

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 080775

**PERMIT ISSUED**

AUG 4 2008

This is to certify that PAPPAS ARGYRO C/Luke style

has permission to remove kitchen on first floor but kitchen base

AT 142 Pleasant Ave

131 G003001

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is loaded or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. Craig 1/28/08

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Jamie Bouke* 7/28/08  
Director - Building & Inspection Services

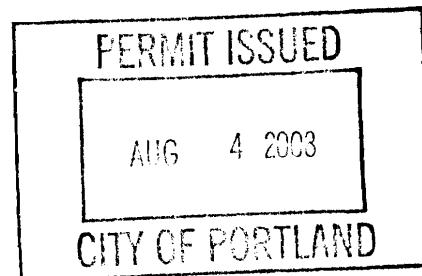
**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0775		<b>Issue Date:</b>	<b>CBL:</b> 131 G003001
<b>Location of Construction:</b> 142 Pleasant Ave	<b>Owner Name:</b> PAPPAS ARGYRO C	<b>Owner Address:</b> 142 PLEASANT AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Luke Boyle	<b>Contractor Address:</b> 109 Harris Ave Portland	<b>Phone:</b> 2073329609
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	<b>Zone:</b> R-5
<b>Past Use:</b> Residential	<b>Proposed Use:</b> Residential - remove kitchen on first floor, put kitchen in basement <i>legal use connected to permit 07-0349</i>	<b>Permit Fee:</b> \$70.00	<b>Cost of Work:</b> \$5,000.00
<b>Proposed Project Description:</b> remove kitchen on first floor, put kitchen in basement <i>(owner's unit in rear)</i>		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>CEO District:</b> 4
		<b>INSPECTION:</b> Use Group: R2 Type: SB IBC-2003	
		Signature: <i>Gregory C. [unclear]</i>	Signature: <i>JMB 7/28/08</i>
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			
<b>Permit Taken By:</b> Idobson	<b>Date Applied For:</b> 06/26/2008	<b>Zoning Approval</b>	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
<i>OK w/conditions</i> Date: 7/21/08 <i>ABN</i>	Date: _____	<i>ABN</i> Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7/24/08 - met on site w/ owner, Architect, Greg &  
Mike M. See list of issues with The New Exterior  
Stairwell permit. Head room to ceiling joist is 84 1/2".  
Owner says This will be unfinished or s/r between joists.  
JMB

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0775	<b>Date Applied For:</b> 06/26/2008	<b>CBL:</b> 131 G003001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 142 Pleasant Ave	<b>Owner Name:</b> PAPPAS ARGYRO C	<b>Owner Address:</b> 142 PLEASANT AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Luke Boyle	<b>Contractor Address:</b> 109 Harris Ave Portland	<b>Phone</b> (207) 332-9609
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> Residential - remove kitchen on first floor from owner's unit in rear & put kitchen in basement	<b>Proposed Project Description:</b> remove kitchen from owner's unit on first floor in the rear & put kitchen in basement
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 07/07/2008

**Note:****Ok to Issue:** 

- 1) This permit is being issued with the condition that the first floor kitchen is removed. There can only be one kitchen in the unit.
- 2) This is NOT an approval for an additional dwelling unit.
- 3) The legal use of this building is connected to permit #07-0349.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:**

**Note:****Ok to Issue:** 

- 1) The finished ceiling height shall be 7'
- 2) This does not approve sleeping rooms in the basement due to code deficiencies.
- 3) All code violations sited at the inspection on 7/24/08 shall be corrected prior to issuance of the CO.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems.  
Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved      **Reviewer:** Capt Greg Cass      **Approval Date:** 07/25/2008

**Note:****Ok to Issue:**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>142 Pleasant Ave Portland ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>N/A - Kitchen inside existing 164 s.f. room</u>	Square Footage of Lot <u>7,980</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>131</u> Block# <u>G</u> Lot# <u>3</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Argyro Pappas MAJOR/UNIT</u> Address <u>142 Pleasant Ave</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>(207) 775-1104</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5,000.-</u> C of O Fee: \$ _____ Total Fee: \$ <u>70.-</u>
Current legal use (i.e. single family) <u>2 unit waiting for 3 unit approval (already submitted)</u> Number of Residential Units <u>will be 3 (2 now)</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Kitchen relocation</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Taking kitchen out of first floor and putting it in basement for owner's unit.</u>		
Contractor's name: <u>Luke Boyle</u> Address: <u>109 Harris Ave</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>332-9609</u> Who should we contact when the permit is ready: <u>George Manjounes</u> Telephone: <u>775-1104</u> Mailing address: <u>142 Pleasant Ave Portland ME 04103</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: JUNE 26, 2008

