

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED
Permit Number: 080334

JUN 13 2008

CITY OF PORTLAND

This is to certify that PAPPAS ARGYRO C /Luk Boylehas permission to Proposed exterior stair for additional egress to permit 3 unit - connected with pending permit #070349AT 142 PLEASANT AVE

provided that the person or persons in charge of the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is opened or service closed-in. 4
 YOUR NOTICE IS REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Carla Cass

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Malley 6/10/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

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A Pre-construction Meeting will take place upon receipt of your building permit.

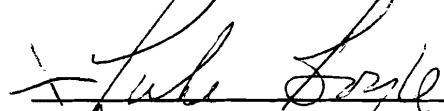
Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

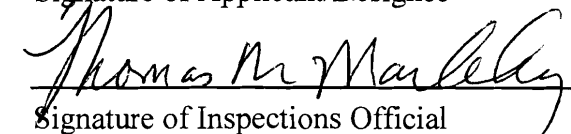
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



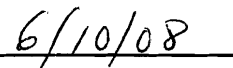
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

City of Portland, Maine - Building or Use Permit Application

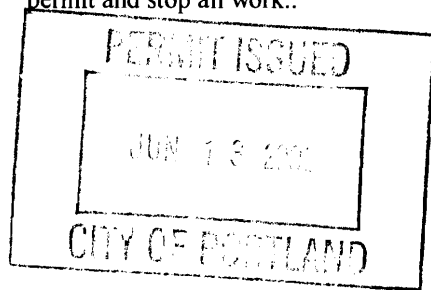
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0534	Issue Date:	CBL: 131 G003001
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Location of Construction: 142 PLEASANT AVE	Owner Name: PAPPAS ARGYRO C	Owner Address: 142 PLEASANT AVE	Phone:
Business Name:	Contractor Name: Luke Boyle	Contractor Address: 109 Harris Ave Portland	Phone 2073329609
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R5

Past Use: 3 unit - connected with pending permit #070349 <i>two legal div. & one illegal</i>	Proposed Use: 3 unit - connected with pending permit #070349 - Proposed exterior stair for additional egress to permit 3 unit - connected with pending permit #070349	Permit Fee: \$60.00	Cost of Work: \$3,900.00	CEO District: 4
Proposed Project Description: Proposed exterior stair for additional egress to permit 3 unit - connected with pending permit #070349		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>93</i> Type: <i>5B</i> <i>IBC 2003</i>	
		Signature: <i>Greg Cass</i>	Signature: <i>Jim 6/10/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 05/19/2008	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>us ing section 14-440.</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>5/27/08 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7-23-08 Meeting: See attach paper!

8-1-08 OK schematics 4' by 8' by

11-24-08 - Need 2 handrails?; Need to return handrails, replace stringers, Through bolts, 4x4 Post not continuous, NOT built per plan.

12-2-08 Met with contractor on site, went over what needed to get connected.
He will call when work is completed by CH + CH

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CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

See corrections in red by Jeanie Bourke

Meeting Minutes

Project: Pappas/Manjounes 3rd unit legalization and kitchen relocation.

Project #: 07.01

Today's date: 07/23/08

Date of meeting: 07/23/08

Location of meeting: Pappas/Manjounes House 142 Pleasant Avenue, Portland, ME

Present at Meeting:

From Michael Belleau Architect's office: Michael Belleau

Representing client: George Manjounes

From City of Portland: Greg Cass, Jeanie Bourke, Mike Menario

Time of meeting: 2:30pm to 3:30pm.

The purpose of this meeting was to itemize list for owner to do to comply with city requirements for a 3 unit apartment building legalization and kitchen relocation in this existing building. The following list of tasks for owner was compiled by Michael Belleau:

1. Regarding electric service (per CMP approval through electrician):
 - Move electric meters to corner of building.
 - Move electric lines from pole to 18 feet over driveway and 3 feet from outside edge of guardrail at 2nd floor outside stair landing on street side.

2. Regarding new exterior egress stair:
 - Inside clear width of stairs (measured inside anything except handrails which can protrude 4 inches **(4-1/2 each side allowed)** maximum into the 3 foot width) at any location including landings must be 3 feet min.
 - Rise must be 7 inches.
 - Tread must be 11 inches with no nosing.
 - Risers must be covered so 4 inch sphere cannot get through (same as guardrails). **Also, 6" max sphere at riser/tread triangle opening at bottom of guard.**
 - Must have guardrail in front of window.
 - Landing at top 2nd floor must have ledger lag bolted into existing building not nailed. **Also, lag or carriage bolt fasteners at all post to structure junction.**
 - Stair must have 6 foot 8 inch headroom at all points so must cut back eave some more after redoing stair with proper rise.
 - Guardrail must be 42 inch high minimum.
 - Posts not enough as shown on plan and must rest on concrete sonotubes down to 4 feet below grade minimum. **Also, post connector bracket to sona tube.**
 - Joist must be hung with galvanized joist hangers not nailed.
 - Need handrails both sides, continuous at inside. **With ends returned to post or rail.**

3. New egress window in bedroom in upstairs apartment. **After discussion with Greg C. and further code review for existing buildings, this window will not have to be replaced.**

4. Regarding basement:
 - Boiler room need sprinkler head; can do off domestic- ask plumber.
 - Boiler room ceiling must be sealed for smoke protection by caulking and patching any holes.
 - Doors from boiler room to family room and storage room to family room must have self closing hinges. Must cut door bottoms if necessary to ensure self closing without dragging.
 - Reinstall hardwired smoke detector in office. Install new hardwired smoke detector in family room (one in family room could be in wall if 4-12 inches down from ceiling). **Interconnected battery back up.**
 - Kitchen ceiling cannot be hung. **Or maintain 7' finished height**

These minutes accepted unless Michael notified otherwise within 7 days of emailing them.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 142 PLEASANT AVENUE		
Total Square Footage of Proposed Structure/Area: 3,135 (INCLUDING EXISTING HOUSE AND CARPORT & NEW STAIR)		Square Footage of Lot: 7,980 40% = 3,192
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 131 6 3	Applicant * must be owner, Lessee or Buyer* Name ARYPO PAPPAIS Address 142 PLEASANT AVE. City, State & Zip PORTLAND ME. 04103	Telephone: 207 775.1104
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name ARYPO PAPPAIS MANOUCOS Address SAME AS ABOVE City, State & Zip	Cost Of Work: \$ 3,900.- C of O Fee: \$ Total Fee: \$ 60
Current legal use (i.e. single family) <u>Single family w/ apartment</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>legalizing second apartment</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>This packet shows unfeasibility of new interior stair and proposed exterior stair (14-440). This project connected to 070349. Applying for okay for proposed exterior stair and building permit for it.</u>		
Contractor's name: <u>LUKE BOYLE</u> Address: <u>109 Harris Ave</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>207.332.9609</u> Who should we contact when the permit is ready: <u>Luke Boyle</u> Telephone: <u>207.332.9609</u> Mailing address: <u>above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: May 16, 2008

This is not a permit; you may not commence ANY work until the permit is issue

ARYPO PAPPAIS MANOUCOS

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CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas M. Markley

Signature of Inspections Official

Date

6/10/08

Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0534	Date Applied For: 05/19/2008	CBL: 131 G003001
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Location of Construction: 142 PLEASANT AVE	Owner Name: PAPPAS ARGYRO C	Owner Address: 142 PLEASANT AVE	Phone:
Business Name:	Contractor Name: Luke Boyle	Contractor Address: 109 Harris Ave Portland	Phone (207) 332-9609
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: 3 unit - connected with pending permit #070349 - Proposed exterior stair for additional egress to permit 3rd unit - connected with pending permit #070349	Proposed Project Description: Proposed exterior stair for additional egress to permit 3rd unit - connected with pending permit #070349
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/27/2008**Note:** Using section 14-440. Applicant has shown that a second internal stairway is not feasible because of the economic cost and the impact on the existing dwellings. The exterior fire escape is built on the side, and it encroaches into the front and side setback the minimum amount possible to still meet code. **Ok to Issue:**

- 1) The legal use of this building is connected to permit #07-0349.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/10/2008**Note:** **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 05/27/2008**Note:** **Ok to Issue:**

- 1) The entire structure shall comply with NFPA 101 "Existing Apartments"
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 2) All construction shall comply with NFPA 101

for such setback reduction shall be responsible for recording this instrument in the Cumberland County Registry of Deeds within sixty (60) days of the planning board's grant of the reduction. Failure to record such instrument within the required time period shall render the reduction null and void.

(Ord. No. 227-97, 3-17-97)

Sec. 14-440. Exterior egress.

Notwithstanding any other provision of this Code, the building authority may permit the installation of an exterior egress stair or an upgrade of an existing exterior fire escape for a conforming or lawfully nonconforming dwelling unit existing as of January 5, 1998, if such egress is required to meet current fire or other life safety codes, provided that the owner demonstrates to the building authority that:

- (a) There is no practical and economically reasonable way to provide such egress within the interior of the building, as demonstrated by the submission of detailed floor plans showing the projected cost of and the impact on the existing dwelling from an interior stair; *cost shown* - more kitchenward - smaller rooms
- (b) The stairway and associated landings and other building fixtures are designed and will be constructed to have a minimal visual impact upon the building, especially as viewed from any public way or public open space, as demonstrated by photographs of the front and any other affected facades of the building and plans or drawings of the proposed egress stairs; *- not located in front - stairs go towards the back*
- (c) Reductions to setbacks granted under this section shall be the least amount required to meet life safety code requirements; and
- (d) Exterior stairways on buildings subject to regulation under article IX of this chapter shall require review and approval under the provisions of that article.

(Ord. No. 181-98, 1-5-98)

- Sec. 14-441. Reserved.
Sec. 14-442. Reserved.
Sec. 14-443. Reserved.
Sec. 14-444. Reserved.

Boyle & Son Remodeling
109 Harris Avenue
Portland ME 04103

Contractor's Estimate

Project: Interior stair estimate
Pappas-Manjounes
142 Pleasant Ave
Portland ME

Scope: Demolition and remodeling for new interior stair to meet egress code

Breakdown:

ITEM	COST (Mat. & labor)
Div. 1 General Conditions	
Staging for materials, dumpster, setup, etc.	\$1,500
Div. 2 Site Work	
Demolition	\$4,000
Div. 3 Concrete	
3 sonotubes	\$400
Div. 4 Masonry	
New chimney	\$5,000
Div. 6 Wood	
New stair walls 1 st and 2 nd floors	\$3,000
New partition in bath	\$200
Framing for new chimney and patch old	\$500
Frame in old doorways Foyer /Hall	\$500
New exterior stair pt wood with handrails	\$800
New pull down attic stair	\$400
Div. 7 Thermal & Moisture	
Patch at new exterior door	\$400
Patch old chimney shingles and flash new chimney	\$300
Div. 8 Doors & Windows	
New 3' exterior door	\$1,500
New 3' interior door	\$900
New 30" interior door	\$500
New egress window	\$1,000
Div. 9 Finishes	
New Drywall 5/8" for new stair, and misc. patching	\$1,500
Wood stair rise, run, trim, handrails, etc. for stair	\$5,000
Tile patching in bath and kitchen	\$3,000
New painting for new stair int/ ext. and liv, din, foyer, bath	\$4,000
Div. 15 Plumbing & Heating	
New boiler hookup to new chimney	\$500

New gas wall mount heater for stair	\$1,200
New plumbing for relocated kitchen sink and bath tub	\$2,500
Div. 16 Electrical	
Allowance for new lighting exterior and interior for stair	\$3,000
Subtotal	\$41,600
OH and Profit 15%	\$6,240
Total Estimate for new interior stair	\$47,840.



