

# AVENUE AUTO CO. ANNEX

## 745-757 FOREST AVENUE PORTLAND, ME

### ABBREVIATIONS

	EMERGENCY LIGHTS
	EXIT SIGN - ILLUMINATED
	EXIT SIGN W/ DIRECTIONAL CHEVRONS - ILLUMINATED
	FIRE ALARM PULL STATION
	48" A.F.F. TO CENTER
	FIRE ALARM PULL STATION EXISTING
	FIRE EXTINGUISHER - SURFACE WALL MOUNTED
	SMOKE DETECTOR
	HEAT DETECTOR
	STROBE LIGHT - 15 - 80" A.F.F. TO CENTER
	STROBE LIGHT W/HORN - 110 CANDELA AND 85 DB 80" A.F.F. TO CENTER AT RENTAL SPACES, OFFICE AREAS, TOILETS, ETC. AND OPEN MEZZANINE
	LIFE SAFETY EXIT ACCESS AISLE - FLOOR HATCHING
	PLAS PLASTIC

### ABBREVIATIONS

ALUM	ALUMINUM
AC P	ACOUSTIC PANEL
AFF	ABOVE FINISH FLOOR
ACOUS	ACOUSTICAL
CLG	CEILING
CLCS	CLOSET
CMU	CONCRETE MASONRY
COL	CONCRETE COLUMN
COMP	COMPOSITION
CONC	CONCRETE
CONF	CONFERENCE
CONSULT	CONSULTANT
CONT	CONTINUOUS
CRS	COURSES
DEG	DEGREES
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DN	DOWN
DIAG	DIAGONAL
EF	EXHAUST FAN
EXT	EXTERIOR
EL	ELEVATION
ELEV	ELEVATION/ELEVATOR
EQ	EQUAL
ELEC	ELECTRIC(AL)
EQUIP	EQUIPMENT
EW	ELECTRIC WATER
EXIST	EXISTING
FE	FIRE EXTINGUISHER
FFE	FINISH FLOOR
FIN	FINISH
FLG	FLASHING
FND	FOUNDATION
FIB	FIBER
GALV	GALVANIZED
GL	GLASS
GWB	GYP SUM WALLBOARD
HD	HAND
HDRL	HANDRAIL
HM	HOLLOW
HR	METAL HOUR
INS	INSULATION(ING)(ED)
INSUL	INSULATION(ING)(ED)
JAN	JANITOR
L	LAVATORY
LAM	LAMINATE
MACH	MACHINE
MECH	MECHANICAL
MET	METAL
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
NIC	NOT IN CONTRACT
OP	ON CENTER
OPP	OPPOSITE

### CODE COMPLIANCE:

DESIGN CRITERIA - THIS PROJECT HAS BEEN DESIGN FOR COMPLIANCE WITH THE FOLLOWING CODES:  
 INTERNATIONAL BUILDING CODE (IBC) - 2003 EDITION  
 INTERNATIONAL FIRE CODE (IFC) - 2003 EDITION  
 NFPA 101 - 2003 EDITION  
 NFPA 101 - 2003 EDITION  
 ICC/ANSI A117.1 - 1998 EDITION  
 UNDERWRITERS LABORATORY FIRE RESISTANCE RATING DESIGNS - 2003 EDITION

QT	QUARRY TILE
RAD	RADIUS
R	RADIUS
RD	ROOF DRAIN
SIM	SIMILAR
STL	STEEL
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYST	SYSTEM
STD	STANDARD
SHT	SHEET
SIM	SIMILAR
T	TOILET
TEL	TELEPHONE
TEMP	TEMPERED
TO	TOP OF
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UL	UNDERWRITERS LABORATORY
VTR	VENT THROUGH ROOF
W/	WITH
WC	WHEELCHAIR

### DRAWING LIST:

A0.1	COVER/LEGEND SHEET
1	COVER SHEET, GENERAL NOTES
2	STANDARD BOUNDARY SURVEY
3	SITE LAYOUT PLAN
4	SITE DETAILS
5	SITE DETAILS
6	SITE DETAILS
S1	FOUNDATION PLAN AND DETAILS
S2	FRAMING PLAN AND SECTIONS
S3	STRUCTURAL DETAILS
S4	ADA REQUIREMENTS
A0.2	ADA REQUIREMENTS
A1.1	LIFE SAVING FLOOR PLANS
A1.2	FIRST AND SECOND FLOOR PLANS
A1.3	REFLECTED CEILING PLANS
01.4	ROOF PLAN
A2.1	ELEVATIONS
A2.2	SECTIONS
A3.1	WALL SECTIONS
A4.1	SCHEDULES

### FIRE RATED DESIGN PENETRATION REQUIREMENTS:

ALL PENETRATIONS MADE THROUGH ANY FIRE RATED ASSEMBLY SHALL BE AN APPROVED METHOD SO AS TO MAINTAIN THE UL FIRE RATING. FIRE DAMPERS, ETC. SHALL BE PROVIDED AND ALL PENETRATIONS SHALL RECEIVE AN APPROVED FIRESTOP SEALANT AROUND THE ENTIRE OPENING. THE FIRE STOP SEALANT SHALL BE OF THE APPROPRIATE MATERIAL SO AS TO MAINTAIN THE FIRE RATING OF THE SURFACE THAT IS BEING PENETRATED.

### CODE COMPLIANCE:

DESIGN CRITERIA - THIS PROJECT HAS BEEN DESIGN FOR COMPLIANCE WITH THE FOLLOWING CODES:  
 INTERNATIONAL BUILDING CODE (IBC) - 2003 EDITION  
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 UNDERWRITERS LABORATORY FIRE RESISTANCE RATING DESIGNS - 2003 EDITION

OC	OCCUPANCY CLASSIFICATION - BUSINESS GROUP B (NFPA 101)
USE	USE CLASSIFICATION - B (1ST FLOOR), B (2ND FLOOR)
OCUPANT LOAD	OCCUPANT LOAD - BUSINESS GROUP B (1661 SQ. FT.) = 17
SECOND FLOOR	SECOND FLOOR (1429 SQ. FT.) = 15
CONSTRUCTION CLASSIFICATION	CONSTRUCTION CLASSIFICATION - TYPE V
FIRE PROTECTION SYSTEM REQUIREMENTS:	FIRE PROTECTION SYSTEM REQUIREMENTS:
SPRINKLER SYSTEM:	SPRINKLER SYSTEM:
A.	AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED.
B.	PORTABLE FIRE EXTINGUISHER RATING SHALL BE 2-A-20-B-C
	SPACING SHALL NOT EXCEED A MAXIMUM OF 75 FEET (1500 SQ. FT. / UNIT)
FIRE ALARM AND DETECTION SYSTEM:	FIRE ALARM AND DETECTION SYSTEM:
A.	FIRE ALARM SYSTEM NOTIFICATION SHALL BE VIA APPROVED VOICE COMMUNICATION, OR PUBLIC ADDRESS SYSTEM THAT IS AUDIBLE ABOVE THE AMBIENT NOISE LEVEL OF ASSEMBLY OCCUPANCY.
	NOTIFICATION SHALL BE BY MEANS OF VOICE ANNOUNCEMENTS, EITHER LIVE OR PRERECORDED INITIATED BY THE PERSON IN THE CONSTANTLY ATTENDED LOCATION.

**NOTE:**  
 THE CONTRACTOR/OWNER ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL PENETRATIONS MADE THROUGH ANY FIRE RATED ASSEMBLY SHALL BE AN APPROVED METHOD SO AS TO MAINTAIN THE UL FIRE RATING. FIRE DAMPERS, ETC. SHALL BE PROVIDED AND ALL PENETRATIONS SHALL RECEIVE AN APPROVED FIRESTOP SEALANT AROUND THE ENTIRE OPENING. THE FIRE STOP SEALANT SHALL BE OF THE APPROPRIATE MATERIAL SO AS TO MAINTAIN THE FIRE RATING OF THE SURFACE THAT IS BEING PENETRATED.

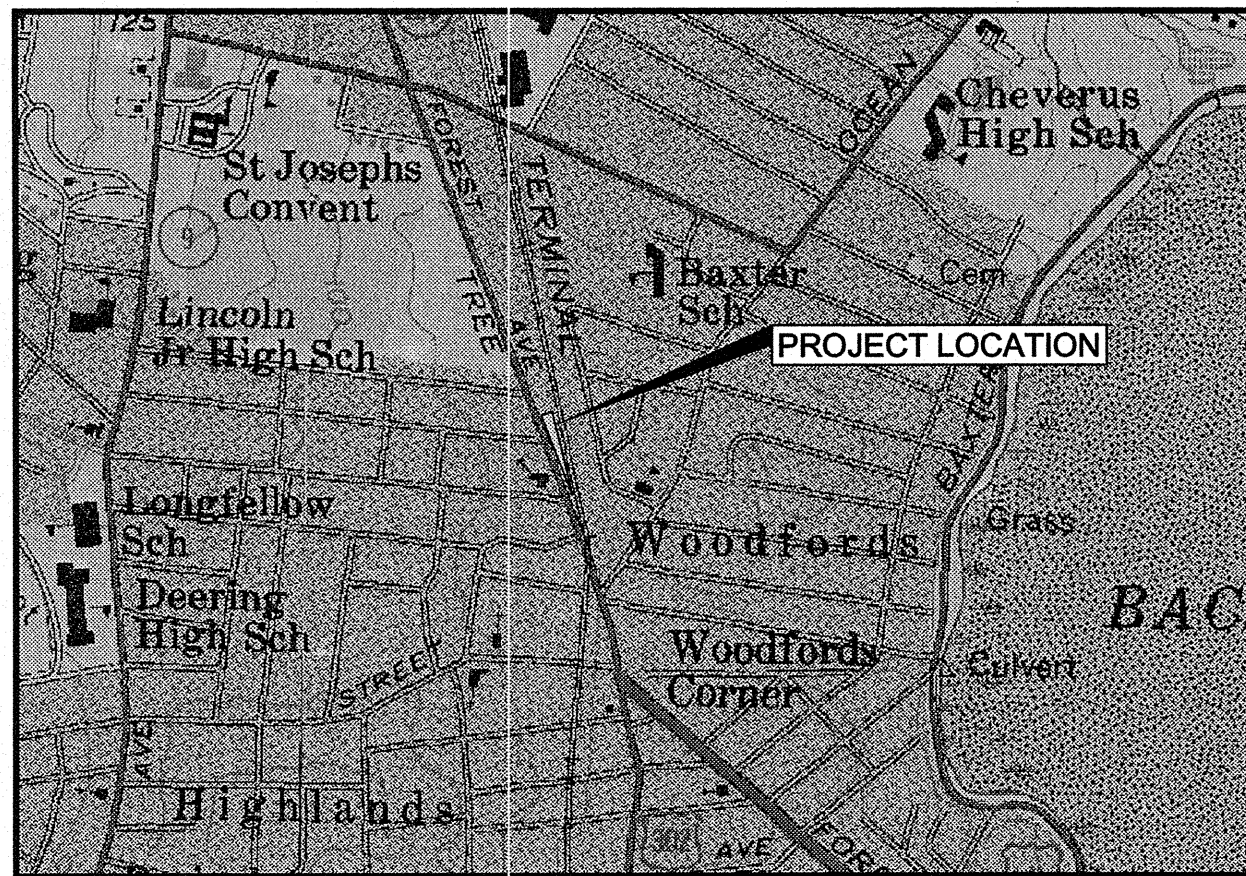
1. Contractor/owner responsible for securing all necessary permits.  
 2. Contractor/owner will comply with all applicable codes and ordinances.  
 3. Contractor/owner to verify all site grades and dimensions.