This is not a permit; you may not commence ANY work until the permit is issue

# PAPPAS/ MANJOUNES KITCHEN

142 PLEASANT AVENUE  
PORTLAND ME 04103

MICHAEL BELLEAU ARCHITECT  
61 PLEASANT ST., SUITE 104D  
PORTLAND ME 04101  
www.michaelbelleau.com

## RELOCATION OF KITCHEN

CITY OF PORTLAND, MAINE

ZONE: R5

FRONT SETBACK: 20 FT.  
(MAY BE AVERAGE OF  
BUILDINGS AT SIDES)  
SIDE SETBACK: 12 FT.  
(FOR 2 STORY BUILD'G)  
SIDE STREET SETBACK: 15 FT.  
REAR SETBACK: 20 FT.  
HEIGHT LIMIT: 35 FT.  
MAXIMUM LOT COV: 40%

LOT AREA= 7,980 S.F.  
40% OF LOT AREA= 3,192 S.F.  
AREA OF COVERAGE INCLUDING  
EXISTING HOUSE AND CANOPY  
OVERHANGS, CARPORT AND NEW  
STAIR PROPOSED= 3,135 S.F.

### DRAWINGS:

C1.0	COVER SHEET
C1.1	SITE PLAN
A1.0	BASEMENT OVERALL FLOOR PLAN
A1.1	FIRST OVERALL FLOOR PLAN
A5.1	NEW KITCHEN PLAN
A5.2	NEW KITCHEN ELEVATION

Note: Do not scale these drawings.  
These drawings are approximate.  
Contractor to verify all dimensions in field.  
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Project Title  
**Pappas Manjounes Kitchen**

Argyro Pappas and George Manjounes  
142 Pleasant Ave.  
Portland ME 04103



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61 Pleasant Street Portland ME 04101 (207)874-7668  
www.michaelbelleau.com

