007	
40. WAS AN AUTOPSY PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		41. WERE AUTOPSY FINDINGS AVAILABLE PRIOR TO COMPLETION OF CAUSE OF DEATH? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		42. MANNER OF DEATH: <input type="checkbox"/> Natural <small>Report all non-natural deaths to the Office of the Chief Medical Examiner. DO NOT COMPLETE THIS CERTIFICATE.</small>		
49. PART I. Enter the diseases, injuries, or complications which caused the death. Do not enter the mode of dying, such as cardiac or respiratory arrest, shock, or heart failure. List only one cause on each line. IMMEDIATE CAUSE (Final disease or condition resulting in death) — a. <u>Pancreatic CA</u> DUE TO (OR AS A CONSEQUENCE OF): — b. _____ Sequently list conditions, if any, leading to immediate cause. Enter UNDERLYING CAUSE (Disease or injury which initiated events resulting in death) LAST: — c. _____ DUE TO (OR AS A CONSEQUENCE OF): — d. _____						Approximate Interval Between Onset and Death <u>months</u>
PART II. Other significant conditions contributing to death but not resulting in the underlying cause given in Part I.						

VS3 R1/98

USE BLACK INK ONLY

ORIGINAL - STATE

USE BLACK INK ONLY

DS-K FORM 850/01H FPP 01152003

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE ABSTRACT OR COPY OF A CERTIFICATE OR RECORD WHICH IS IN MY OFFICIAL CUSTODY.

TOWN OF: **Portland**

DATE ISSUED

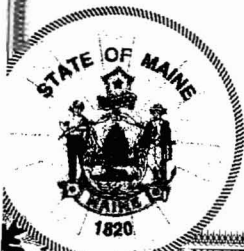
AUG 10 2007

ATTEST

Linda C. Cohen
Linda C. Cohen

VS 31 R0606

This copy not valid unless prepared on engraved border displaying seal and signature of Registrar



STATE OF MAINE

PROBATE COURT

PORTLAND

Location of Court

CUMBERLAND COUNTY

DOCKET NO. 2007-1318

Estate of VIRGINIA E. RODERICK,

LETTERS OF AUTHORITY OF
CO-PERSONAL REPRESENTATIVE S

If "Supervised," stamp or write in here:

TO: REBECCA RICKER, 13 ROCKWOOD TERRACE, FALMOUTH, ME 04105

ROBERTA S. COPE, 172 CONCORD STREET, PORTLAND, ME 04103

You have been appointed PERSONAL REPRESENTATIVE of the estate of VIRGINIA E. RODERICK,
deceased who died on the 3rd day of August, 2007
domiciled at PORTLAND, ME
The decedent (check (a) or (b))

(a) Left a will.

(b) Left no will

You are to administer the estate according to the law. If decedent left a will, your powers may be restricted by the provisions of the will. If these letters are marked "SUPERVISED," your powers are restricted according to law and as the court may have ordered.

During the course of your administration, you must give heed to any proceedings in this court which may affect your rights and duties as personal representative. In particular, if a petition is filed requesting that this estate be placed under supervised administration, you shall not exercise your power to distribute any estate until further notice from this court.¹

You must regardless, of other proceedings:

1. Notify all heirs, devisees, and other persons entitled to notice of your appointment within 30 days of your appointment. See 18-A MRSA § 3-705 and Form N-115.

2. Prepare an inventory of the assets of this estate within three months after your appointment and furnish it to interested persons who request it. See 18-A MRSA § 3-706 and Form DE-405.

Your letter of acceptance of this position and trust was received on October 5th, 2007 And is conclusive evidence of your acceptance of your fiduciary obligations. You may be held personally liable for any violation of your duties under law with respect to the position you have accepted.

Date: 10-12-07

Teri E. McRae
Register of Probate

¹ See 18-A MRSA § 3-503

A TRUE COPY

Attest: Cecily K. Kyles
Clerk Esq 2-24-09

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	131 L006001
Location	109 PLEASANT AVE
Land Use	THREE FAMILY
Owner Address	RODERICK VIRGINIA E HEIRS 109 PLEASANT AVE PORTLAND ME 04103
Book/Page	/
Legal	131-L-6 PLEASANT AVE 109 5442 SF

Current Assessed Valuation

Land	Building	Total
\$86,400	\$208,800	\$295,200

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1910	Old Style	2	2927	0.125	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	3		13	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
06/26/2006	LAND + BLDING		21406-063