	<h2 style="margin: 0;">AVENUE AUTO</h2> <p style="margin: 0;">745-757 FOREST AVENUE STEPHAN E. MARDIGAN, OWNER</p>	PROPERTY OF 235 Riverside Industrial Parkway Portland, ME 04102						
DATE: 08-25-08 NO: 1 CODE: IRC 2003 TOWN: PORTLAND DATE: 08-21-08 SCALE: AS NOTED DRAWN: JJO TITLE: COVER SHEET	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">BY</th> <th style="width: 5%;">JO</th> <th style="width: 15%;">REMARKS</th> </tr> <tr> <td> </td> <td> </td> <td>ISSUED FOR PERMITTING</td> </tr> </table>	BY	JO	REMARKS			ISSUED FOR PERMITTING	SHEET: A0.1
BY	JO	REMARKS						
		ISSUED FOR PERMITTING						



PROJECT PARCEL SITE  
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK  
NUMBERS

MAP     BLOCK     LOTS  
130        K        1



LOCATION MAP  
N.T.S.

# AUTO-MART AUTOMOBILE DEALERSHIP 745 - 757 FOREST AVENUE SITE PLANS PORTLAND, MAINE

## UTILITIES

### SEWER

ATTN: FRANK BRANCELLO  
PORTLAND PUBLIC WORKS  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

### WATER

ATTN: RICO SPUGNARDI  
PORTLAND WATER DISTRICT  
225 DOUGLASS STREET  
P.O. BOX 3553  
PORTLAND, MAINE 04104-3553  
(207) 761-8307

### ELECTRIC

ATTN: MARK KREIDER  
CENTRAL MAINE POWER COMPANY  
162 CANCO ROAD  
P.O. BOX 1801  
PORTLAND, MAINE 04104  
(207) 828-2683

### GAS

ATTN: RICK BELLEMORE  
NORTHERN UTILITIES, INC.  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
(207) 797-8002, EXT.6247

### TELEPHONE

ATTN: SANDY RANCOURT  
VERIZON  
5 DAVIS FARM ROAD  
PORTLAND, MAINE 04103  
(207) 797-1776

### CABLE

ATTN: DEBRA PAIEMENT AND/OR  
DON JOHNSON  
TIME WARNER CABLE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(207) 253-2262 (DEBRA)  
(207) 253-2291 (DON)

### FIRE ALARM

ATTN: CAPT. CASS  
PORTLAND FIRE DEPT.  
CENTRAL FIRE STATION  
CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 8874-8300

### DIG SAFE

1-800-225-4977

## PERMITS

### LOCAL

MAJOR SITE PLAN APPROVAL

BUILDING PERMIT/  
CERTIFICATE OF OCCUPANCY

### GOVERNING BODY

DIRECTOR OF PLANNING AND  
ECONOMIC DEVELOPMENT  
CITY OF PORTLAND PLANNING AUTHORITY  
CITY HALL  
CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 879-330  
ATTN: BARBARA BARHYDT

BUILDINGS AND CODE ENFORCEMENT OFFICE  
CITY OF PORTLAND, CITY HALL  
CONGRESS STREET  
(207) 874-8300

### STATUS

SUBMITTED BY ENGINEER ON BEHALF  
OF OWNER

TO BE SUBMITTED BY  
OWNER/GENERAL CONTRACTOR

## LEGEND

EXISTING	PROPOSED
PROPERTY BOUNDARY	CONTOUR LINE
IRON PIPE FOUND	EDGE OF PAVEMENT
MONUMENT FOUND	SILT FENCE
NOW OR FORMERLY	UTILITY LINE
UTILITY POLE	BUILDING
SIGN	SIGN
TELEPHONE MANHOLE	BOLLARD
SEWER MANHOLE	CATCH BASIN
DRAIN MANHOLE	INLET SEDIMENT BARRIER
CURB	STORM DRAIN MANHOLE
WATER VALVE	STORM DRAIN LINE
TREELINE	EXISTING TREE TO BE REMOVED
LIGHT POLE (UNLESS NOTED)	EXISTING TREE TO REMAIN
EXISTING BUILDING	GRANITE CURB
CATCH BASIN	SLIPFORM CONCRETE CURB
EXISTING CONTOUR	TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
UNDERGROUND TELEPHONE LINE	
SEWER LINE	
STORM DRAIN LINE	
WATER LINE	
GAS LINE	
EDGE OF PAVEMENT	
CURB	
SURVEY CONTROL POINT	

## INDEX

- COVER SHEET, GENERAL NOTES AND LEGEND
- BOUNDARY SURVEY PLAN (OWEN HASKELL, INC.)
- SITE LAYOUT PLAN
- SITE DETAILS
- SITE DETAILS
- SITE DETAILS

## PREPARED BY

CIVIL ENGINEER:  
**DeLuca-Hoffman Associates, Inc.**  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
(207) 775-1121

## SURVEYOR:

**Owen Haskell, Inc.**  
16 CASCO STREET  
PORTLAND, MAINE 04101

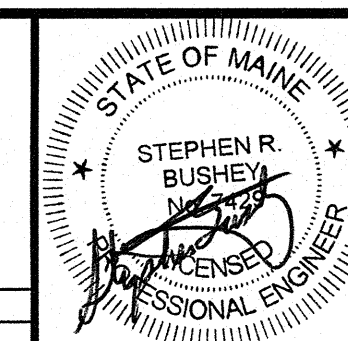
## OWNER/APPLICANT:

**STEPHEN MARDIGAN**  
460 BAXTER BOULEVARD  
PORTLAND, MAINE 04103  
C.C.R.D. BOOK 10512, PAGE 238

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

## GENERAL NOTES:

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL REFER TO THE DESIGN-BUILD PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-888-DIGSAFE). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
- TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT AND SURVEY DATA PROVIDED BY BACK BAY BOUNDARY SURVEYING AND OWEN HASKELL, INC.
- BOUNDARY SURVEY INFORMATION TAKEN FROM A PLAN PREPARED BY OWEN HASKELL, INC. TITLED "STANDARD BOUNDARY SURVEY 757 FOREST AVENUE, PORTLAND, MAINE PORTLAND TERMINAL COMPANY TO STEPHEN MARDIGAN."
- FEMA MAP COMMUNITY PANEL NUMBER 2300510007B
- THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORD OF THE PLANNING BOARD PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
- ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALLS SHALL BE MARKED OFF BY 4" SOLID YELLOW LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
- ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS: GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
- ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
- BUILDING SUMMARY: PROPOSED 1,650 S.F.
- THE FACILITY IS SERVICED BY PUBLIC WATER, SEWER AND OVERHEAD UTILITIES.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-8300 EXT. 8838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
- A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.



PROJECT	AUTO-MART AUTOMOBILE DEALERSHIP NEW BUILDING CONSTRUCTION PORTLAND, MAINE
SHEET TITLE	COVER SHEET, GENERAL NOTES AND LEGEND
CLIENT	STEVE MARDIGAN 460 BAXTER BOULEVARD PORTLAND, MAINE 04103