Drawing Title  
**COVER SHEET**

Date: 06/25/08

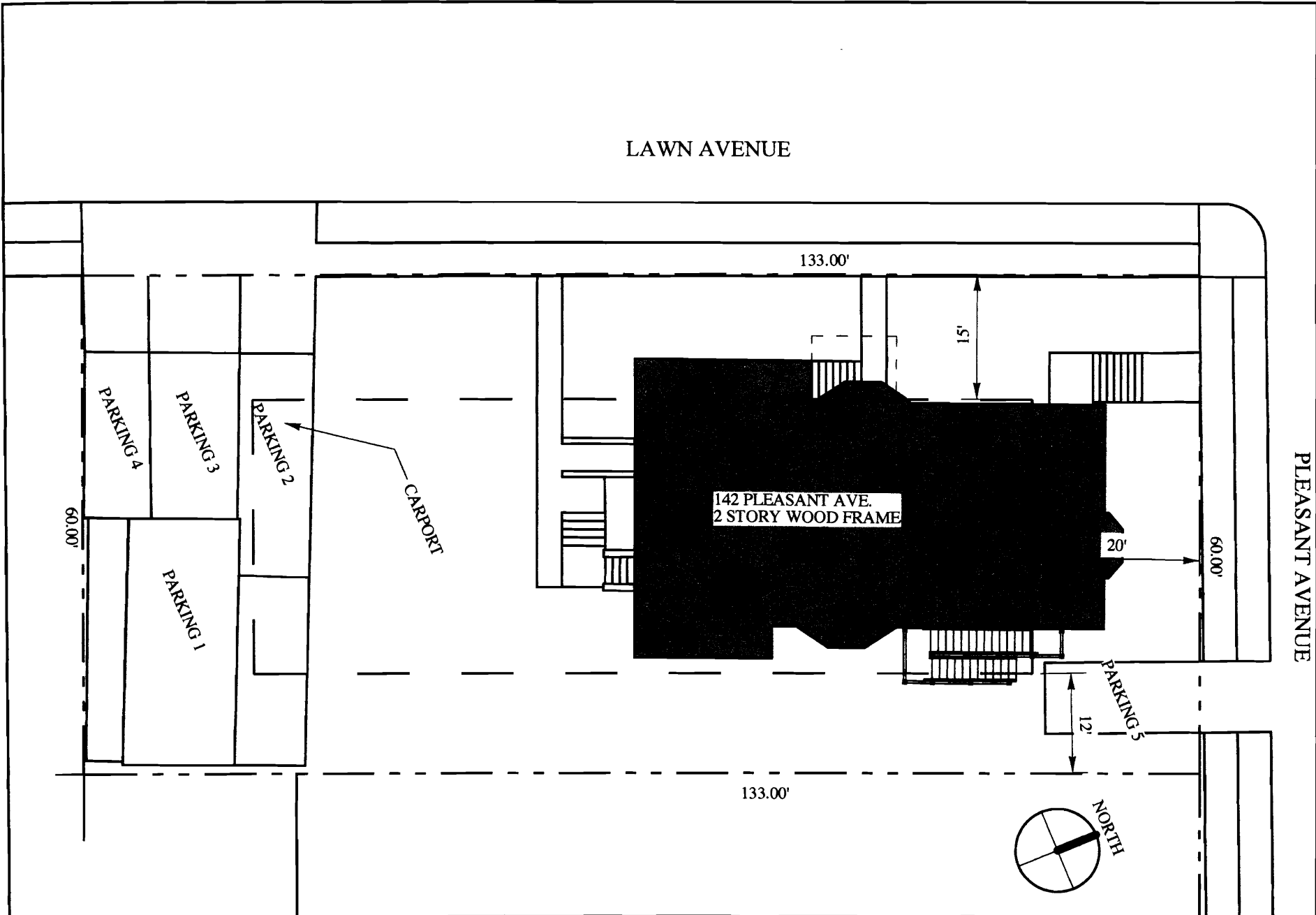
Project Number: 07.01.2

Scale: 1/16" = 1'-0"

Reference: NONE

Drawing Number

**C1.0**



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 Argyro Pappas and George Manjounes  
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 Portland ME 04103  
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 61 Pleasant Street Portland ME 04101 (207)874-7668  
 www.michaelbelleau.com

Drawing Title  
**SITE PLAN**

Date: 06/25/08

Project Number: 07.01.2

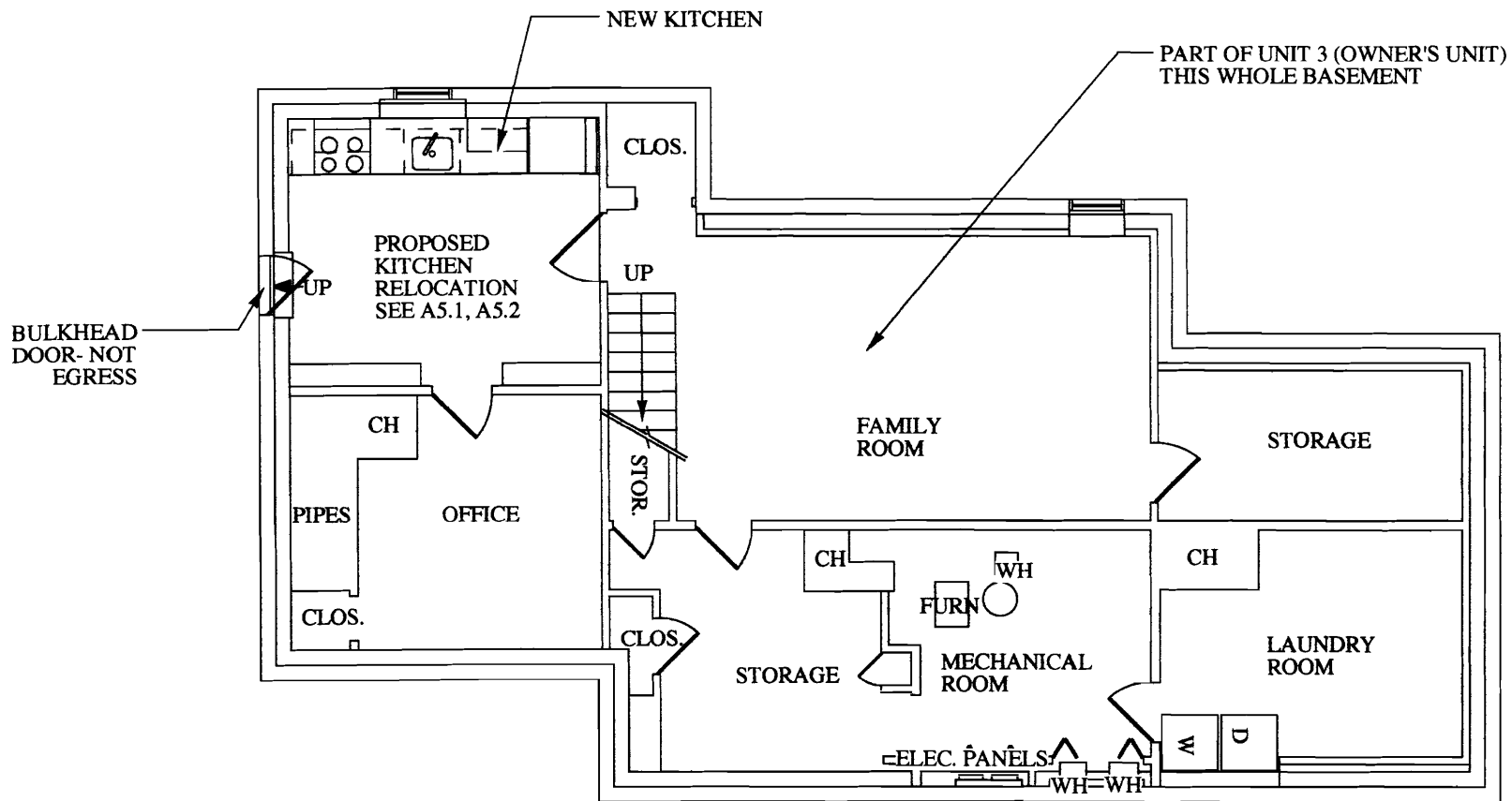
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Reference: NONE