Picture and Sketch

Picture	Sketch	Tax Map
-------------------------	------------------------	-------------------------

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



109
LEFT

107
RIGHT

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
131 E003001	LIPPOLD MARK T & PATRICIA A JTS	137 PLEASANT AVE PORTLAND, ME 04103	137 PLEASANT AVE	1
131 E005001	DECOURCEY JOSEPH R KW VET ELIZABETH J JTS	124 CLINTON ST PORTLAND, ME 04103	124 CLINTON ST	1
131 G004001	CHRISTIAN JOSEPH & SUSAN CHRISTIAN & ETAL JTS	138 PLEASANT AVE PORTLAND, ME 04103	136 PLEASANT AVE	2
131 G006001	COFFIN SUSAN H	174 GLENWOOD AVE PORTLAND, ME 04103	174 GLENWOOD AVE	3
131 G007001	GEMMER CONSTANCE H & FREDERIC JTS	180 GLENWOOD AVE PORTLAND, ME 04103	180 GLENWOOD AVE	1
131 G008001	CUDDY MICHAEL J & JULIE B	132 PLEASANT AVE PORTLAND, ME 04103	132 PLEASANT AVE	2
131 K001001	DONALDSON HERBERT L	169 GLENWOOD AVE PORTLAND, ME 04103	169 GLENWOOD AVE	3
131 K002001	RASZMANN PETER G	120 PLEASANT AVE PORTLAND, ME 04103	120 PLEASANT AVE	3
131 K003001	CODY HELEN J	125 CONCORD ST PORTLAND, ME 04103	125 CONCORD ST	1
131 K004001	CAPELLUTI JOSEPH H & VANESSA WHITE JTS	112 PLEASANT AVE PORTLAND, ME 04103	112 PLEASANT AVE	1
131 K005001	CODY DAVID M	125 CONCORD ST PORTLAND, ME 04103	121 CONCORD ST	2
131 K006001	WALZ GAYLO H & ANN E JTS	108 PLEASANT AVE PORTLAND, ME 04103	108 PLEASANT AVE	1
131 K007001	PICCINI ELAINE WID KW VET	113 CONCORD ST PORTLAND, ME 04103	113 CONCORD ST	1
131 K008001	SANTOS JANICE A & MARSHALL S JTS	102 PLEASANT AVE PORTLAND, ME 04103	102 PLEASANT AVE	2
131 K009001	KANE BARBARA A & JAMES F JTS	10 FLEETWOOD ST PORTLAND, ME 04102	109 CONCORD ST	1
131 K010001	LEBEL PATRICIA J & WILLIAM BURNS ROGERS	107 CONCORD ST PORTLAND, ME 04103	107 CONCORD ST	2
131 K011001	RUTHERFORD PROPERTIES LLC	92 MIDDLE JAM RD GORHAM, ME 04038	94 PLEASANT AVE	4
131 K012001	LIBBY-BARNES JENNIFER & ROBERT J BARNES JTS	101 CONCORD ST PORTLAND, ME 04103	101 CONCORD ST	1
131 K014001	DIMILLO DANIEL P	88 PLEASANT AVE PORTLAND, ME 04103	88 PLEASANT AVE	2
131 K021001	SEMPLE CAROL M & HERBERT A JR JTS	177 GLENWOOD AVE PORTLAND, ME 04103	177 GLENWOOD AVE	1
131 K022001	TROOP MERYL C S	98 PLEASANT AVE PORTLAND, ME 04103	98 PLEASANT AVE	1
131 L001001	ABBOTT LORRAINE	127 PLEASANT AVE PORTLAND, ME 04103	127 PLEASANT AVE	1
131 L003001	EHRINGHAUS MICHAEL E & CAROLYN EHRINGHAUS JTS	11 JAMES ST PORTLAND, ME 04103	11 JAMES ST	1
131 L004001	FLANAGAN THOMAS S WWII VET	121 PLEASANT AVE PORTLAND, ME 04103	121 PLEASANT AVE	1
131 L005001	PALMLUND DAVID C & CATHERINE E PALMLUND JTS	106 CLINTON ST PORTLAND, ME 04103	106 CLINTON ST	1
131 L006001	RODERICK VIRGINIA E HEIRS	109 PLEASANT AVE PORTLAND, ME 04103	109 PLEASANT AVE	3
131 L007001	RODERICK VIRGINIA E HEIRS	109 PLEASANT AVE PORTLAND, ME 04103	107 PLEASANT AVE	3
131 L008001	DIMILLO STEVEN A & MARGARET F JTS	113 PLEASANT AVE PORTLAND, ME 04103	113 PLEASANT AVE	1
131 L009001	WINCELE STEVEN B	113 GLENWOOD AVE PORTLAND, ME 04103	101 PLEASANT AVE	4