142 PLEASANT AVE SHOWING SIDE OF HOUSE WHERE NEW STAIR WILL BE.



142 PLEASANT AVE - SIDE WHERE NEW STAIR TO GO ON LEFT - NOT FRONT
15

From: Michael Belleau <michael@michaelbelleau.com>
To: Mike Menario <mem@portlandmaine.gov>
Date: 11/20/2008 2:55:39 PM
Subject: 142 Pleasant Ave info

George Manjounes (and Argyro Pappas wife and owner)
(207) 775-1104
oamgdm@msn.com
142 Pleasant Ave.
Portland ME 04103

Contractor:
Luke Boyle
boyle4@yahoo.com
207.332.9609

Michael Belleau Architect
61 Pleasant Street, Suite 104D
Portland ME 04101
(207)874-7668
www.michaelbelleau.com

Mike Handball - C: 409-3740

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11/23/07 Greg DePake w/ Architect about 2 means - will revise.

Title 25 § 2453

Fire escapes; appeals

08-0534

State Statute

Trumps NFPA 101

Each story above the first story of a building used as a schoolhouse, orphan asylum, hospital for the mentally ill, reformatory, opera house, hall for public assemblies, hotel or tenement house occupied by more than 2 families, or store in which more than 10 persons are employed above the first story, must be provided with more than one way of egress, by stairways on the inside or fire escapes on the outside of such building. Such stairways and fire escapes must be so constructed, in such a number, or such size and in such location as to give reasonably safe, adequate and convenient means of exit, in view of the number of persons who may need to use such stairway or fire escape, must at all times be kept free from obstruction and must be accessible from each room in each story above the first story.

Any apartment building of 3 stories or less in its entirety is permitted to have a single exit under the condition that the building is protected throughout by an approved automatic sprinkler system, meets the requirements of the applicable chapter of the National Fire Protection Association Life Safety Code and every sleeping room has a 2nd means of escape.

An individual, partnership or corporation may not offer for sale in this State, any type of fire escape device or fire alarm systems unless first securing approval of the Commissioner of Public Safety.

Any person or corporation aggrieved by any order of the commissioner issued under this section may appeal to the Superior Court by filing within 30 days from the effective date of such order a complaint and the court shall fix a time and place of hearing and cause notice of the time and place to be given to the commissioner and, after the hearing, the court may affirm or reverse in full or in part any such order of the commissioner and the decision of the court is final. If the commissioner in the interest of public safety, because the commissioner determines there is immediate danger, forbids the use of such buildings for any public purpose until satisfactory compliance with the commissioner's order, such order becomes effective immediately and the filing of the complaint may not operate as a stay.

Title 25 § 2463

Installation of sprinkler systems and smoke, heat or fire detection systems

All new hotels constructed after January 1, 1992 of any type construction having 2 stories or more above grade level, must be protected by a complete approved automatic sprinkler system.

All high-rise buildings constructed after January 1, 1992 of any type construction must be protected by a complete approved automatic sprinkler system.

All other hotels having 2 stories or more above grade level must be protected by a complete approved smoke, heat or fire detection system operated by electrical current or powered by batteries by July 1, 1981.

131-G-003

Michael Belleau Architect 61 Pleasant St., Suite 104D Portland ME 04101 207.874.7668

Michael Belleau
Michael Belleau Architect

October 12, 2007

City of Portland
Jeannie Bourke
Division Director Insp. Services - Planning & Development Dept.
389 Congress St.
Portland ME 04101-3509

Dear Ms. Bourke,

I have been retained to work out a plan to handle the egress requirements at 142 Pleasant Avenue in Portland. The building has 3 apartments and one has never been legalized. The client, George Manjounes and Argyro Pappas have applied for this. I have met with you once to discuss the options.

I have looked into the requirements according to NFPA Life Safety Code 101 2006 edition and the IBC International Building Code 2003 edition and have found a place in each (see attached Xeroxes) which stipulates that only one egress is necessary for the second floor apartment if that egress leads directly to the outside and is fire rated for one hour. I would like your approval to use this exception.

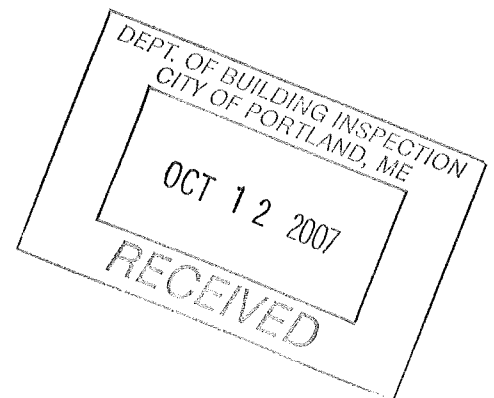
I look forward to meeting with you and your approval. As winter is approaching, any work will have to commence in the spring. My client has complied with all city requests that we know of and is eager to complete this process.

Yours, Michael Belleau



Attached:

Copy of NFPA item 30.2.4.2 under "New Apartment Buildings"
Copy of IBC table 1018.2 "Buildings With One Exit"
Plan of existing first floor on site and second floor
Code Review information



Pannas Maniounes House 142 Pleasant Ave Portland ME 04103

Property: 142 Pleasant Ave, Portland ME 04103

Met with Marge Schmuckal, Code Enforcement in June 2007:

City of Portland Cod of Ordinances Land Use Chapter 14

2001 Zoning Map shows in R5 residential zone

14-117 Permitted uses.

(a) Residential:

2. Multiplex development with three or more....units.... (all this applies because application for legalizing units is being done now.)

- a. 6,000 s.f. of land area per unit (Marge says don't have to meet this).
- b. 600 s.f. min. per unit (Marge says don't have to meet this).
- c. No open outside stairways or fire escapes above the ground floor.
- d. No basement space for unit unless unless part of unit with space above.
- e. Development subject to Article V site plan review approval. (this does not apply if exterior addition is 500s.f. or less in which case you have to apply for an exemption- "Application for Exemption From Site Plan Review")

14-118. Conditional uses. (this section does not apply according to Marge).

Marge says they don't have the units legalized at city hall so must go through process to legalize them. Use 14-391. Client has already applied which has generated the inspection. Must meet NFPA and city code. If units there prior to 4/1/95 don't have to do 6,000 s.f. per unit and or size of unit or parking

Setbacks: (any addition must meet setbacks and coverage, etc.) 20 front; 20 back; 14 side for 2 1/2 stories (I looked it up and is 12 feet for 2 story bldg. (house has no attic); 15 side street setback; 40% maximum building footprint (includes roofed carport, garage, wood stairs and decks, etc. but not stone paving, asphalt, etc.)

Met with Jeanie Bourke, Inspection Services Division in June 2007:

Don't need second egress from apartment unit one because door is from bedroom.

Other 2 units must have egress windows in all bedrooms. Don't need second egress from their unit because there are 2 means of egress from first floor. Existing stairs do not need to be made to conform except as mentioned in inspection sheet. No spiral egress stair allowed.

Further investigation found following exceptions:

NFPA 101 2006

New Apartment Buildings

30.2.4.2 (3) direct access stair from only that unit to outside with one hour barrier allows single exit from that dwelling unit.

IBC 2003 Table 1018.2 "Buildings With One Exit"

R-2, 2 stories, max. occupants per floor and travel distance: 4 dwelling units and 50 feet travel distance.

30.2.2.2.2.1* No door in any means of egress shall be locked against egress when the building is occupied.

30.2.2.2.2.2 Delayed-egress locks complying with 7.2.1.6.1 shall be permitted, provided that not more than one such device is located in any one egress path.

30.2.2.2.2.3 Access-controlled egress doors complying with 7.2.1.6.2 shall be permitted.

30.2.2.2.2.3 Revolving doors complying with 7.2.1.10 shall be permitted.

30.2.2.2.2.4 Horizontal-sliding doors, as permitted by 7.2.1.14, shall not be used across corridors.

30.2.2.2.2.5 Apartment occupancies shall be exempt from the re-entry provisions of 7.2.1.5.7 where the exit enclosure serves directly only one dwelling unit per floor, and such exit is a smokeproof enclosure in accordance with 7.2.3.

30.2.2.3 Stairs.

30.2.2.3.1 Stairs complying with 7.2.2 shall be permitted.

30.2.2.3.2 Reserved.

30.2.2.3.3 Spiral stairs complying with 7.2.2.2.3 shall be permitted within a single dwelling unit.

30.2.2.3.4 Winders complying with 7.2.2.2.4 shall be permitted within a single dwelling unit.

30.2.2.4 Smokeproof Enclosures. Smokeproof enclosures complying with 7.2.3 shall be permitted.

30.2.2.5 Horizontal Exits. Horizontal exits complying with 7.2.4 shall be permitted.

30.2.2.6 Ramps. Ramps complying with 7.2.5 shall be permitted.

30.2.2.7 Exit Passageways. Exit passageways complying with 7.2.6 shall be permitted.

30.2.2.8 Reserved.

30.2.2.9 Reserved.

30.2.2.10 Fire Escape Ladders. Fire escape ladders complying with 7.2.9 shall be permitted.

30.2.2.11 Alternating Tread Devices. Alternating tread devices complying with 7.2.11 shall be permitted.

30.2.2.12 Areas of Refuge.

30.2.2.12.1 Areas of refuge complying with 7.2.12 shall be permitted, as modified by 30.2.2.12.2.

30.2.2.12.2* In buildings protected throughout by an approved, supervised automatic sprinkler system in accordance with 30.3.5, the two accessible rooms or spaces separated from each other by smoke-resistive partitions in accordance with the definition of area of refuge in 3.3.18 shall not be required.

30.2.3 Capacity of Means of Egress.

30.2.3.1 The capacity of means of egress shall be in accordance with Section 7.3.

30.2.3.2 Street floor exits shall be sufficient for the occupant load of the street floor plus the required capacity of stairs and ramps discharging onto the street floor.

30.2.3.3 Corridors with a required capacity of more than 50 persons, as defined in Section 7.3, shall be of sufficient

width to accommodate the required occupant load but have a width of not less than 44 in. (1120 mm).

30.2.3.4 Corridors with a required capacity of not more than 50 persons, as defined in Section 7.3, shall be not less than 36 in. (910 mm) in width.

30.2.4 Number of Exits. The minimum number of exits shall comply with 30.2.4.1, 30.2.4.2, or 30.2.4.4. (See also Section 7.4.)

30.2.4.1 Unless otherwise permitted by 30.2.4.2, every dwelling unit shall have access to at least two separate exits remotely located from each other as required by 7.5.1.

30.2.4.2 Any dwelling unit shall be permitted to have a single exit, provided that one of the following criteria is met:

- (1) The dwelling unit has an exit door opening directly to the street or yard at ground level.
- (2) The dwelling unit has direct access to an outside stair that complies with 7.2.2 and serves a maximum of two units, both of which are located on the same floor.
- (3) The dwelling unit has direct access to an interior stair that serves only that unit and is separated from all other portions of the building by fire barriers having a minimum 1-hour fire resistance rating, with no opening therein.