Drawing Number

**C1.1**





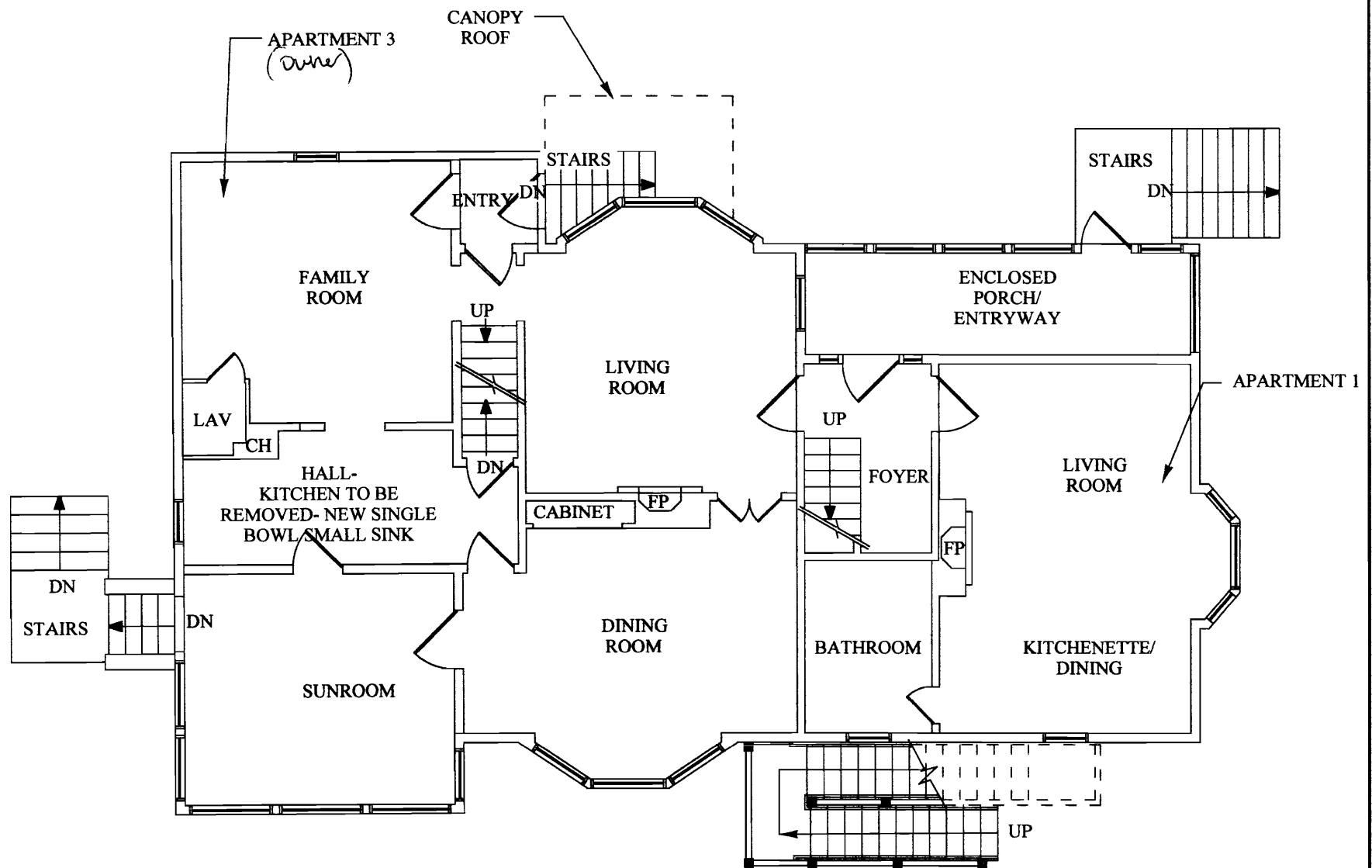
1
**BASEMENT FLOOR PLAN**  
 A1.0 SCALE: 1/8" = 1'-0"

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Drawing Title  
**BASEMENT OVERALL PLAN**  
 Date: 06/25/08  
 Project Number: 07.01.2  
 Scale: 1/8" = 1'-0"  
 Reference: NONE