CBL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
131 L011001	JOYCE BARBARA A	93 PLEASANT AVE PORTLAND, ME 04103	93 PLEASANT AVE	1
131 L012001	LATHROP REBECCA A	85 PLEASANT AVE PORTLAND, ME 04103	85 PLEASANT AVE	2
131 L013001	BOULTON MELODY & DARCY BOULTON & WANDA J	14 FLORENCE ST PORTLAND, ME 04103	14 FLORENCE ST	2
131 L014001	TIERNEY MARGARET M	16 FLORENCE ST PORTLAND, ME 04103	16 FLORENCE ST	2
131 L015001	JONES BOYD A & ELLENOR B JONES JTS	20 FLORENCE ST PORTLAND, ME 04103	20 FLORENCE ST	1
131 L016001	PIKE DORIS M HEIRS	84 CLINTON ST PORTLAND, ME 04103	84 CLINTON ST	1
131 L017001	JONES AARON C & PRUDENCE R JONES	90 CLINTON ST PORTLAND, ME 04103	90 CLINTON ST	1
131 L019001	WYMAN JONATHAN G & JESSICA L ANTHONY JTS	114 CLINTON ST PORTLAND, ME 04103	114 CLINTON ST	1
131 L020001	LOUDEN ROBERT B & TAMA SILVERSTEIN LOUDEN	96 CLINTON ST PORTLAND, ME 04103	96 CLINTON ST	1
131 L021001	COMMUNITY HOUSING OF MAINE	103 PLEASANT AVE PORTLAND, ME 04103	103 PLEASANT AVE	2
131 L022001	SCHRAEDER ELLEN L & PIERRE E CHARPENTIER JTS	110 CLINTON ST PORTLAND, ME 04103	110 CLINTON ST	1
131 L023001	MOULTON LYMAN L JR WWII VET CLAIRE U JTS	102 CLINTON ST PORTLAND, ME 04103	102 CLINTON ST	1
136 B002001	MCGEE SAMUEL S & JENNIFER C JUDD-MCGEE JTS	89 CLINTON ST PORTLAND, ME 04103	89 CLINTON ST	1
136 B003001	MEARS SAGE D & DONNA L SCHWARTZ TRUSTEES	85 CLINTON ST PORTLAND, ME 04103	85 CLINTON ST	1
136 B004001	YORKE JAMES B	79 CLINTON ST PORTLAND, ME 04103	79 CLINTON ST	2
136 B005001	DERICE ROSE M WID WWII VET	75 CLINTON ST PORTLAND, ME 04103	75 CLINTON ST	2
136 B008001	ROTHMAN RUTH S	18 MERRYMEETING PORTLAND, ME 04103	95 CLINTON ST	1
136 B009001	BOTKIN JAMES H & JAMES C ROBERSON JTS	97 CLINTON ST PORTLAND, ME 04103	97 CLINTON ST	1
136 B010001	HOCHADEL JOSEPH M & BARBARA GOULD HOCHADEL JTS	103 CLINTON ST PORTLAND, ME 04103	103 CLINTON ST	1
136 B012001	TANGUAY PATRICIA U & PHILIP J JTS	113 CLINTON ST PORTLAND, ME 04103	113 CLINTON ST	1
136 B016001	SIEG PAUL L	96 HARTLEY ST PORTLAND, ME 04103	96 HARTLEY ST	1
136 B017001	ERBE JAMES D	90 HARTLEY ST PORTLAND, ME 04103	90 HARTLEY ST	1
136 B020001	PUBLICOVER BRIAN A	PO BOX 10140 PORTLAND, ME 04104	82 HARTLEY ST	1
136 B021001	RUSSELL ROBERT J & LINDA L	76 HARTLEY ST PORTLAND, ME 04103	76 HARTLEY ST	1

BL	OWNER	OWNER MAILING ADDRESS	PROPERTY LOCATION	UNITS
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Total Listed 53 UNITS 81

**IMPORTANT NOTICE FROM CITY OF PORTLAND
ZONING DIVISION**

**TO RESIDENTS AND PROPERTY OWNERS
IN THE VICINITY OF 109 PLEASANT AVENUE**

Issues: Virginia Roderick Heirs , owners of the property located at 109 Pleasant Avenue, have submitted an application to legalize one (1) existing non-conforming dwelling unit for a total of three (3) dwelling units within this building. The legalization maybe permitted if the applicant can meet the requirements allowed under Section 14-391 of the Zoning Ordinance.