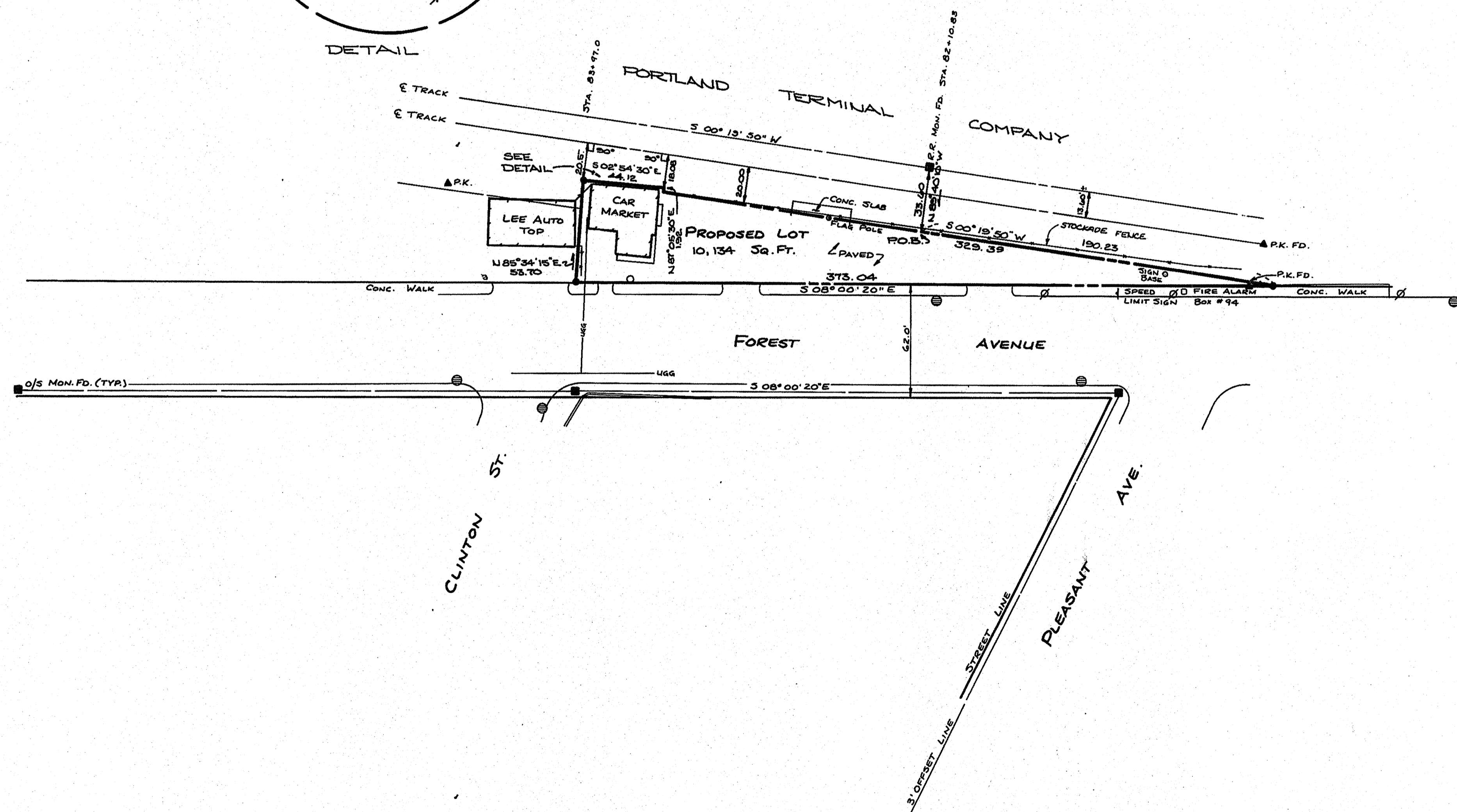
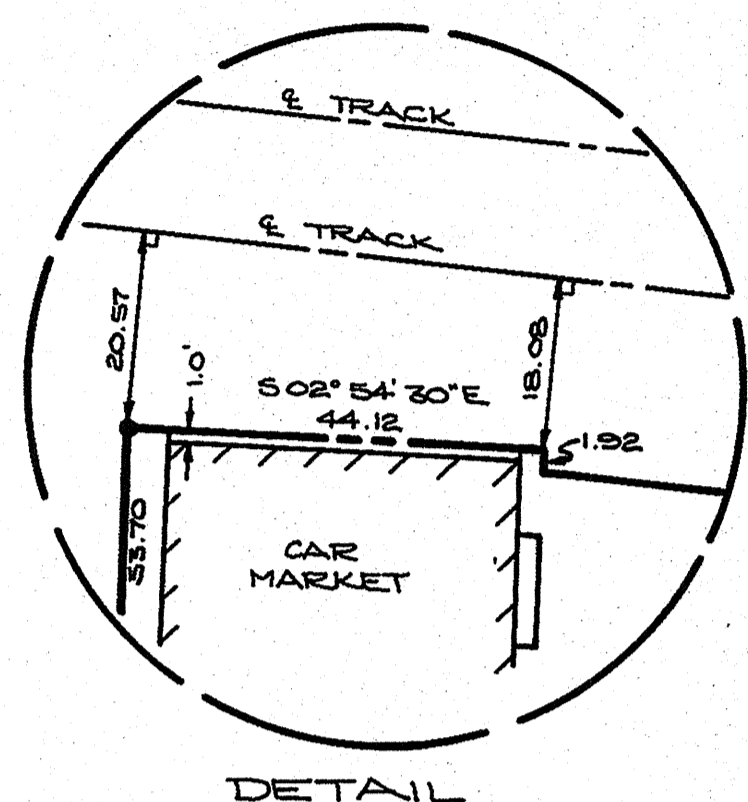
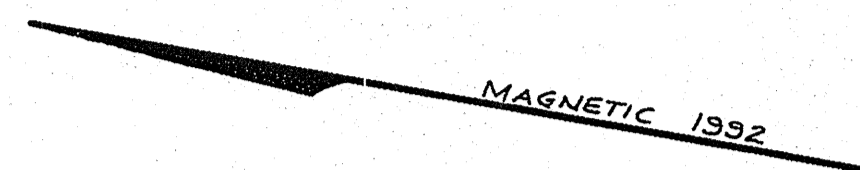
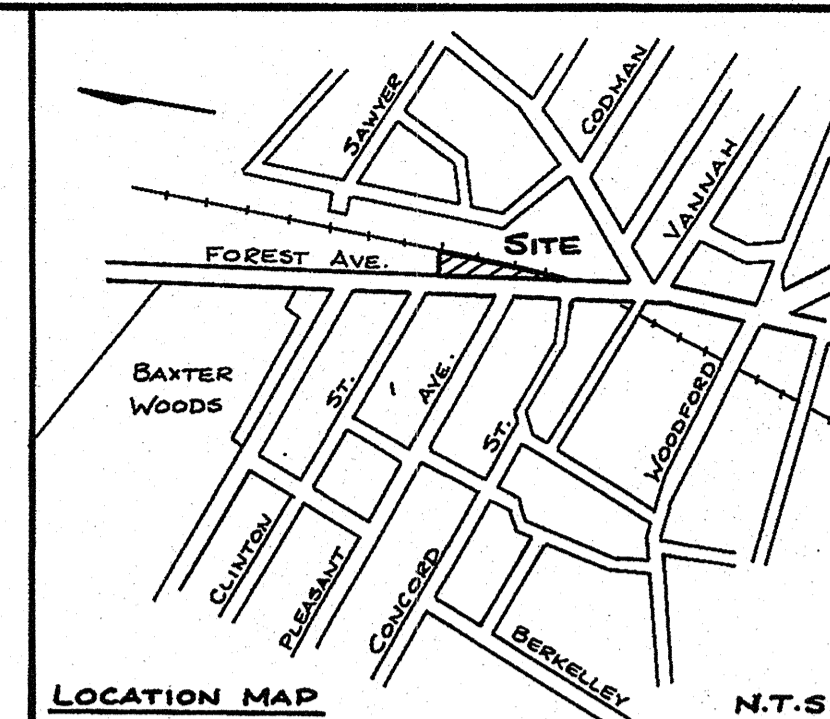
 DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM			
DRAWN:	DED	DATE:	APRIL 2008
DESIGNED:	SRB	SCALE:	AS NOTED
CHECKED:	SRB	JOB NO.:	2804.03
FILE NAME:	2804.03-COV		
SHEET	1		

REV	DATE	DESCRIPTION
2	08.19.08	FINAL SUBMISSION PER JULY 22, 2008 APPROVAL LETTER
1	04.08.08	SITE PLAN APPLICATION TO CITY OF PORTLAND

P.E. STEPHEN BUSHEY  
LIC. #7429

REVISIONS



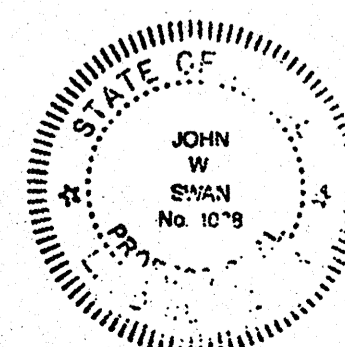


8 MILE MARKER 195 TO BOSTON

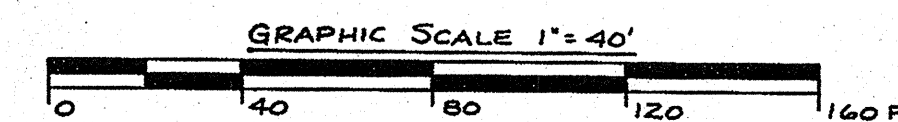
- LEGEND:**
- ▲ P.K. SPIKE
  - MONUMENT FOUND
  - ⊙ CATCH BASIN
  - ⊕ UTILITY POLE
  - UG UNDERGROUND GAS
  - 3/8" IRON ROD SET

NOTE: OWNER OF RECORD - PORTLAND TERMINAL COMPANY

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY 1, CONDITION II SURVEY.



12-31-92 DATE PROFESSIONAL LAND SURVEYOR



STANDARD BOUNDARY SURVEY 757 FOREST AVE., PORTLAND, ME PORTLAND TERMINAL COMPANY		
TO STEPHEN MARDIGAN 757 FOREST AVENUE., PORTLAND, ME		
<b>Owen Haskell, Inc.</b> Civil Engineers (207) 799-5694 Land Surveyors South Portland, Maine		
Drawn By RTG	Date DEC. 31, 1992	Job No. 92196 P
Trace By JLV	Scale 1" = 40'	Drwg. No. 1
Check By JWS		
Bk No. 620P		