30.2.4.3 Reserved.

30.2.4.4 Any building that is protected throughout by an approved, supervised automatic sprinkler system installed in accordance with 30.3.5, has four or fewer stories, and has not more than four dwelling units per story shall be permitted to have a single exit, provided that all of the following conditions apply:

- (1) The stairway is separated from the rest of the building by barriers having not less than a 1-hour fire resistance rating, with self-closing 1-hour fire door assemblies protecting all openings between the stairway enclosure and the building.
- (2) The stairway does not serve more than one-half story below the level of exit discharge.
- (3) All corridors serving as access to exits have a minimum 1-hour fire resistance rating.
- (4) There is not more than 35 ft (10.7 m) of travel distance from the entrance door of any dwelling unit to an exit.
- (5) One-half-hour fire-rated horizontal and vertical separation between dwelling units is provided.

30.2.5 Arrangement of Means of Egress.

30.2.5.1 Access to all required exits shall be in accordance with Section 7.5, as modified by 30.2.5.3.

30.2.5.2 The distance between exits addressed by 7.5.1.3 shall not apply to nonlooped exit access corridors in buildings that have corridor doors from the dwelling units that are arranged such that the exits are located in opposite directions from such doors.

30.2.5.3 Common path of travel shall comply with 30.2.5.3.1 or 30.2.5.3.2.

30.2.5.3.1 No common path of travel shall exceed 35 ft (10.7 m) in buildings not protected throughout by an approved, supervised automatic sprinkler system installed in accordance with 30.3.5. Travel within a dwelling unit shall not be included when calculating common path of travel.

30.2.5.3.2 No common path of travel shall exceed 50 ft (15 m) in buildings protected throughout by an approved, supervised automatic sprinkler system installed in accordance with 30.3.5.

TABLE 1018.1
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD

OCCUPANT LOAD	MINIMUM NUMBER OF EXITS
1-500	2
501-1,000	3
More than 1,000	4

1018.1.1 Open parking structures. Parking structures shall not have less than two exits from each parking tier, except that only one exit is required where vehicles are mechanically parked. Unenclosed vehicle ramps shall not be considered as required exits unless pedestrian facilities are provided.

1018.1.2 Helistops. The means of egress from helistops shall comply with the provisions of this chapter, provided that landing areas located on buildings or structures shall have two or more exits. For landing platforms or roof areas less than 60 feet (18 288 mm) long, or less than 2,000 square feet (186 m²) in area, the second means of egress is permitted to be a fire escape or ladder leading to the floor below.

1018.2 Buildings with one exit. Only one exit shall be required in buildings as described below:

- Buildings described in Table 1018.2, provided that the building has not more than one level below the first story above grade plane.
- Buildings of Group R-3 occupancy.
- Single-level buildings with the occupied space at the level of exit discharge provided that the story or space complies with Section 1014.1 as a space with one means of egress.

TABLE 1018.2
BUILDINGS WITH ONE EXIT

OCCUPANCY	MAXIMUM HEIGHT OF BUILDING ABOVE GRADE PLANE	MAXIMUM OCCUPANTS (OR DWELLING UNITS) PER FLOOR AND TRAVEL DISTANCE
A, B ^d , E, F, M, U	1 Story	50 occupants and 75 feet travel distance
H-2, H-3	1 Story	3 occupants and 25 feet travel distance
H-4, H-5, I, R	1 Story	10 occupants and 75 feet travel distance
S ^a	1 Story	30 occupants and 100 feet travel distance
B ^b , F, M, S ^a	2 Stories	30 occupants and 75 feet travel distance
R-2	2 Stories ^c	4 dwelling units and 50 feet travel distance

For SI: 1 foot = 304.8 mm.

- For the required number of exits for open parking structures, see Section 1018.1.1.
- For the required number of exits for air traffic control towers, see Section 412.1.
- Buildings classified as Group R-2 equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2 and provided with emergency escape and rescue openings in accordance with Section 1025 shall have a maximum height of three stories above grade.
- Buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 with an occupancy in Group B shall have a maximum travel distance of 100 feet.

1018.3
point

1018.4
meet t

continuous fr
large.

r arrange:
through 101.

SECTION 1019
VERTICAL EXIT ENCLOSURES

1019.1 Enclosures required. Interior exit stairways and exterior exit ramps shall be enclosed with fire barriers. Exit enclosures shall have a fire-resistance rating of not less than 2 hours where connecting four stories or more and not less than 1 hour where connecting less than four stories. The number of exits connected by the shaft enclosure shall include any base enclosure but not any mezzanines. An exit enclosure shall not be used for any purpose other than means of egress. Enclosures shall be constructed as fire barriers in accordance with Section 707.2.

Exceptions:

- In other than Group H and I occupancies, a stairway serving an occupant load of less than 10 not more than one story above the level of exit discharge is not required to be enclosed.
- Exits in buildings of Group A-5 where all portions of the means of egress are essentially open to the outdoors need not be enclosed.
- Stairways serving and contained within a single residential dwelling unit or sleeping unit in occupancies in Group R-2 or R-3 and sleeping units in occupancies in Group R-1 are not required to be enclosed.
- Stairways that are not a required means of egress and are not required to be enclosed where such stairways comply with Section 707.2.
- Stairways in open parking structures which serve the parking structure are not required to be enclosed.
- Stairways in occupancies in Group I-3 as provided in Section 408.3.6 are not required to be enclosed.
- Means of egress stairways as required by Section 410.5.4 are not required to be enclosed.
- In other than occupancy Groups H and I, a maximum of 50 percent of egress stairways serving one adjacent floor are not required to be enclosed, provided that at least two means of egress are provided from both floors served by the unenclosed stairways. Any two such interconnected floors shall not be open to other floors.
- In other than occupancy Groups H and I, interior egress stairways serving only the first and second stories of a building equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 are not required to be enclosed, provided that at least two means of egress are provided from both floors served by the unenclosed stairways. Such interconnected stories shall not be open to other stories.

1019.1.1 Openings and penetrations. Exit enclosure opening protectives shall be in accordance with the requirements of Section 715.