Feedback: If you have any objection to the above permit application, you must submit your opposition in writing within ten (10) days of this notice to: City of Portland Zoning Administration City Hall - Room 315 389 Congress Street Portland, Maine 04101

FOR MORE INFORMATION

For more information you may contact Marge Schmuckal, Zoning Administrator, at (207) 874-8695. The office hours are 8:00am to 4:00pm weekdays.

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ZONING DIVISION**

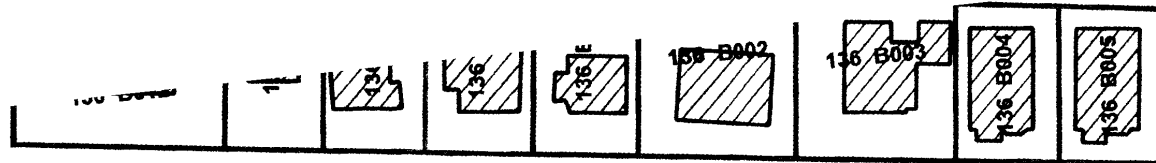
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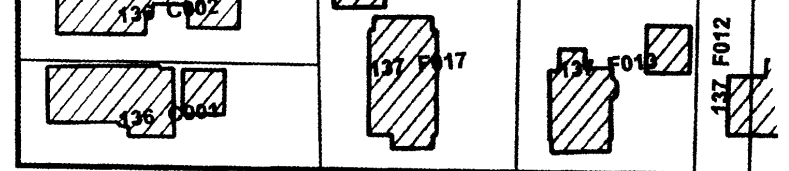
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CLINTON ST