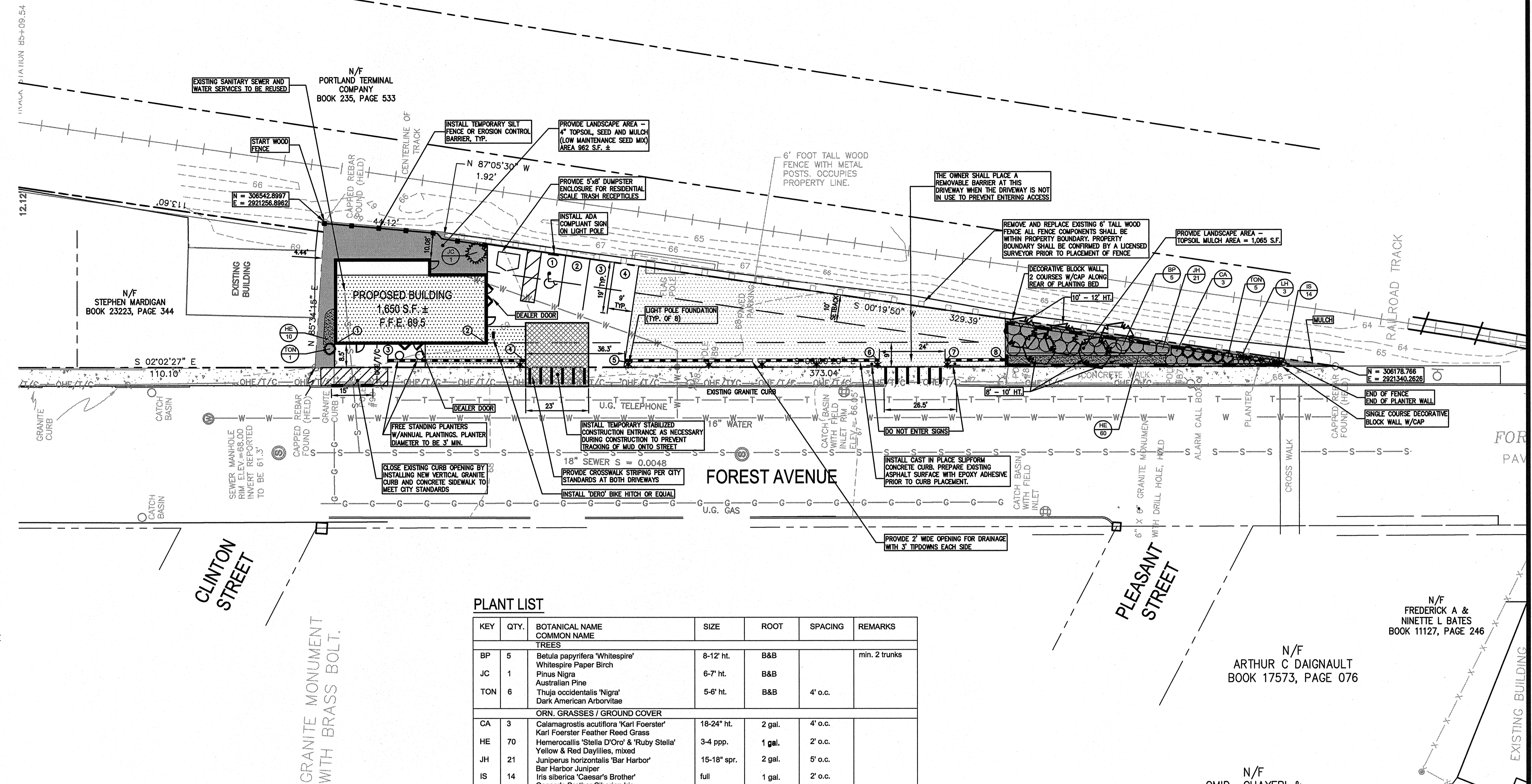


**SITE LAYOUT NOTES:**

- ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION, AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ALL PARKING STALLS SHALL BE MARKED OFF BY 4" SOLID YELLOW LINES.
  - ALL CURB REPAIRS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:  
GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND STANDARD SPECIFICATIONS
  - ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
  - PAVEMENT REPAIRS SHALL INCLUDE 3" OF ASPHALT WITHIN SITE. THE OWNER MAY CHOOSE TO SEAL COAT EXISTING PAVEMENT SURFACE IF NECESSARY.
  - BUILDING SUMMARY: PROPOSED 1,650 S.F. FORMER BUILDING 1,289 S.F.
  - ZONING DATA  
B-2 - COMMUNITY BUSINESS ZONE  
SPACE AND BULK REGULATIONS
- | REQUIRED                         | ACTUAL                    |
|----------------------------------|---------------------------|
| MINIMUM LOT AREA                 | 10,000 S.F. / 10,134 S.F. |
| MINIMUM STREET FRONTAGE          | 50' / 373.04'             |
| MINIMUM PAVEMENT SETBACKS        | 0' / 0'                   |
| MINIMUM STRUCTURE SETBACKS       |                           |
| FRONT YARD                       | 9.1' MAX / 8.5'           |
| REAR YARD                        | 10' / 10.08'              |
| MAXIMUM IMPERVIOUS SURFACE RATIO | 80% / 80%                 |
| MAXIMUM BUILDING HEIGHT          | 45' / 22'±                |
- OFF STREET PARKING
  - THE FACILITIES WILL BE SERVICED BY CITY SEWER, PUBLIC WATER AND A COMBINATION OF OVERHEAD AND UNDERGROUND UTILITIES.
  - ALL METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS IDENTIFIED HEREIN SHALL CONFORM TO THE CITY OF PORTLAND CONSTRUCTION AND TECHNICAL STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
  - THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PLANNING AND CODE ENFORCEMENT DIVISION (784-2951), IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE DEPARTMENT.
  - AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
  - WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON FOREST AVENUE AS NECESSARY.
  - CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE.
  - ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
  - PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE. THE PROJECT BOUNDARIES ARE TIED TO THE MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE USING THE NAD 1983 DATUM. ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 VERTICAL DATUM.
  - ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND SEWER DIVISION.
  - A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
  - ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  - NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
  - THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
  - CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
  - EXTERIOR GRADES AROUND PROPOSED STRUCTURES SHALL BE COORDINATED WITH FINAL BUILDING PLANS AND PROVIDE FOR ALL ACCESS OPENINGS INCLUDING MANDOORS, OVERHEAD DOORS AND LOADING DOCKS.
  - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES AND EXIT RAMPS ADJACENT TO THE BUILDING AND ALONG CURBED AREAS.

**UTILITY NOTES:**

- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AND/OR RELOCATION OF OVERHEAD AND UNDERGROUND TELEPHONE WITH VERIZON. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS, PULL WIRES, TRENCHING AND BACKFILLING NECESSARY TO COMPLETE THE WORK.
- ALL SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE MAINE STATE PLUMBING CODE AND CITY OF PORTLAND PUBLIC WORKS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER.
- COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL CONFORM TO THE STANDARDS OF THE UTILITY COMPANY AND PROJECT SPECIFICATIONS.
- THE LOCATIONS OF THE NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE SERVING UTILITY COMPANY.
- UNDERGROUND ELECTRICAL, CONDUIT MATERIAL AND INSTALLATION SHALL CONFORM TO UTILITY COMPANY STANDARDS AND PROJECT SPECIFICATIONS, WHICH EVER IS MORE STRINGENT.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.
- A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18 INCH OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS. THE WATERMAIN MUST ALSO BE LOCATED ABOVE THE SEWER.



**PLANT LIST**

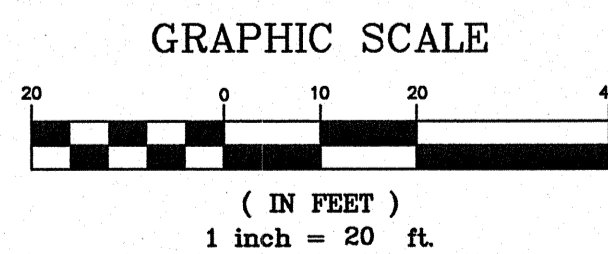
KEY	QTY.	BOTANICAL NAME COMMON NAME	SIZE	ROOT	SPACING	REMARKS
<b>TREES</b>						
BP	5	Betula papyrifera 'Whitespire' Whitespire Paper Birch	8-12' ht.	B&B		min. 2 trunks
JC	1	Pinus Nigra Australian Pine	6-7' ht.	B&B		
TON	6	Thuja occidentalis 'Nigra' Dark American Arborvitae	5-6' ht.	B&B	4' o.c.	
<b>ORN. GRASSES / GROUND COVER</b>						
CA	3	Calamagrostis acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	18-24" ht.	2 gal.	4' o.c.	
HE	70	Hemerocallis 'Stella D'Oro' & 'Ruby Stella' Yellow & Red Daylilies, mixed	3-4 ppp.	1 gal.	2' o.c.	
JH	21	Juniperus horizontalis 'Bar Harbor' Bar Harbor Juniper	15-18" spr.	2 gal.	5' o.c.	
IS	14	Iris siberica 'Caesar's Brother' Caesar's Brother Siberian Iris	full	1 gal.	2' o.c.	
LH	3	Lonicera x heckrottii 'Gold Flame' Gold Flame Honeysuckle	3-24-36" runners min.	2 gal.	5' o.c.	espalier to fence
<b>MISCELLANEOUS</b>						
		Shredded Bark Mulch			3" depth	incl. tree rings
		Low Maintenance Seed Mix				

SEE SHEET 5 FOR LANDSCAPE NOTES AND DETAILS

**LAYOUT DATA**

#	NORTHING	EASTING	DESCRIPTION
1	306523.2728	2921216.1364	BUILDING CORNER
2	306471.043	2921236.3366	BUILDING CORNER
3	306502.7494	2921217.1048	CONCRETE CURB
4	306455.5972	2921235.3411	CONCRETE CURB
5	306421.7678	2921248.4248	CONCRETE CURB
6	306334.8923	2921282.0244	CONCRETE CURB
7	306312.5081	2921290.6816	CONCRETE CURB
8	306291.9475	2921298.6335	CONCRETE CURB

DISPLAY AREA (FOR PERMITTING PURPOSES ONLY)



REV	DATE	DESCRIPTION
7	05.19.08	FINAL SUBMISSION PER JULY 22, 2008 APPROVAL LETTER
6	06.26.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND
5	06.24.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND
4	06.03.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND
3	05.13.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND
2	04.29.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND
1	04.08.08	SITE PLAN APPLICATION TO CITY OF PORTLAND