PLEASANT AVENUE SIDE

APARTMENT 1

NEW DOOR

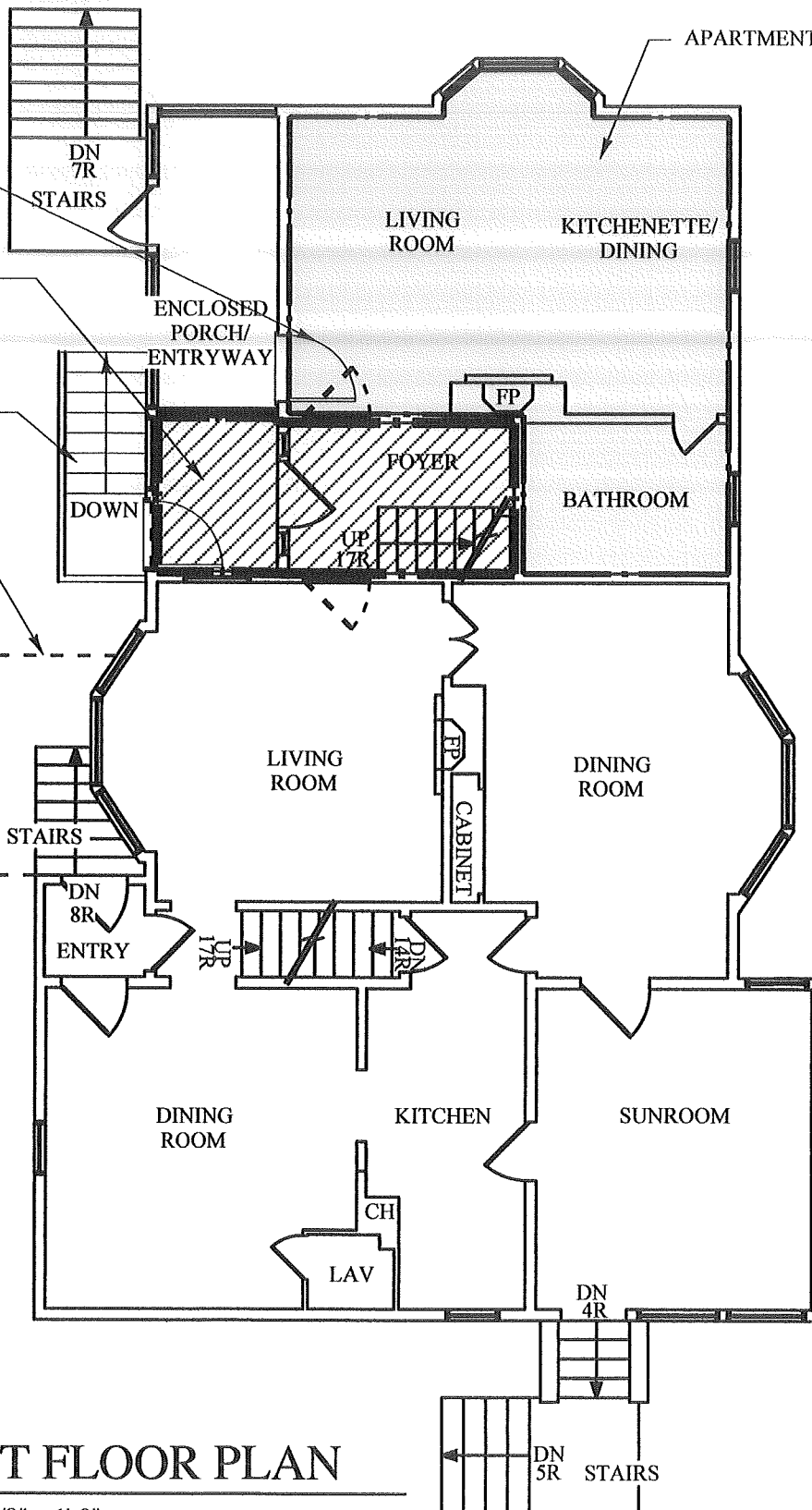
MAKE EXISTING STAIR HALL ONE HOUR RATED AND ONLY FOR UPSTAIR APARTMENT

NEW STAIR WITH 7"R, 11"T

CANOPY ROOF

LAWN AVENUE SIDE

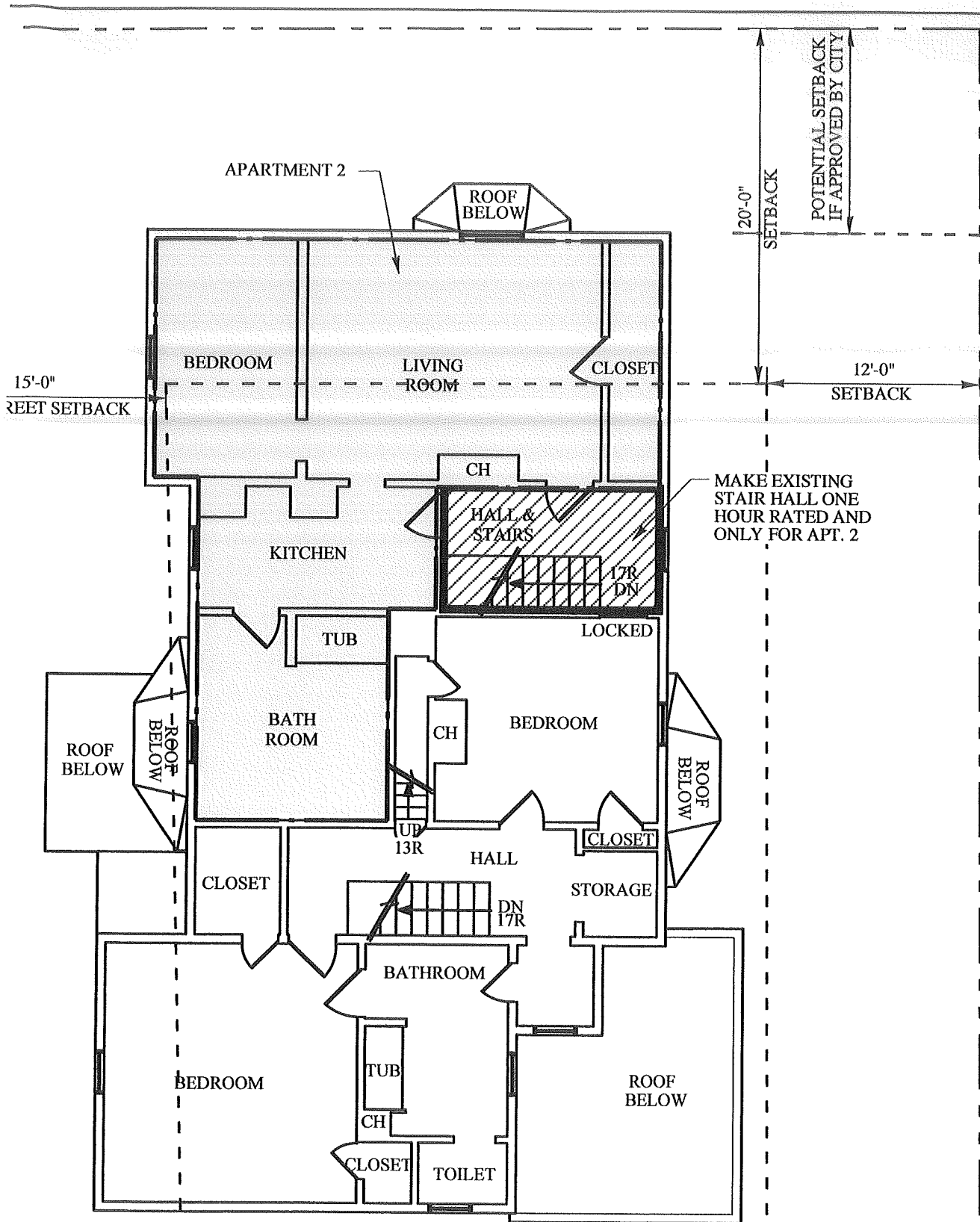
SIDE STI



2
A1.1

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



1
SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION!!

Drawing Number

A1.1

Drawing Title
FIRST & SECOND FLOOR PLANS

Date: 10/15/07 Scale: 1/8" = 1'-0"

Project Number: 07.01 Reference: NONE

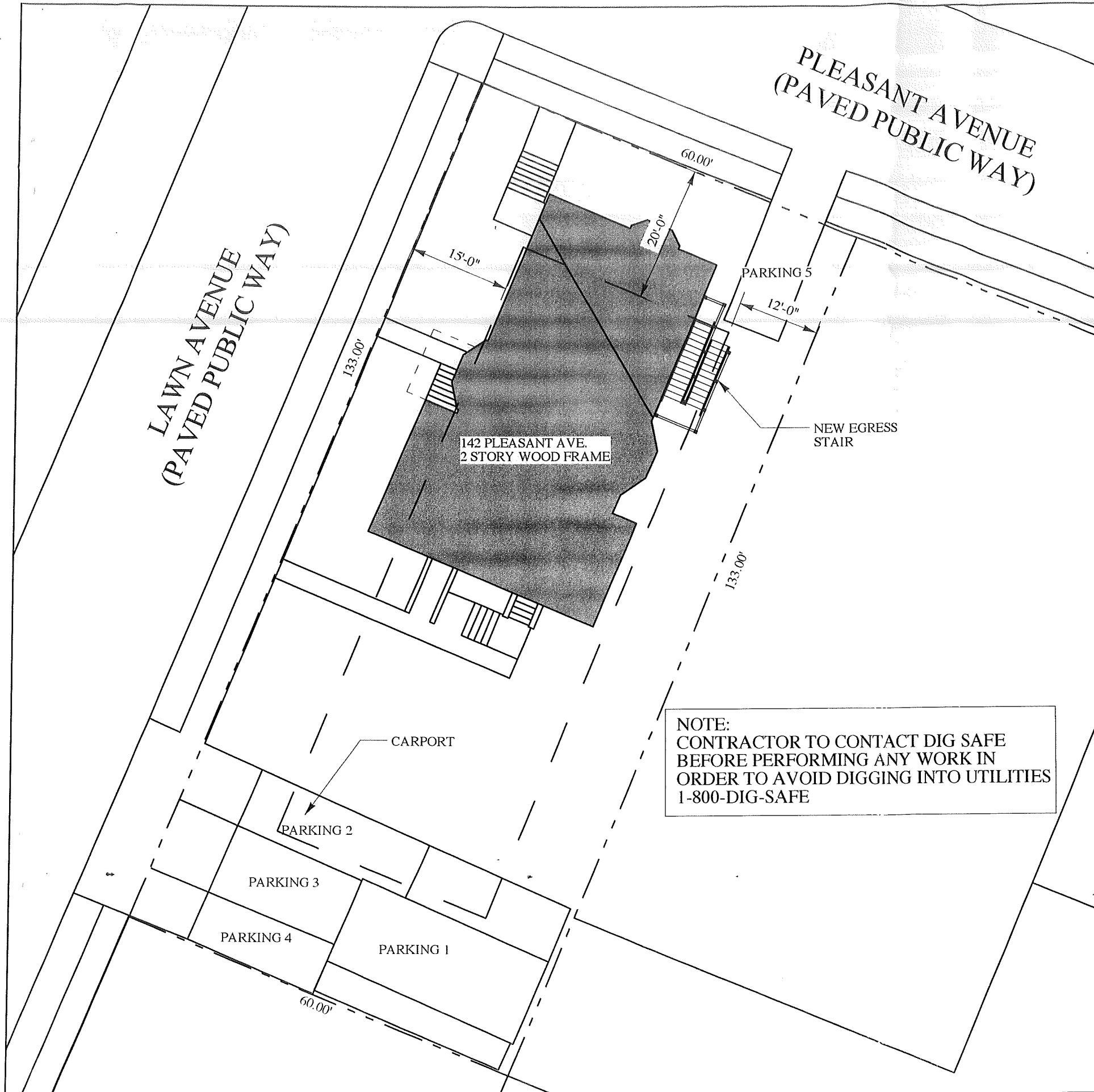
Project Title
Pappas Manjounes House
 Argyro Pappas and George Manjounes
 142 Pleasant Ave. Portland ME 04103

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 61 Pleasant Street Portland ME 04101 (207)874-7668
 www.michaelbelleau.com



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PAPPAS/ MANJOUNES STAIR

142 PLEASANT AVENUE
 PORTLAND ME 04103

MICHAEL BELLEAU ARCHITECT
 61 PLEASANT ST., SUITE 104D
 PORTLAND ME 04101
 www.michaelbelleau.com

OUTSIDE STAIR ADDITION (USING 14-440. EXTERIOR EGRESS)

DRAWINGS:

- L1 SITE PLAN/ COVER SHEET
- IA1.1 INSIDE STAIR UNFEASABILITY
- OA1.0 BASEMENT FLOOR PLAN
- OA1.1 FIRST & 2ND FLOOR PLANS
- OA2.1 FRONT AND SIDE ELEVATIONS
- OA2.2 PARTIAL LARGER STAIR ELEV.S
- OA4.1 STAIR DETAILS

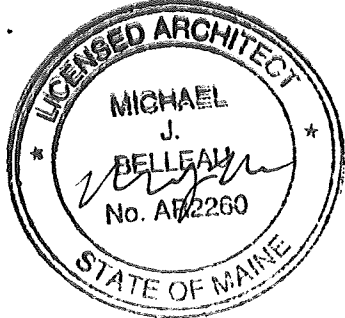
CITY OF PORTLAND, MAINE

ZONE: R5

- FRONT SETBACK: 20 FT.
(MAY BE AVERAGE OF BUILDINGS AT SIDES)
- SIDE SETBACK: 12 FT.
(FOR 2 STORY BUILD'G)
- SIDE STREET SETBACK: 15 FT.
- REAR SETBACK: 20 FT.
- HEIGHT LIMIT: 35 FT.
- MAXIMUM LOT COV: 40%

LOT AREA= 7,980 S.F.
 40% OF LOT AREA= 3,192 S.F.
 AREA OF COVERAGE INCLUDING EXISTING HOUSE AND CANOPY OVERHANGS, CARPORT AND NEW STAIR PROPOSED= 3,135 S.F.

NOTE:
 CONTRACTOR TO CONTACT DIG SAFE BEFORE PERFORMING ANY WORK IN ORDER TO AVOID DIGGING INTO UTILITIES
 1-800-DIG-SAFE