Drawing Number  
**A1.0**



1
**FIRST FLOOR OVERALL PLAN**  
 A1.1 SCALE: 1/8" = 1'-0"

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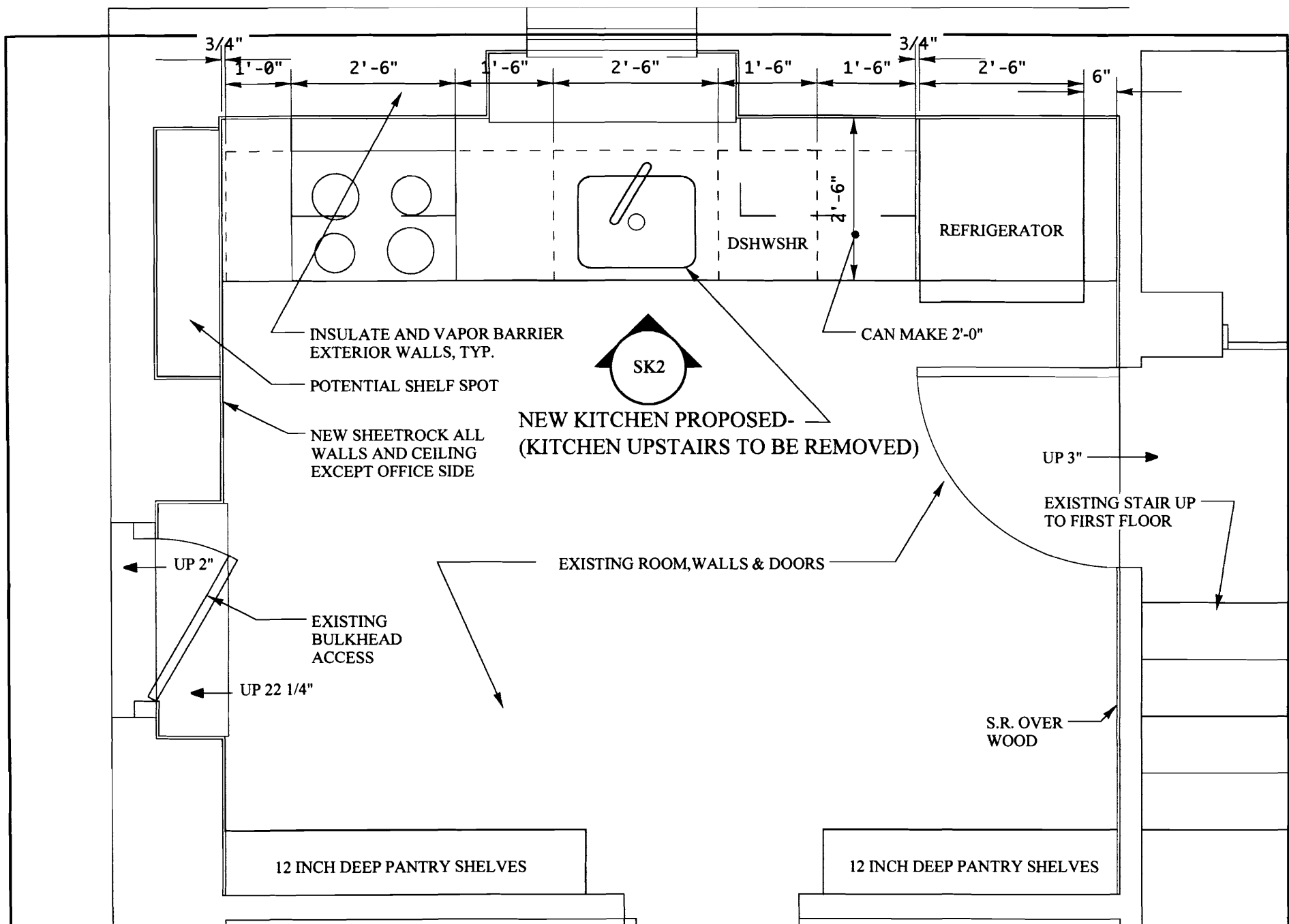
Drawing Title  
**FIRST FLOOR OVERALL PLAN**

Date: 06/25/08 Scale: 1/8" = 1'-0"