STATE OF MAINE  
STEPHEN A. BUSHEY  
REGISTERED PROFESSIONAL ENGINEER  
P.E. STEPHEN BUSHEY  
LIC. # 7429

PROJECT  
AVENUE AUTO CO. AUTOMOBILE DEALERSHIP  
NEW BUILDING CONSTRUCTION  
PORTLAND, MAINE

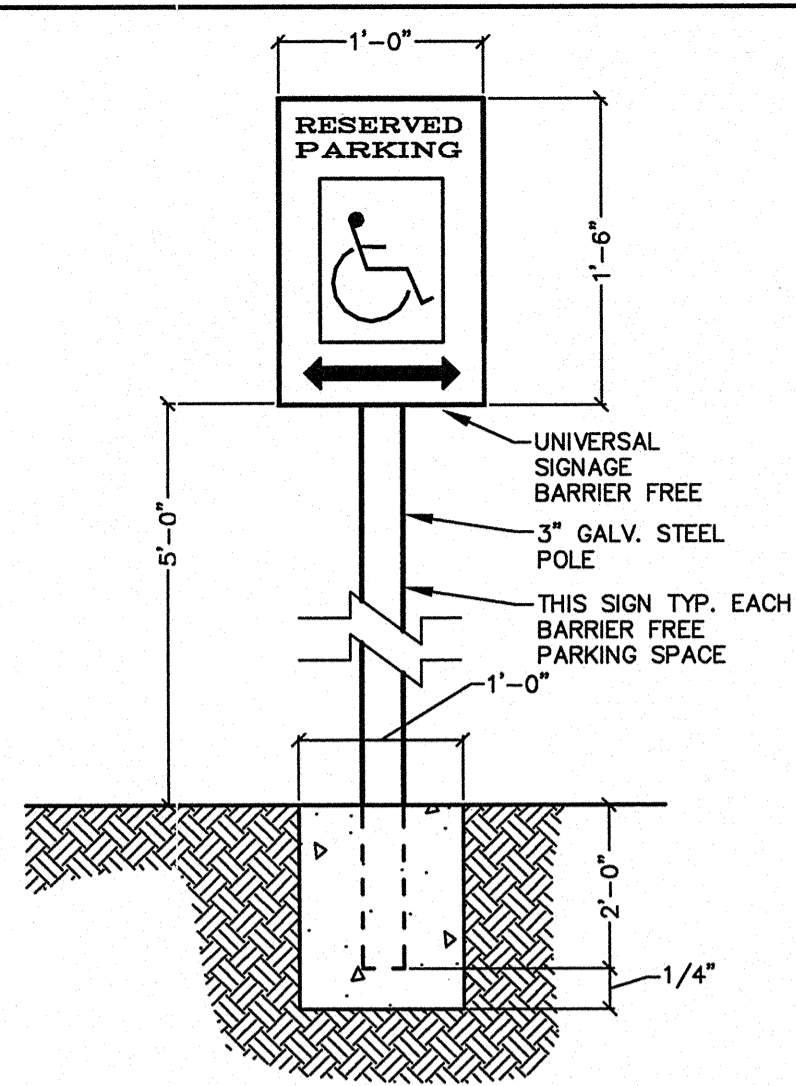
SHEET TITLE  
**SITE LAYOUT PLAN**

CLIENT  
STEVE MARDIGAN  
460 BAXTER BOULEVARD  
PORTLAND, MAINE 04103

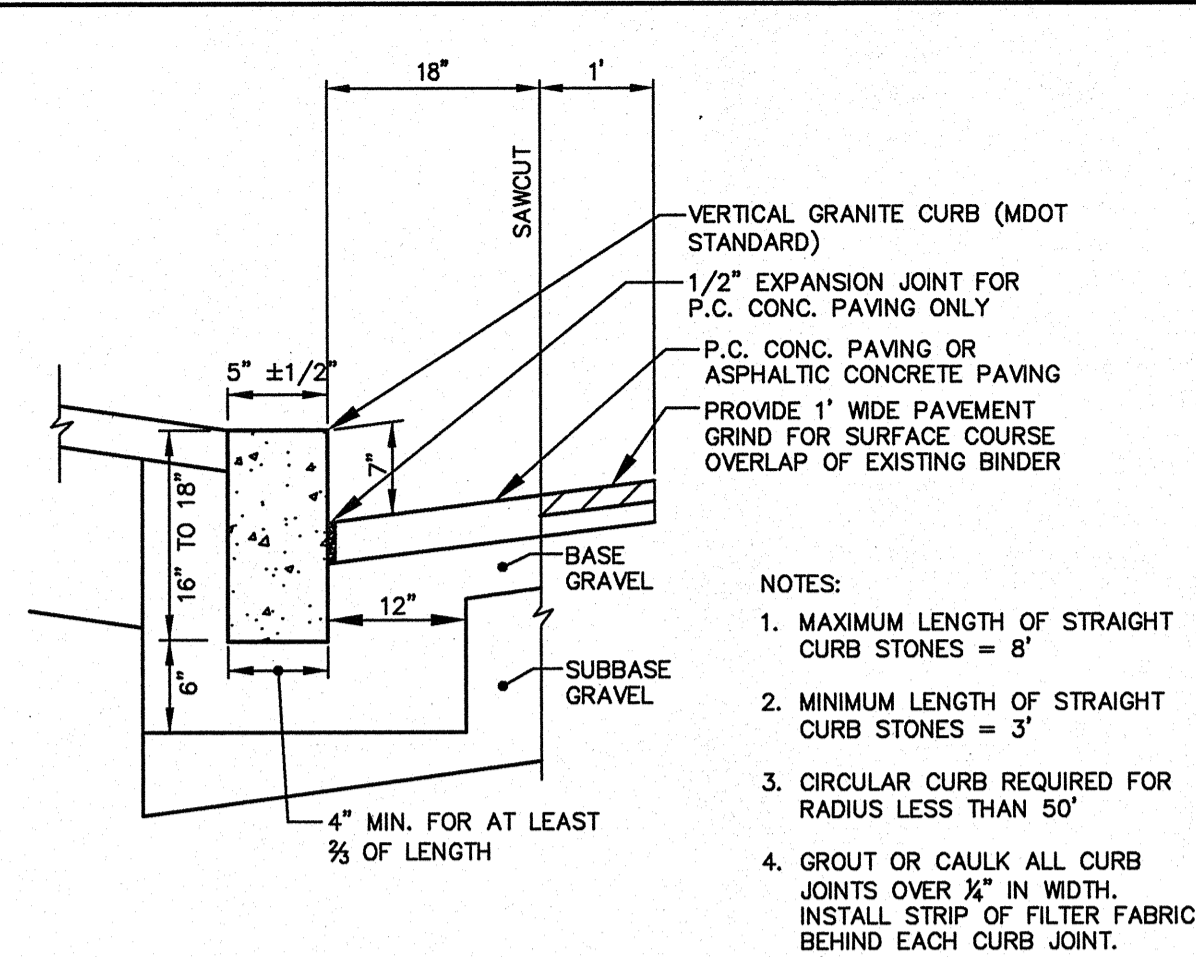
DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN: CMW DATE: 4.01.08  
DESIGNED: SRB SCALE: 1" = 20'  
CHECKED: SRB JOB NO. 2804.03  
FILE NAME: 2804.03-SP  
SHEET 3