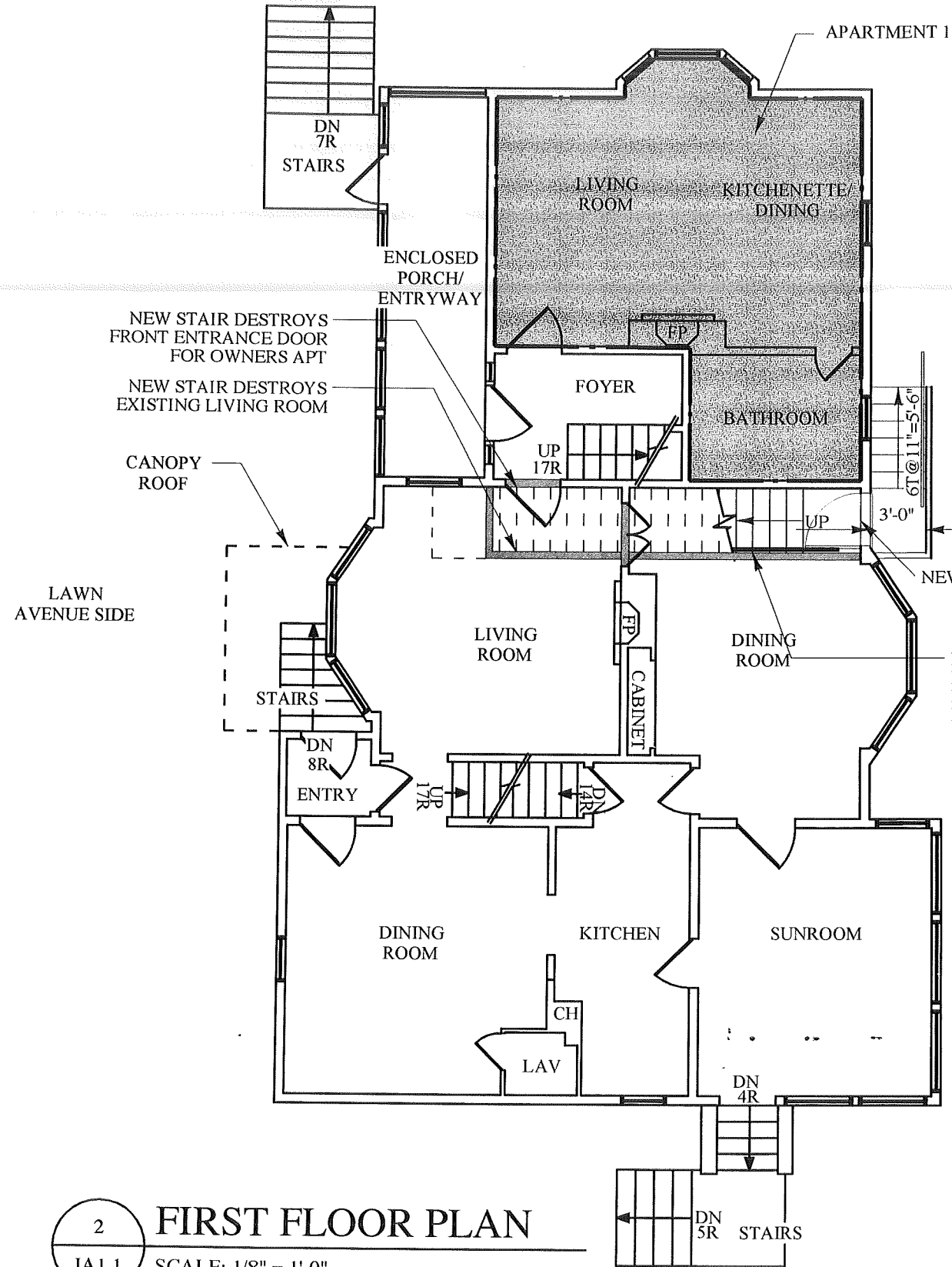


FOR BUILDING PERMIT

Project Title Pappas Manjounes House	Drawing Title SITE PLAN		Drawing Number L1
	Date: 05/15/08	Scale: 1/16" = 1'-0"	
Project Title Argyro Pappas and George Manjounes 142 Pleasant Ave. Portland ME 04103		Project Number: 07.01	Reference: NONE
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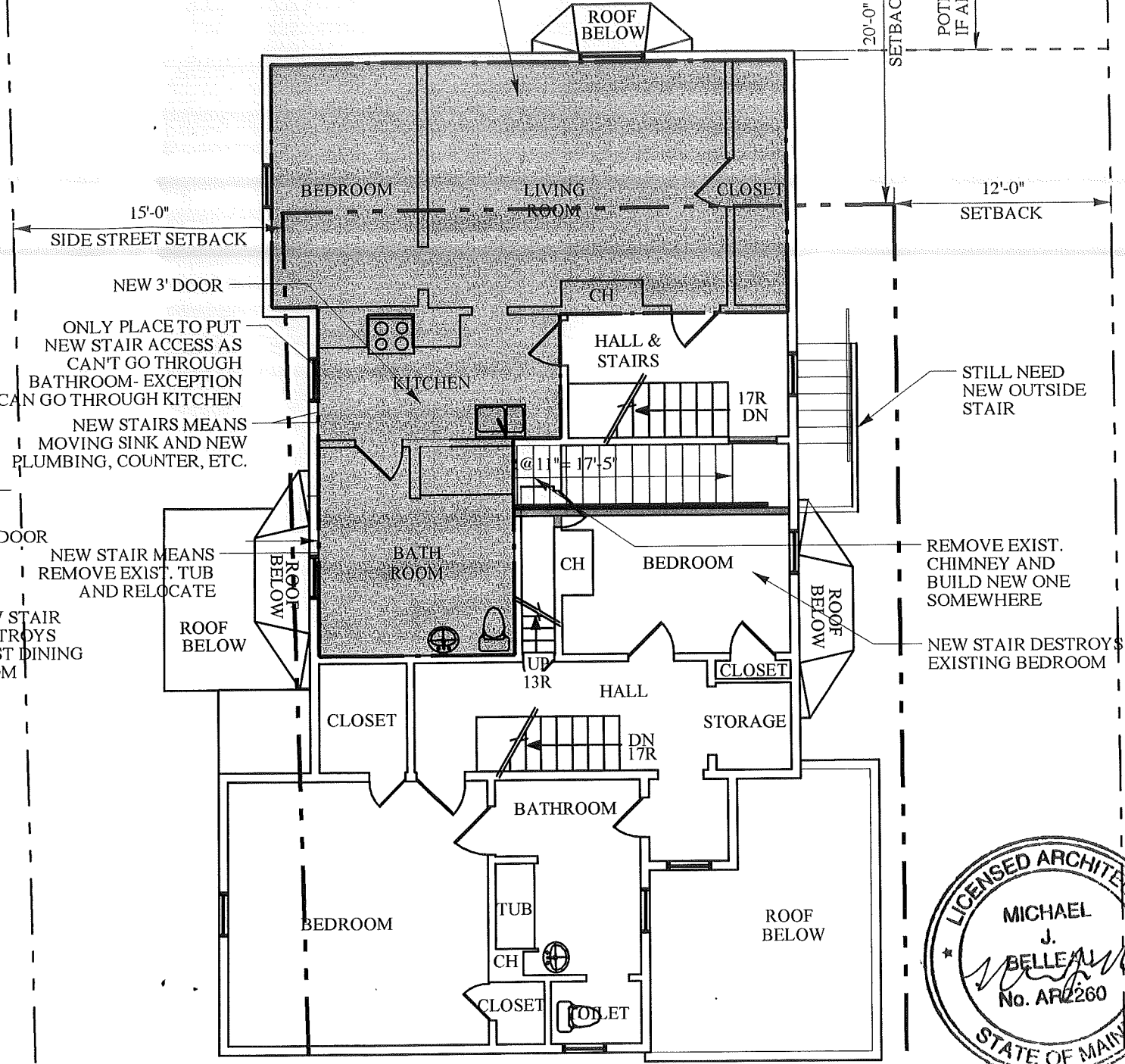
PLEASANT AVENUE SIDE



2 **FIRST FLOOR PLAN**
IA1.1 SCALE: 1/8" = 1'-0"

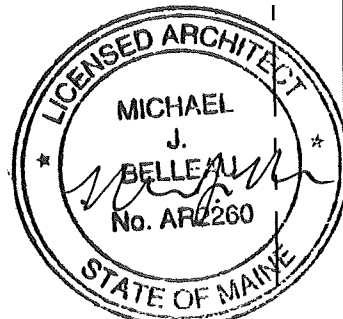
APARTMENT 1

APARTMENT 2



1 **SECOND FLOOR PLAN**
IA1.1 SCALE: 1/8" = 1'-0"

ANY NEW INTERIOR STAIR ADDED TO BUILDING TO GET 2ND MEANS OF EGRESS FOR 2ND FLOOR APARTMENT 2 IS NOT PRACTICAL OR REASONABLE AS SHOWN ABOVE AS IMPACT RUINS EXISTING APARTMENTS AND COST IS PROHIBITIVE 14-440 (a)



Drawing Number
IA1.1

Drawing Title
INSIDE STAIR FLOOR PLANS

Date: 05/15/08
Scale: 1/8" = 1'-0"

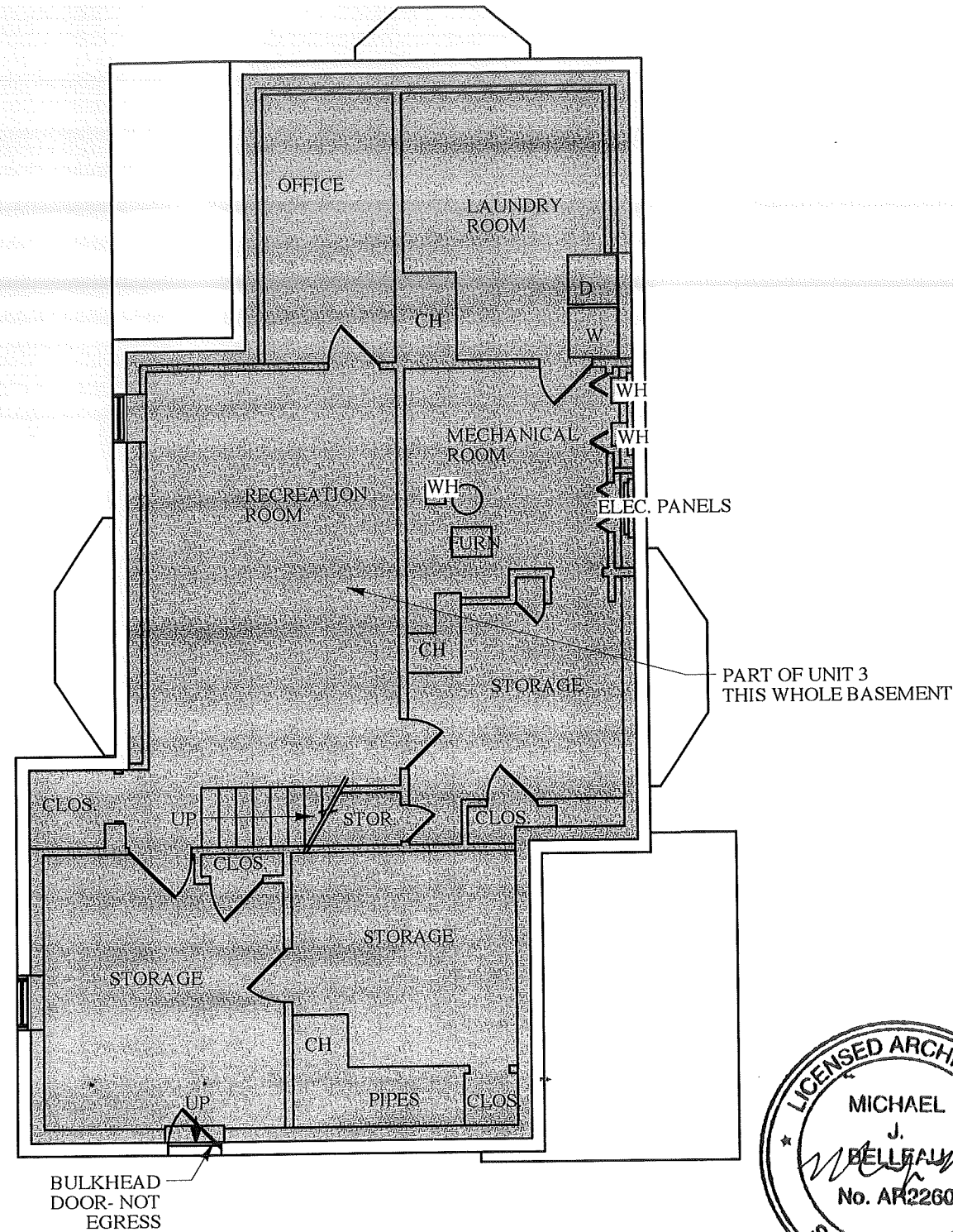
Project Number: 07.01
Reference: NONE

Project Title
Argyro Pappas and George Manjounes
142 Pleasant Ave.
Portland ME 04103