Project Number: 07.01.2 Reference: NONE

Drawing Number

**A1.1**



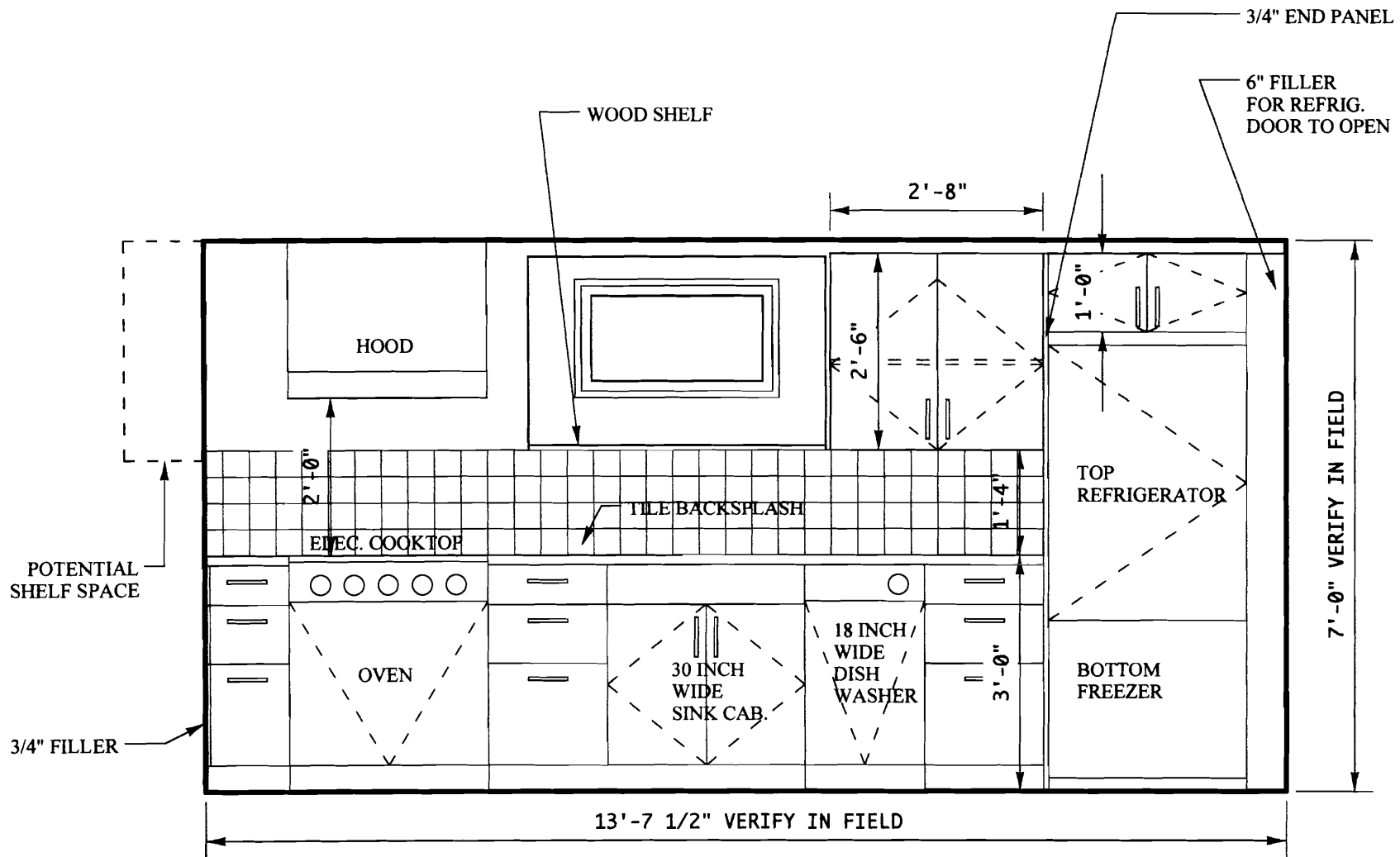
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 Argyro Pappas and George Manjounes  
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 Portland ME 04103  
 Copyright 2008 Michael Belleau Architect  
 61 Pleasant Street Portland ME 04101 (207)874-7668  
 www.michaelbelleau.com

Drawing Title  
**KITCHEN PLAN**  
 Date: 06/25/08  
 Project Number: 07.01.2

Scale: 1/2" = 1'-0"  
 Reference: NONE

Drawing Number  
**A5.1**



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Project Title  
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 142 Pleasant Ave.  
 Portland ME 04103



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 61 Pleasant Street Portland ME 04101 (207)874-7668  
 www.michaelbelleau.com

Drawing Title  
**KITCHEN ELEVATION**

Date: 06/25/08

Scale: 1/2" = 1'-0"