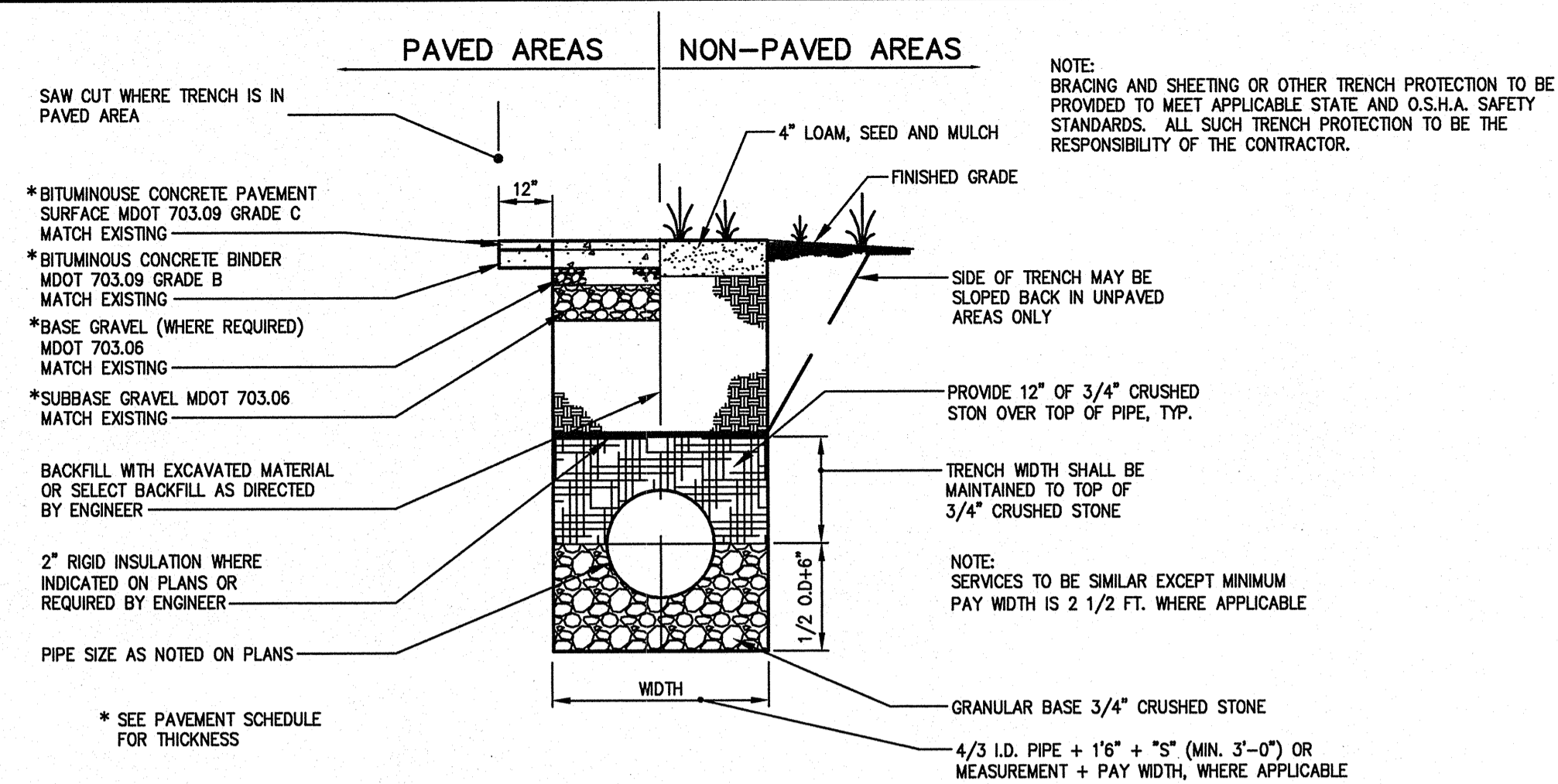




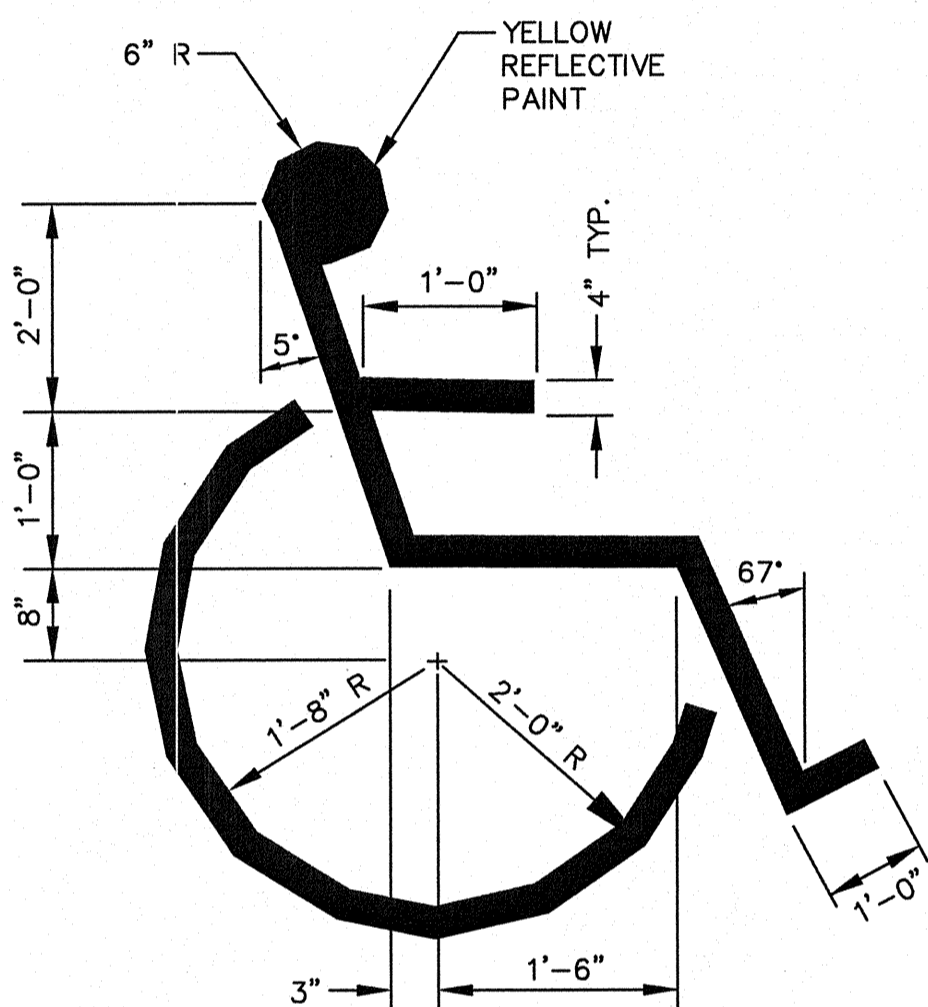
**A** BARRIER FREE PARKING SIGN  
N.T.S.



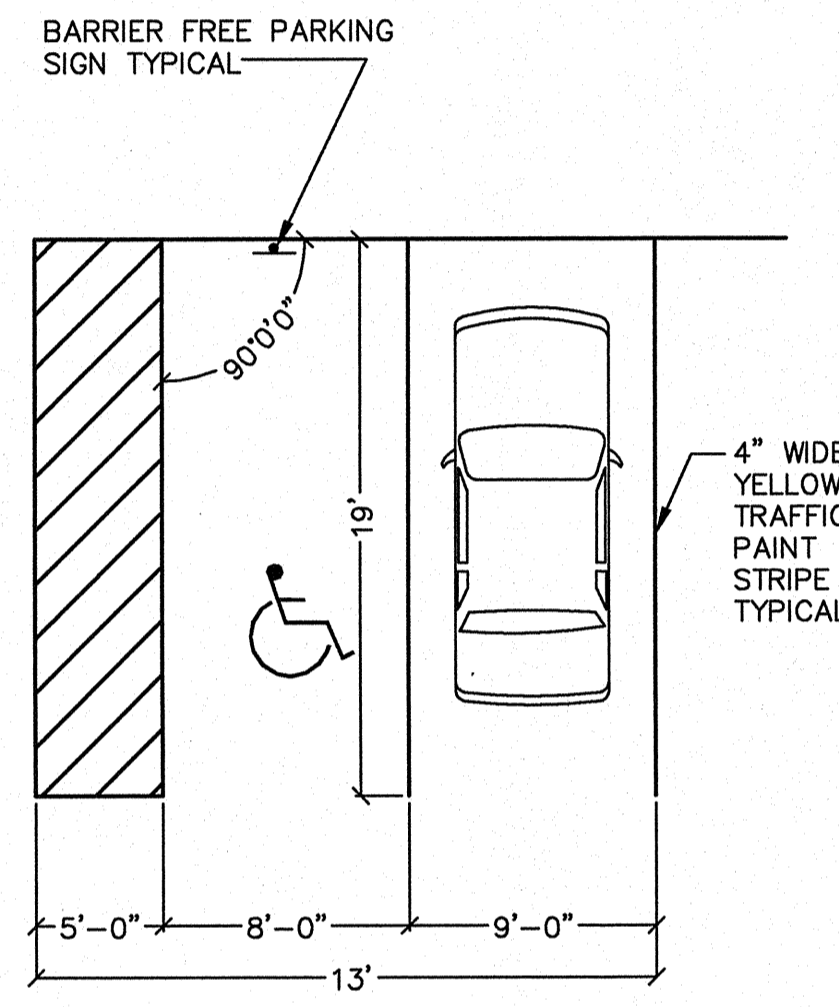
**D** VERTICAL GRANITE CURB  
N.T.S.



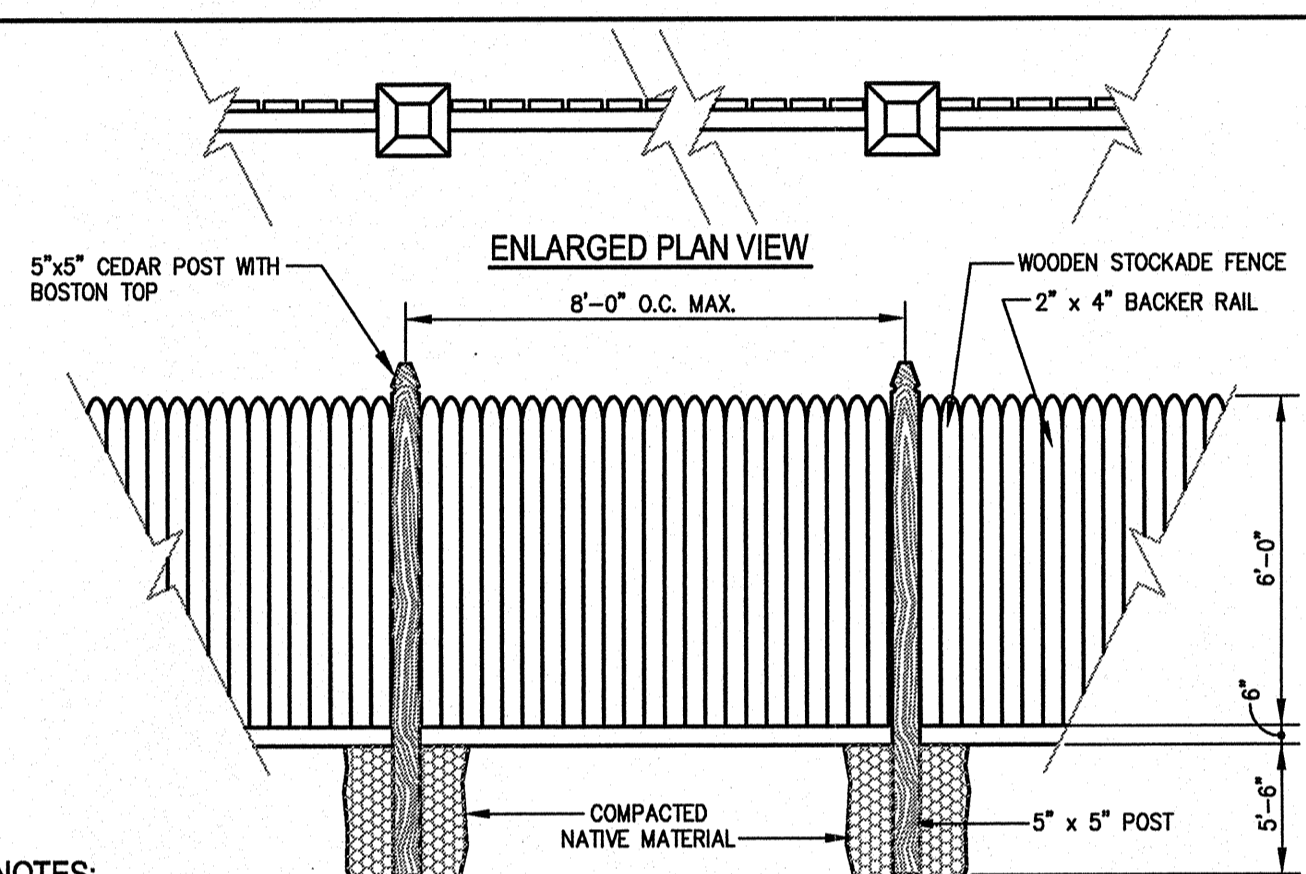
**G** TYPICAL SEWER AND STORM DRAIN TRENCH SECTION  
N.T.S.