Pappas Manjounes House
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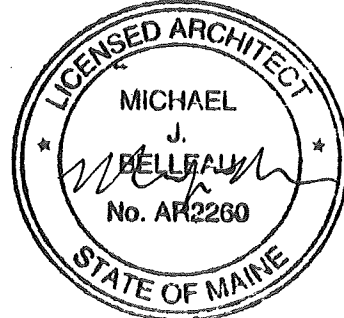
FOR BUILDING PERMIT



1
OA1.0

BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

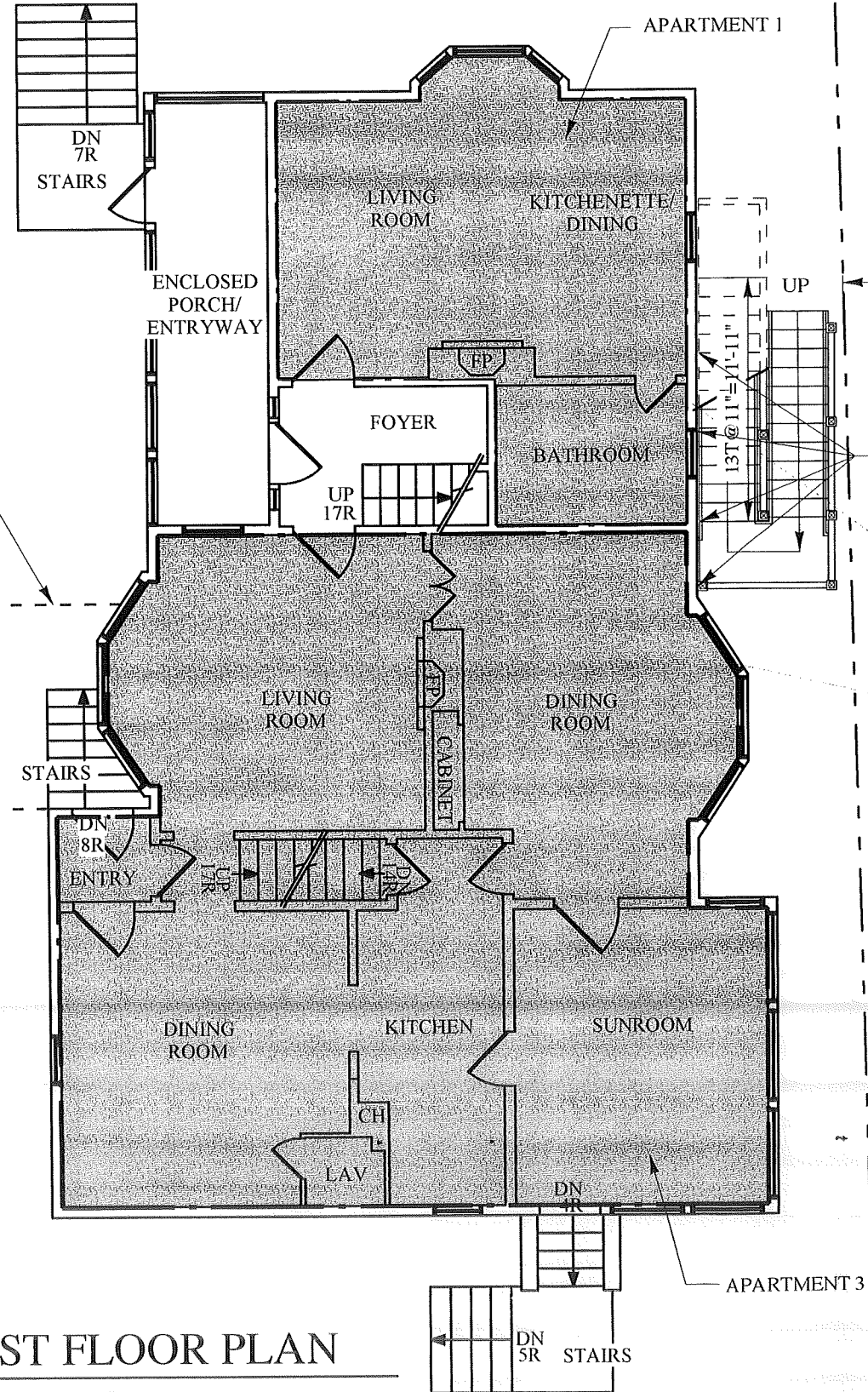


FOR BUILDING PERMIT

Project Title Pappas Manjounes House Argyro Pappas and George Manjounes 142 Pleasant Ave Portland ME 04103	Drawing Title BASEMENT PLAN		Drawing Number OA1.0
	Date: 05/15/08	Scale: 1/8" = 1'-0"	Reference: NONE
Copyright 2008 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874-7668 www.michaelbelleau.com	Project Number: 07.01		