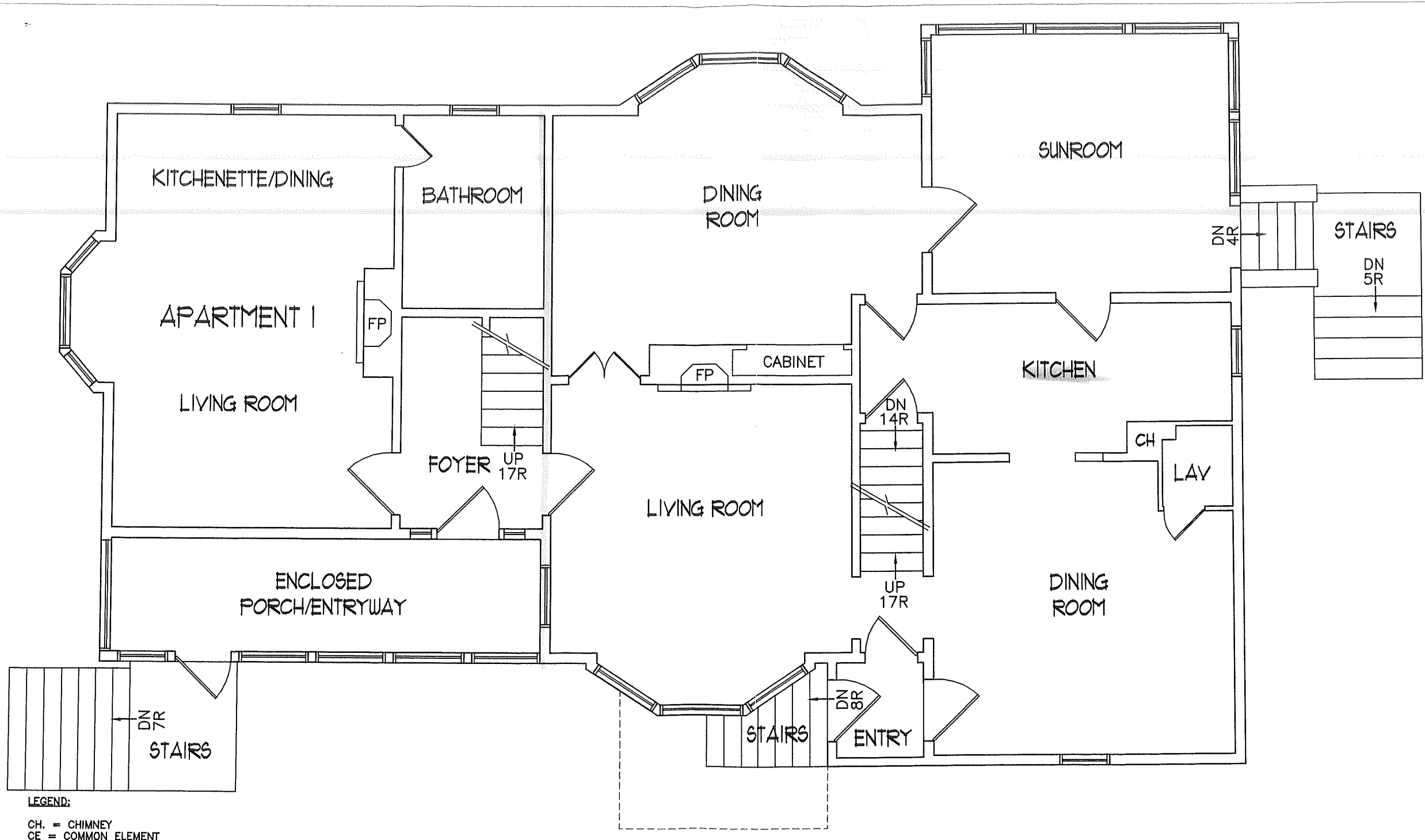
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Reference: NONE

Drawing Number

**A5.2**

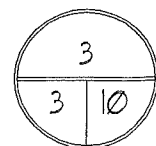
PLEASANT AVENUE



LEGEND:

- CH. = CHIMNEY
- CE = COMMON ELEMENT
- FFE = FIRST FLOOR ELEVATION
- FURN. = FURNACE
- LCE = LIMITED COMMON ELEMENT
- SQ. FT. = SQUARE FEET
- #R = NUMBER OF RISERS

*Existing*

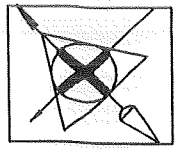


# FIRST FLOOR PLAN



SCALE: 3/16" = 1'-0"

SHEET 3 OF 4



BACK BAY BOUNDARY, INC.  
LAND SURVEYING  
643 FOREST AVENUE  
PORTLAND, ME 04101  
207.774.2855  
fax: 347.4346  
backbayboundary@com.com