**B** INTERNATIONAL BARRIER FREE SYMBOL  
N.T.S.  $\phi$  OF PARKING SPACE

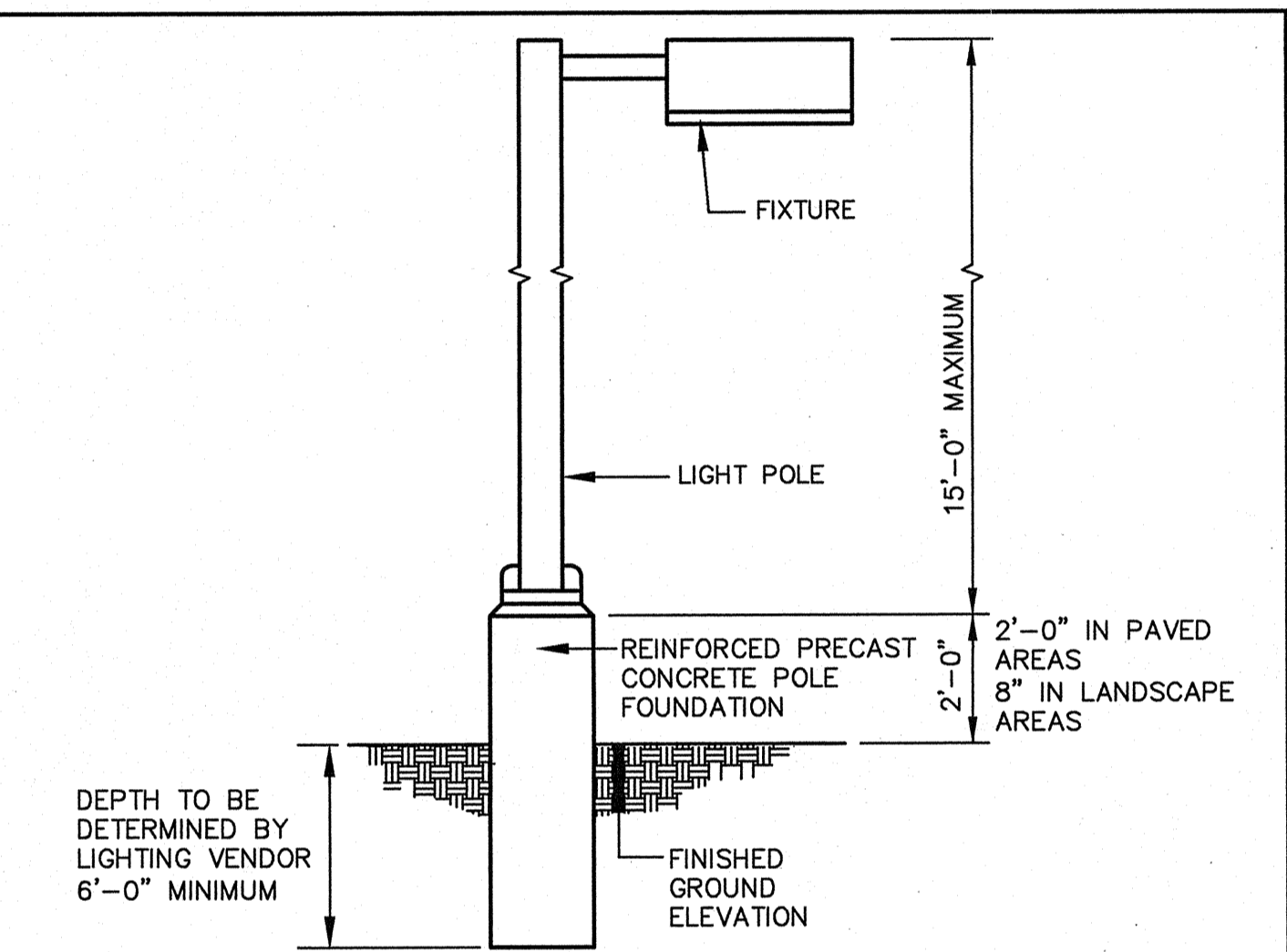


**E** TYPICAL PARKING SPACE DIMENSIONS  
N.T.S.

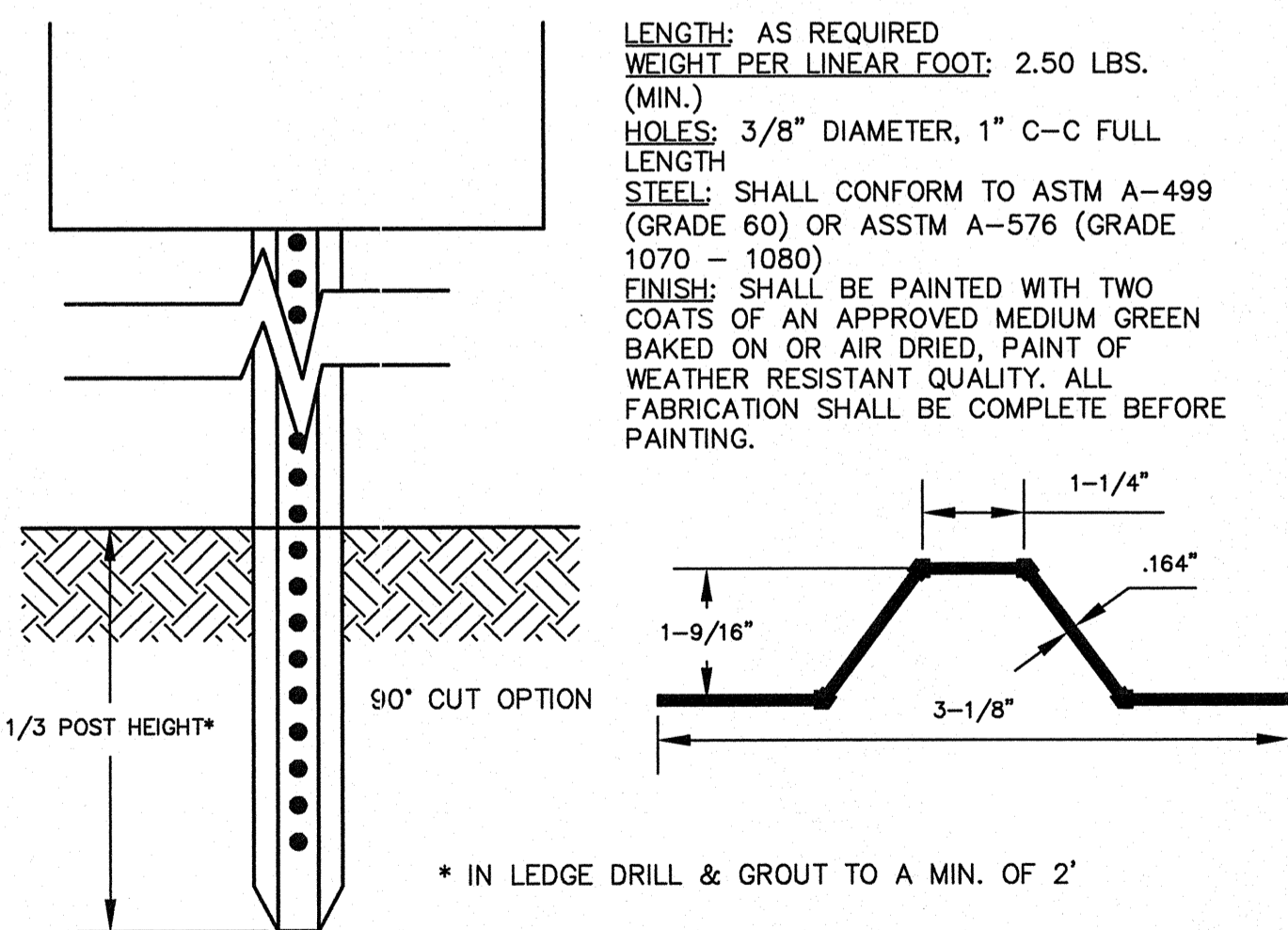


- NOTES:**
1. ALL WOOD DIMENSIONS ARE ROUGH FINISH.
  2. ALL WOOD TO BE #1 GRADE, NORTHERN WHITE CEDAR.
  3. ALL WOOD SHALL BE PAINTED WITH TWO COATS OF CEDAR WOOD FINISH BY SHERWIN-WILLIAMS.
  4. PRE-MANUFACTURED FENCE OF SIMILAR DIMENSION MAY BE SUBSTITUTED TO ENGINEER FOR APPROVAL, PRIOR TO CONSTRUCTION.