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PLEASANT AVENUE SIDE

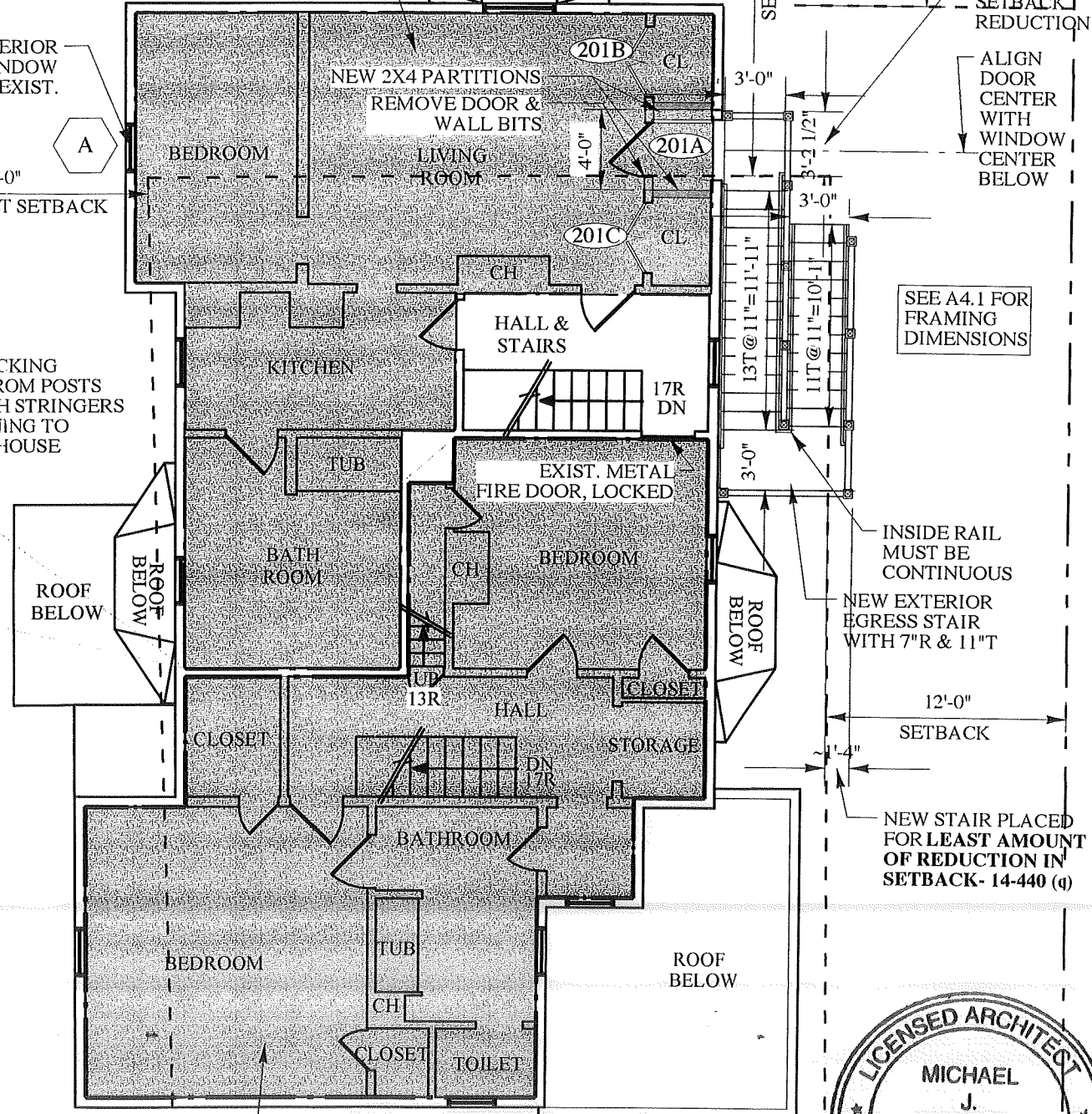


2 FIRST FLOOR PLAN
 OAI.1 SCALE: 1/8" = 1'-0"

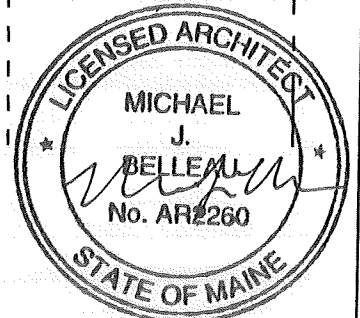
NEW EXTERIOR EGRESS WINDOW TO MATCH EXIST.
 15'-0" SIDE STREET SETBACK

2X PT BLOCKING ACROSS FROM POSTS TO ATTACH STRINGERS AND FRAMING TO EXISTING HOUSE WALL

APARTMENT 2



1 SECOND FLOOR PLAN
 OAI.1 SCALE: 1/8" = 1'-0"

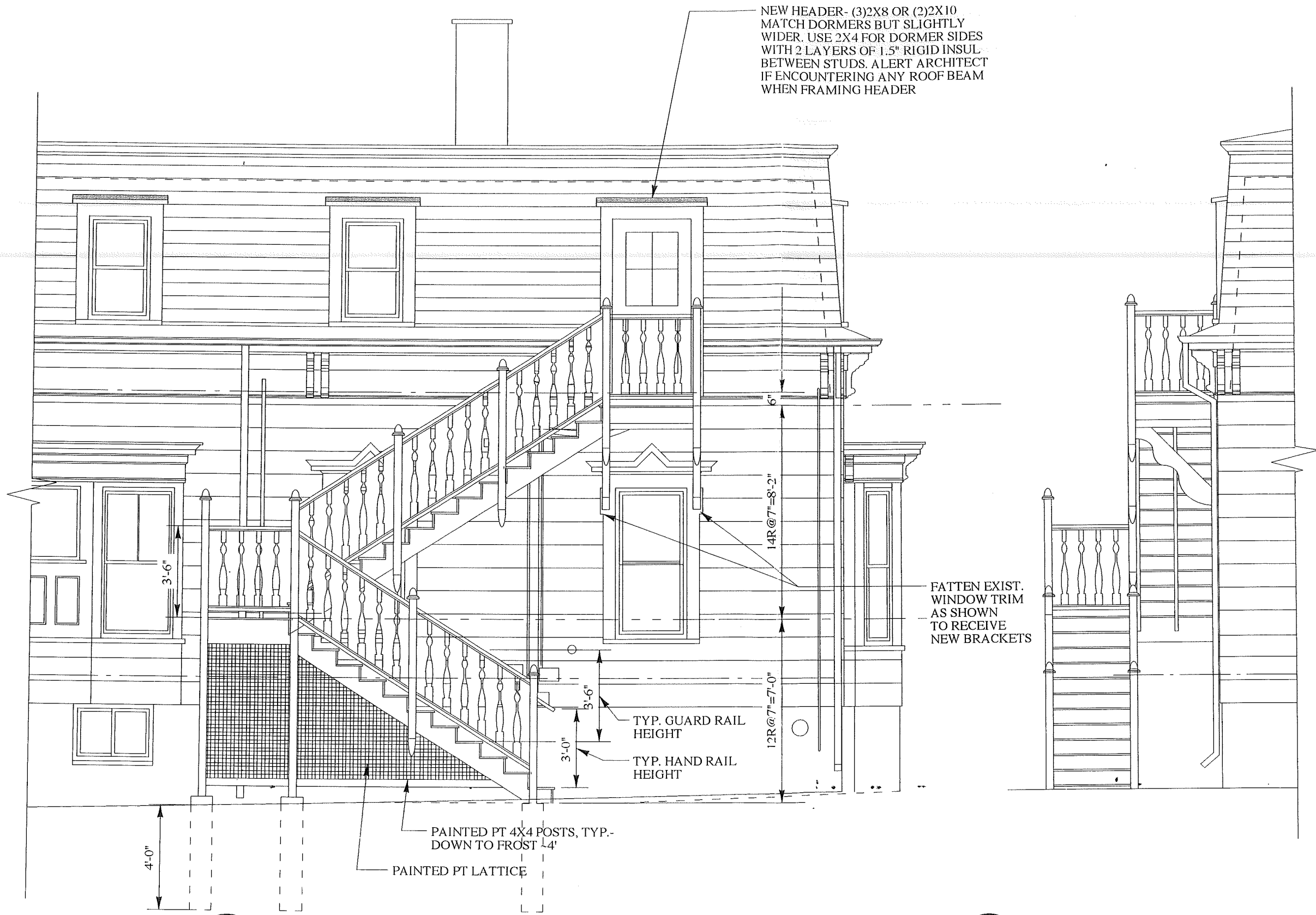


FOR BUILDING PERMIT

Drawing Number **OAI.1**

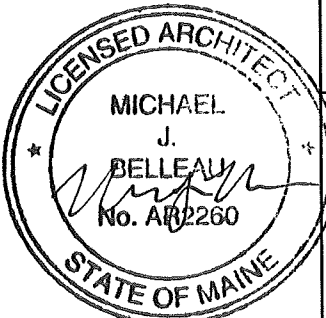
Drawing Title OUTSIDE STAIR FLOOR PLANS	Scale: 1/8" = 1'-0" Reference: NONE
Date: 05/15/08	Project Number: 07.01
Project Title: Pappas Manjounes House Architect: Michael Belleau Architect Address: 142 Pleasant Ave, Portland ME 04103 Phone: (207)874-7608 Website: www.michaelbelleau.com	

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1 BACK OF HOUSE PARTIAL ELEV.
 OA2.2 SCALE: 1/4" = 1'-0"

2 FRONT OF HOUSE PARTIAL ELEV.
 OA2.2 SCALE: 1/4" = 1'-0"



Drawing Number
OA2.2

Drawing Title
OUTSIDE STAIR LARGE ELEV.
 Date: 05/15/08 Scale: 1/4" = 1'-0"
 Project Number: 07.01 Reference: NONE

Project Title
 Pappas Manjounes House
 Project Location
 Argyro Pappas and George Manjounes
 142 Pleasant Ave.
 Portland ME 04103
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WINDOW SCHEDULE

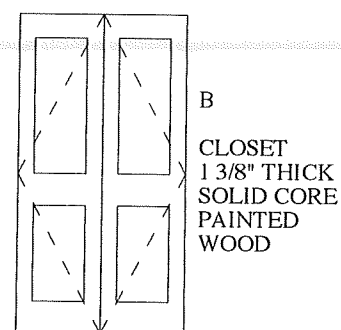
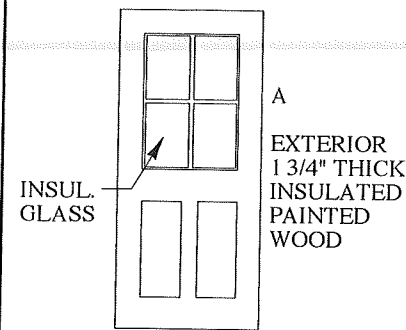
ALL WINDOWS TO HAVE INSULATED GLASS WITH ARGON- ALL OPERABLES WITH SCREENS- ALL HARDWARE TO MATCH EXISTING HOUSE WINDOWS

SYMBOL	R.O. (WxH)	TYPE	MANUFACTURER	MODEL #	LITES	DETAIL	REMARKS
A	FIT IN EXIST. OPENING	CASEMENT	OWNER'S CHOICE	-	4	-	*EGRESS WINDOW SO GET EGRESS HARDWARE OPTION * EGRESS WINDOW MUST HAVE MIN. 5.7 S.F. CLEAR OPENING AND 20" MIN. CLEAR WIDTH AND 24" MIN. CLEAR HEIGHT

DOOR SCHEDULE

ALL HARDWARE TO MATCH EXISTING ORIGINAL HOUSE DOORS- 3 BUTTS

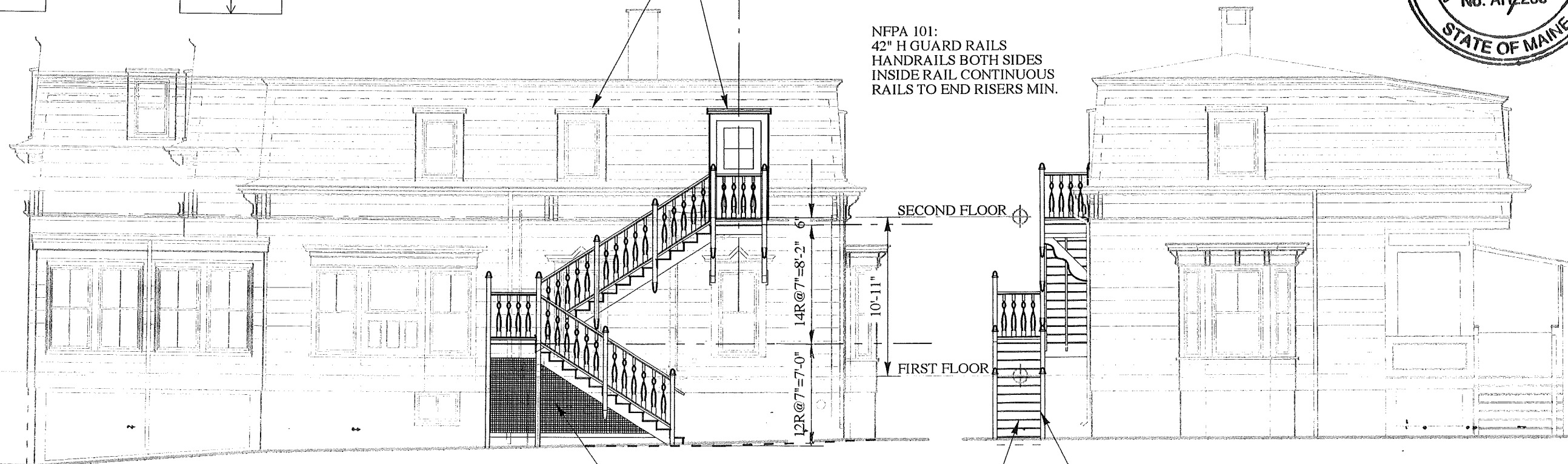
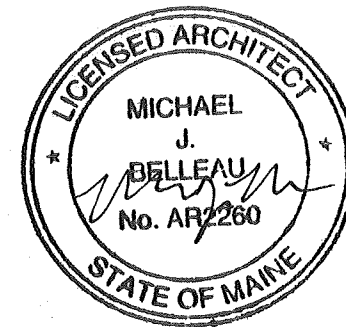
SYMBOL	SIZE (WxH)	TYPE	MANUFACTURER	MODEL #	LOCKSET	DETAIL	REMARKS
201A	3'-0" X 6'-8"	A	OWNER'S CHOICE	-	ENTRY (TENANT)	-	WEATHERSTRIP, 4" BITUTHENE ALL SIDES
201B	(2)1'-9" X 6'-8"	B	OWNER'S CHOICE	-	KNOB & CATCH	-	CLOSET DOOR
201C	(2)1'-9" X 6'-8"	B	OWNER'S CHOICE	-	KNOB & CATCH	-	CLOSET DOOR



NEW DORMER TO MATCH EXISTING DORMERS BUT SLIGHTLY WIDER AND CUTS DOWN THROUGH EAVE FOR DOOR

ALIGN NEW DORMER WITH EXISTING WINDOW BELOW

NFPA 101:
42" H GUARD RAILS
HANDRAILS BOTH SIDES
INSIDE RAIL CONTINUOUS
RAILS TO END RISERS MIN.



2 EAST ELEVATION
OA2.1 SCALE: 1/8" = 1'-0"

1 NORTH (PLEASANT AVE.) ELEVATION
OA2.1 SCALE: 1/8" = 1'-0"

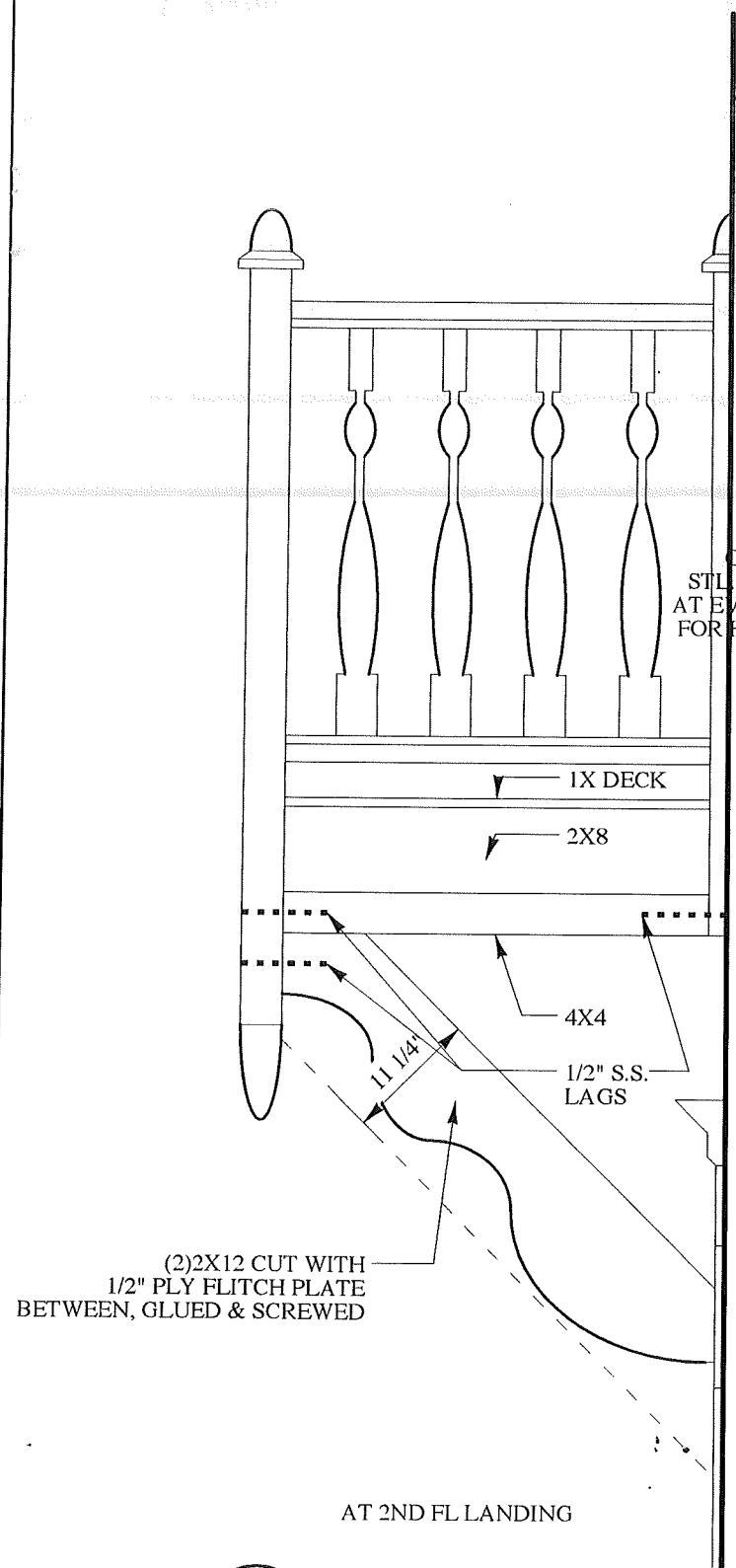
STAIR IS PLACED AT BACK OF BUILDING WITH SHORT SIDE TO STREET FOR MINIMAL VISUAL IMPACT- 14-440 (b)