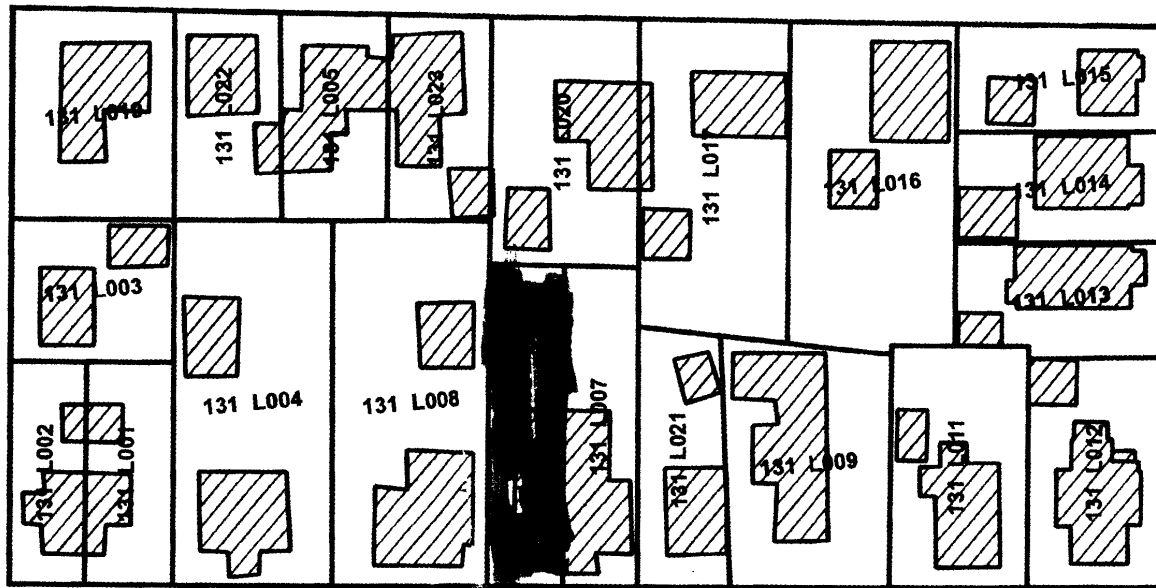
72 - 118
71 - 117



FLORENCE ST

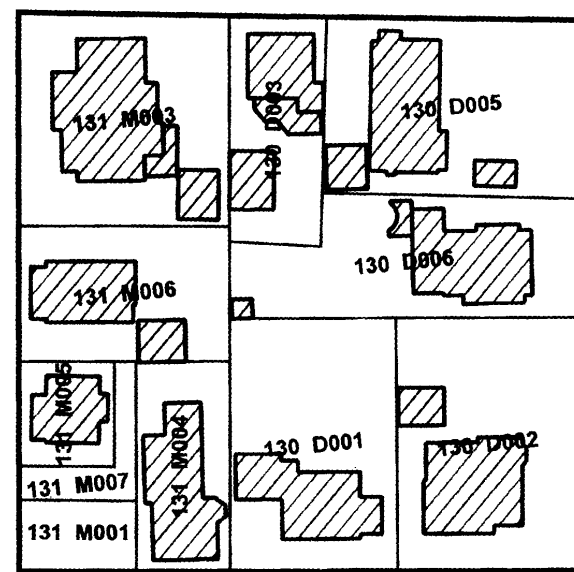
48 - 70
47 - 69

2 - 46
1 - 45



PLEASANT AV

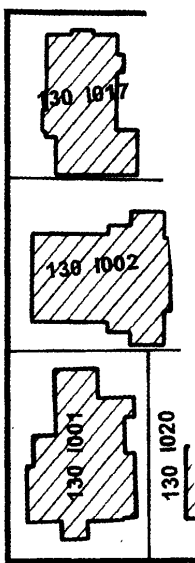
84 - 124
83 - 123



2 - 24
1 - 23

HUNT ST

2 - 24
1 - 23



126 - 130
125 - 129

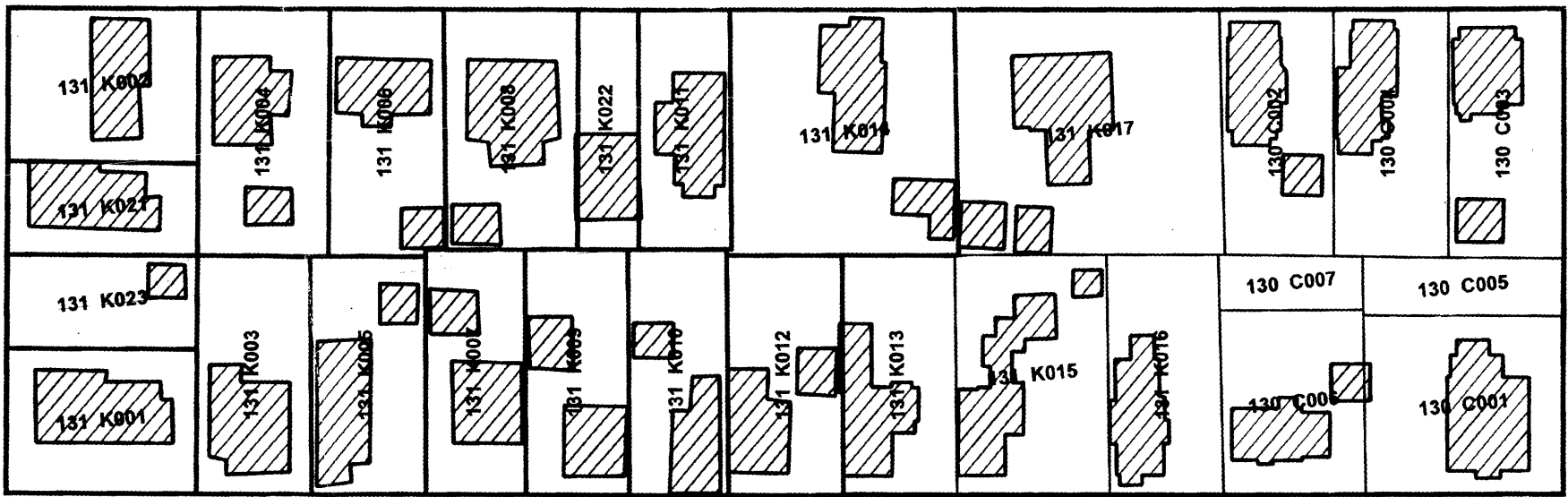
60 - 82
59 - 81

56 - 58 2 - 54
55 - 57 1 - 53



GLENWOOD AV

164 - 188
163 - 187



NCORD ST

106 - 136
105 - 135

68 - 104
67 - 103

NORWOOD ST

60 - 84
59 - 83



162
161



SCALE: 3/32" = 1'