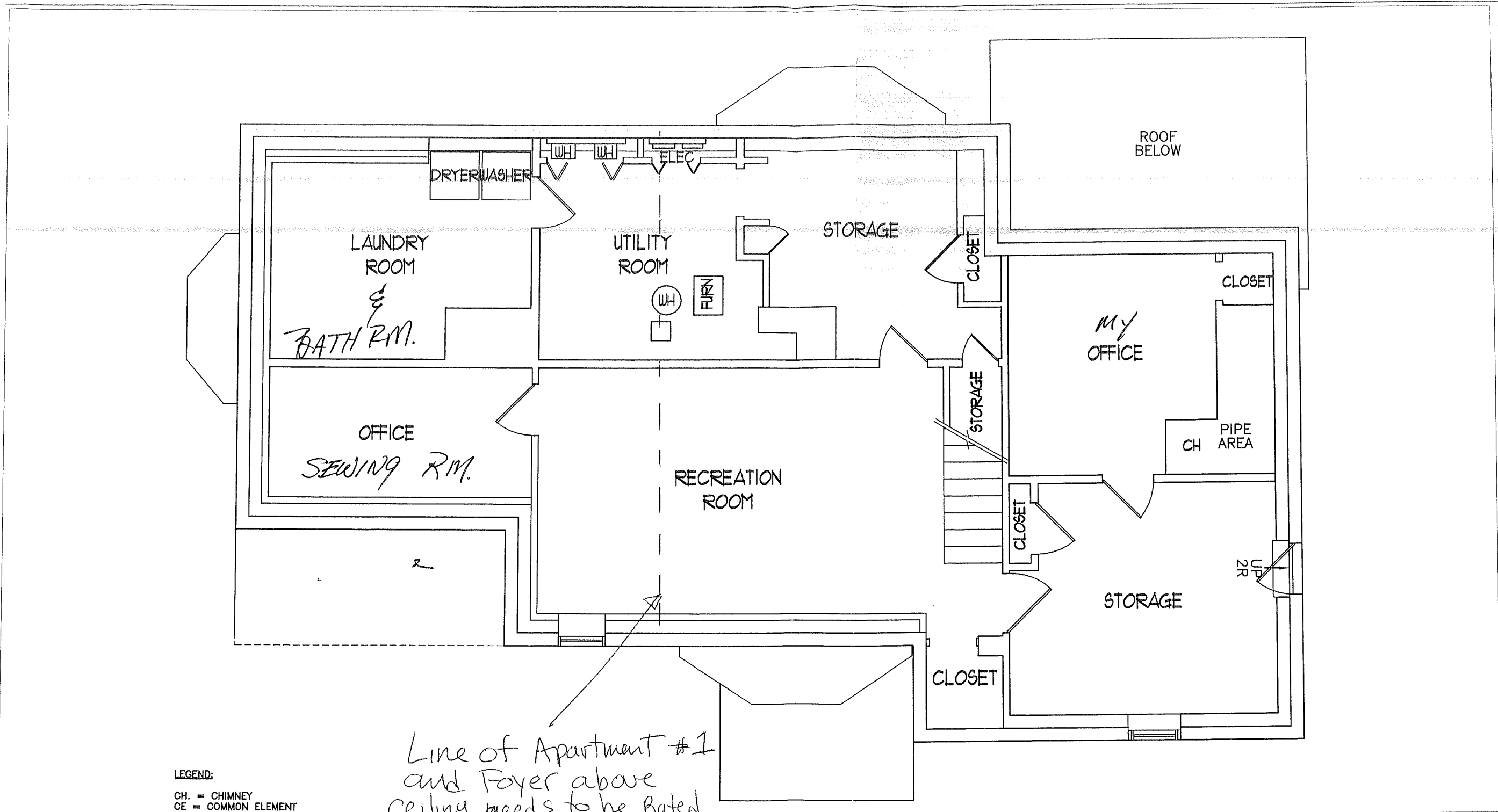
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**RESIDENCE EXISTING CONDITIONS**  
142 PLEASANT AVENUE  
Portland, Maine

JOB No.  
2007023

ISSUE DATE  
PRINT 04/02/2007

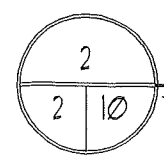
1. RECORD OWNER OF PARCEL: GEORGE MANJOUNIS, AS DESCRIBED IN BOOK xxxxx, PAGE xx AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.



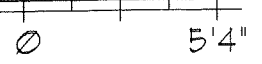
**LEGEND:**  
 CH. = CHIMNEY  
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 SQ. FT. = SQUARE FEET  
 #R = NUMBER OF RISERS

*Line of Apartment #1  
 and Foyer above  
 ceiling needs to be Rated  
 1hr & Stz.*

*Existing*

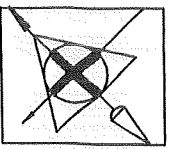


**BASEMENT FLOOR PLAN**



SCALE: 3/16" = 1'0"

SHEET 2 OF 4



BACK BAY BOUNDARY, INC.  
 LAND SURVEYING  
 643 FOREST AVENUE  
 PORTLAND, ME 04101  
 207.774.2855  
 fax: 347.4346  
 backbayboundary@cs.com

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JOB NO.  
 2007023

ISSUE DATE  
 PRINT 04/07/2007

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 PAGE xx AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.