SEE BLOWUP PARTIAL ELEVATIONS ON OA2.2

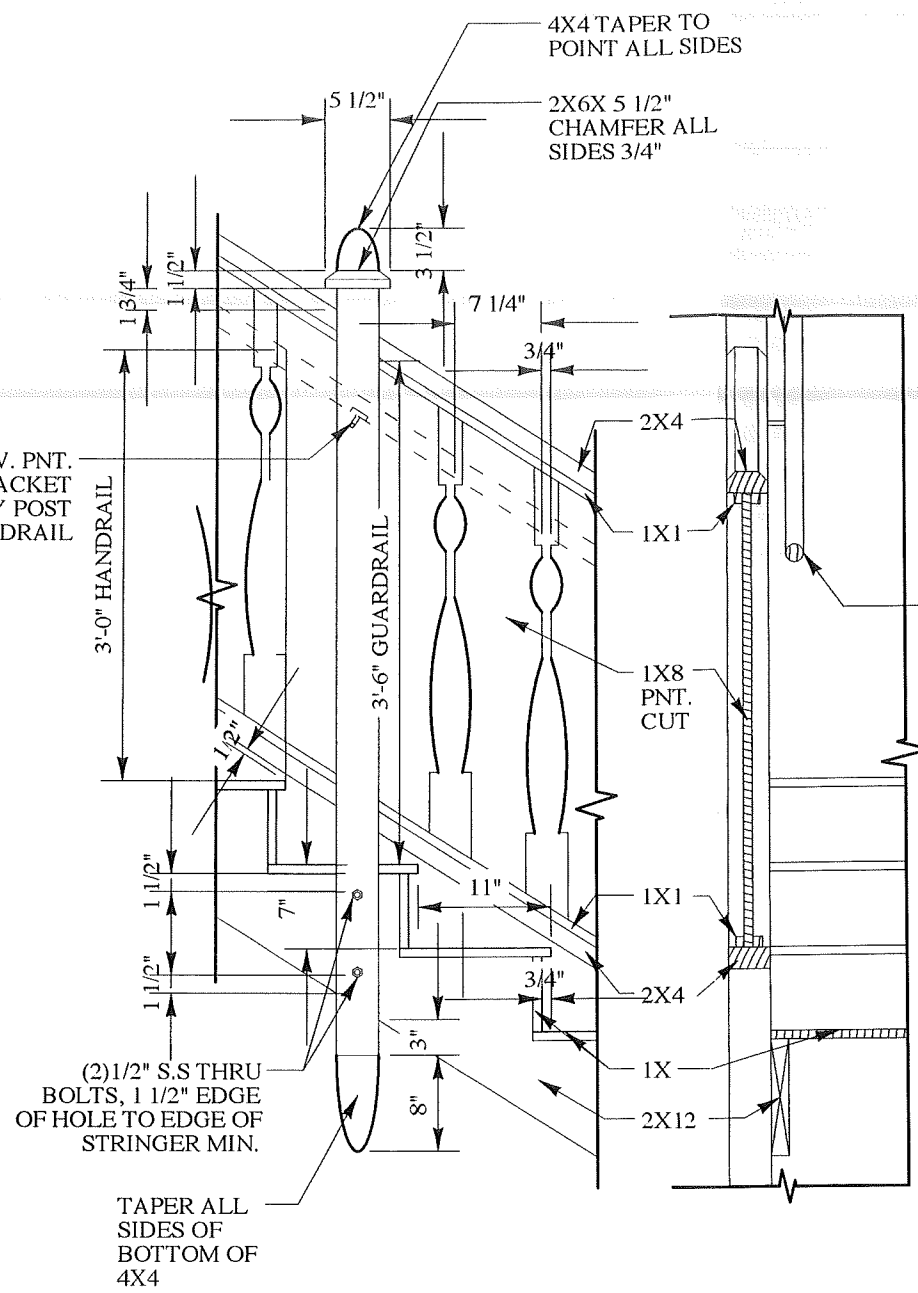
Drawing Number: **OA2.1**
 Project Title: **Pappas Manjounes House**
 Architect: **Michael Belleau Architect**
 Date: **05/15/08**
 Scale: **1/8" = 1'-0"**
 Project Number: **07.01**
 Reference: **NONE**
 Project Title: **Pappas Manjounes and George Manjounes**
 Address: **142 Pleasant Ave. Portland ME 04103**
 Copyright: **2008 Michael Belleau Architect**
 Address: **61 Pleasant Street Portland ME 04101 (207)874-7608**
 Website: **www.michaelbelleau.com**

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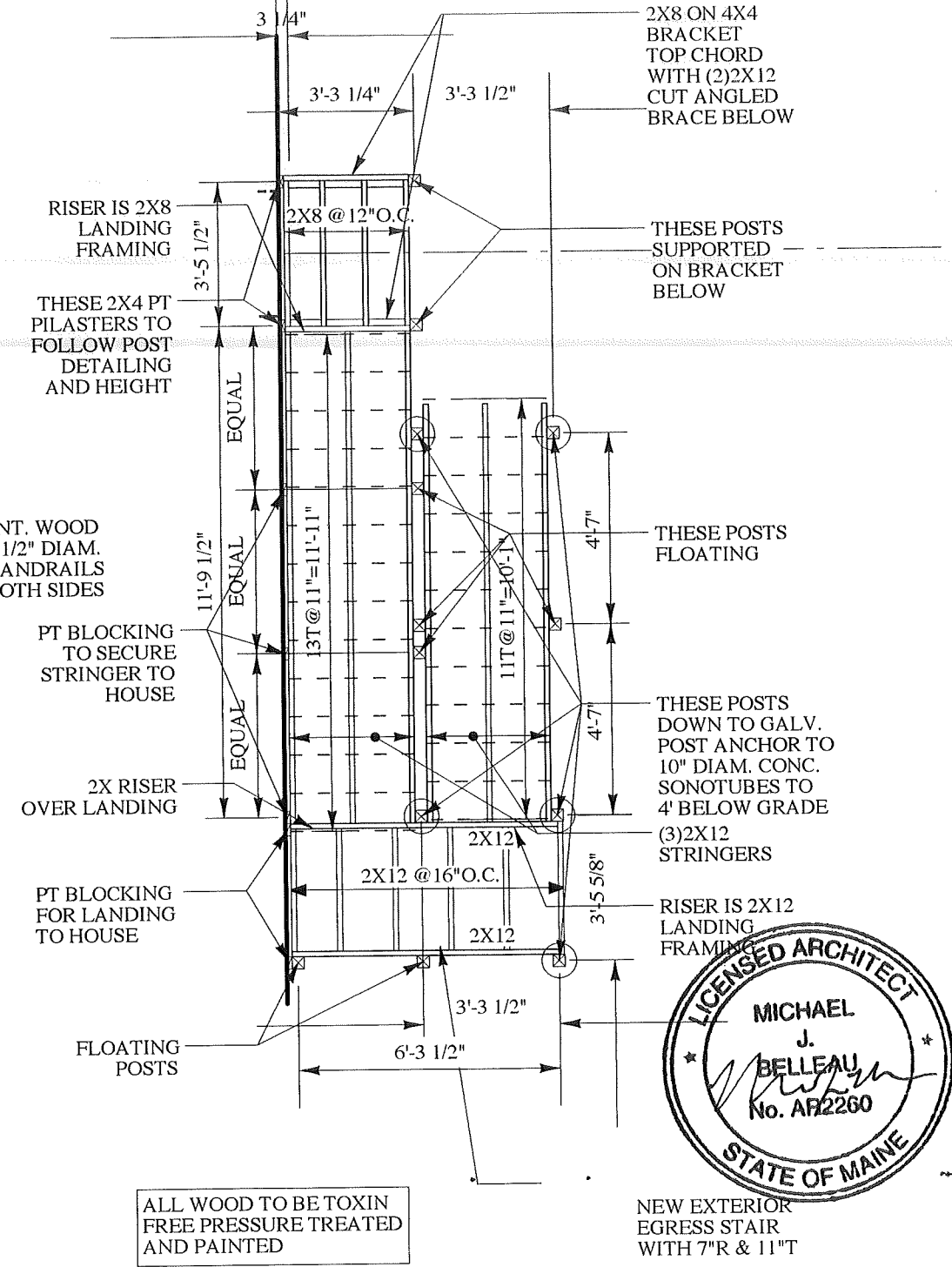
FOR BUILDING PERMIT



3 STAIR DETAIL
OA4.1 SCALE: 3/4" = 1'-0"



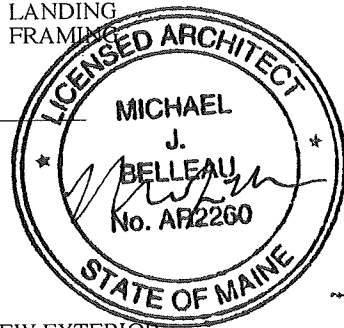
2 STAIR DETAIL
OA4.1 SCALE: 3/4" = 1'-0"



ALL WOOD TO BE TOXIN FREE PRESSURE TREATED AND PAINTED

NEW EXTERIOR EGRESS STAIR WITH 7"R & 11"T

1 STAIR FRAMING
OA4.1 SCALE: 1/4" = 1'-0"



Drawing Number	OA4.1		
Drawing Title	OUTSIDE STAIR FRAMING		
Date:	05/15/08	Scale:	AS NOTED
Project Number:	07.01	Reference:	NONE
Project Title	Pappas Manjounes House		
Architect	Michael Belleau Architect		
Address	61 Pleasant Street Portland ME 04101 (207)874-7668		
Website	www.michaelbelleau.com		

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