**H** WOODEN STOCKADE FENCE DETAIL  
N.T.S.

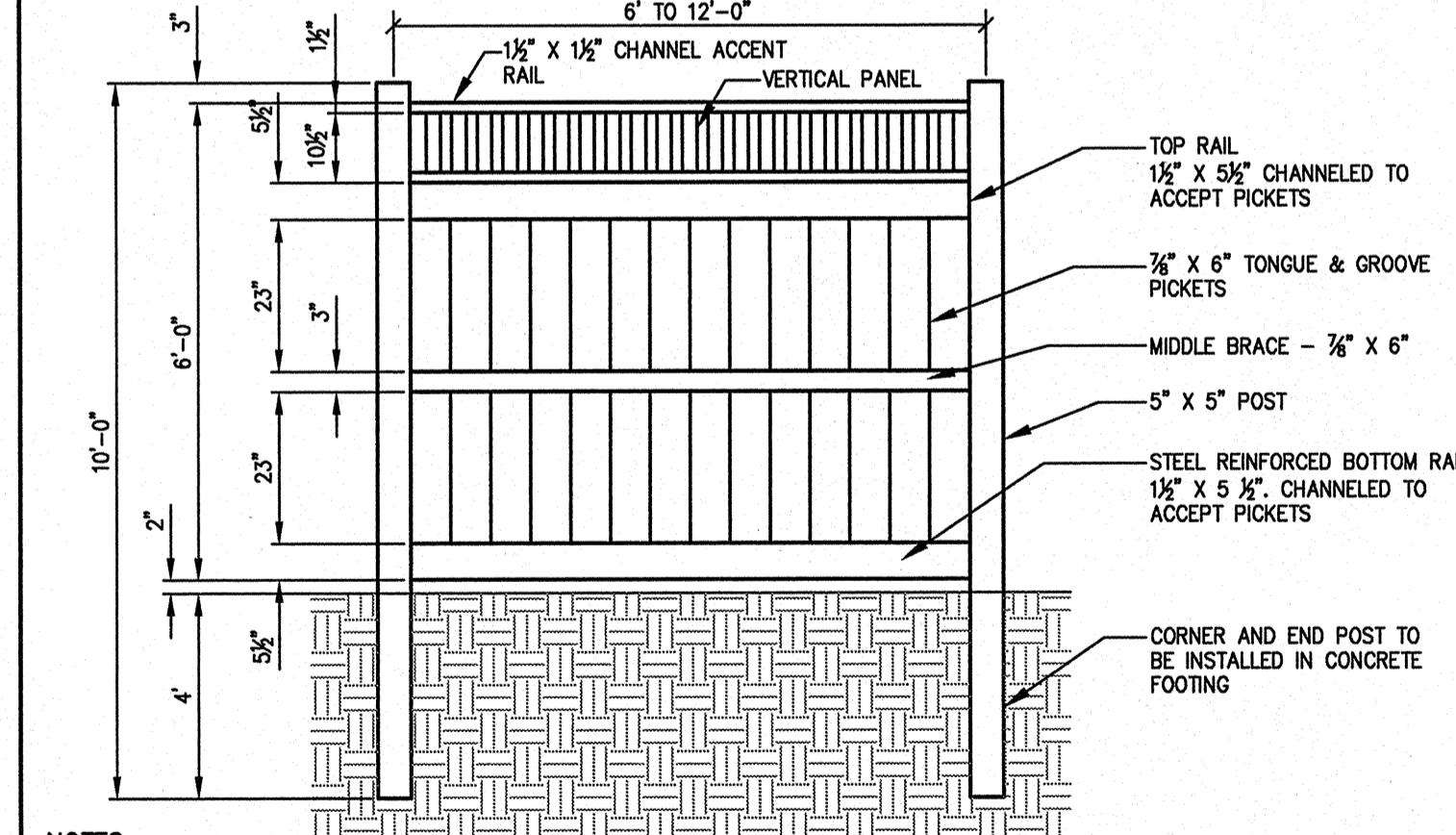


**J** DIAGRAMMATIC LIGHT POLE DETAIL  
N.T.S.



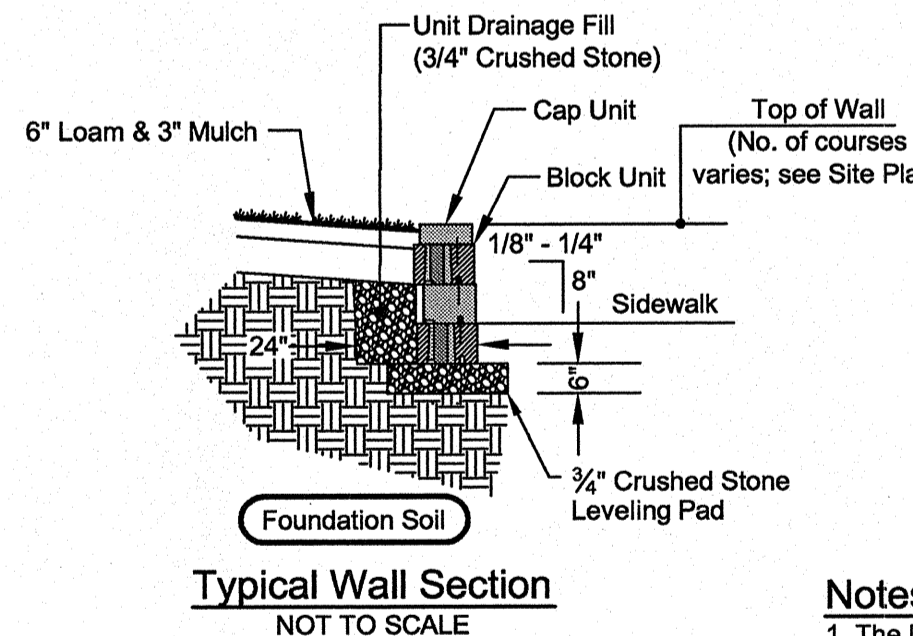
LENGTH: AS REQUIRED  
WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)  
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH  
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)  
FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

**C** TYPICAL U-CHANNEL SIGN POST  
N.T.S.



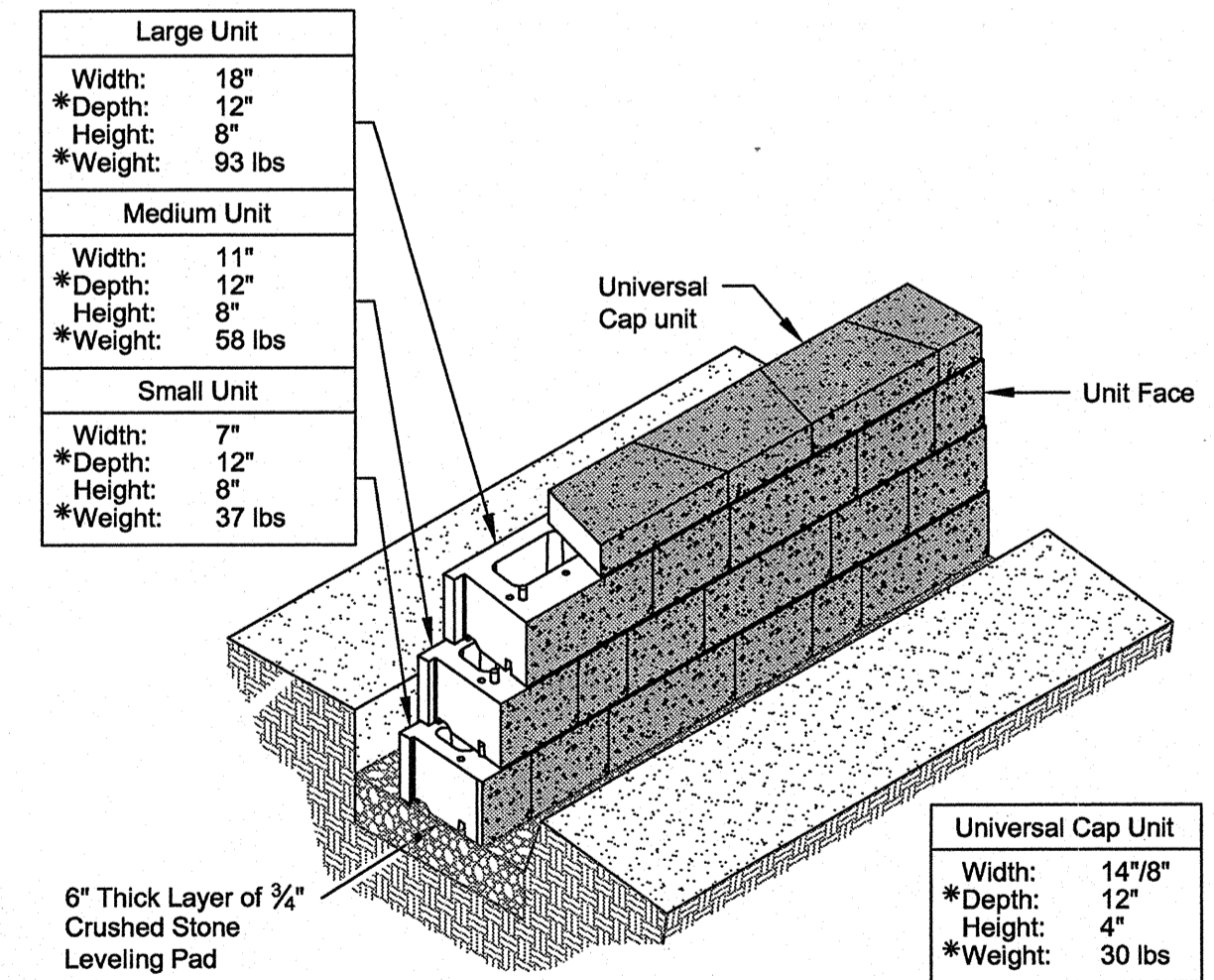
- NOTES:**
1. REFER TO PLAN SHEETS FOR LOCATION(S) OF FENCES TO BE INSTALLED.
  2. WHITE CEDAR FENCE WITH NATURAL STAIN FINISH.
  3. OWNER RESERVES THE RIGHT TO ALTER THE DIMENSIONS TO MEET VENDOR SUPPLIED DIMENSIONS.
  4. CORNER & END POSTS AND GATE POSTS ARE TO BE SET IN REINFORCED CONCRETE. REFER TO THE CONTRACT SPECIFICATIONS.
  5. STEEL REINFORCED DOUBLE SWING GATES SHALL HAVE IRON PINS TO SECURE SWING.

**F** DUMPSTER ENCLOSURE DETAIL  
N.T.S.



- NOTES:**
1. The leveling pad is to be constructed of crushed stone.
  2. The base foundation is to be approved by the engineer prior to placement of the leveling pad.
  3. Pinless system preferred, manufactured by Anchor Wall Systems, Keystone, or approved equal.
  4. Sawcut existing pavement for installation.
  5. Rear property line shall be marked by a licensed surveyor prior to the placement of the wall or decorative fence.

**I** MODULAR BLOCK RETAINING WALL DETAIL  
N.T.S.



Large Unit		
Width:	18"	
*Depth:	12"	
*Height:	8"	
*Weight:	93 lbs	

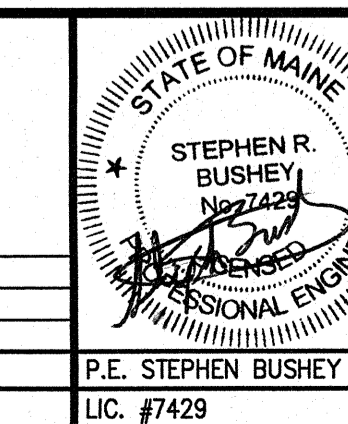
Medium Unit		
Width:	11"	
*Depth:	12"	
*Height:	8"	
*Weight:	58 lbs	

Small Unit		
Width:	7"	
*Depth:	12"	
*Height:	8"	
*Weight:	37 lbs	

Universal Cap Unit		
Width:	14 7/8"	
*Depth:	12"	
*Height:	4"	
*Weight:	30 lbs	

Wall Unit/Base Pad Isometric Section View  
\*Dimensions & Weight May Vary by Region  
NOT TO SCALE

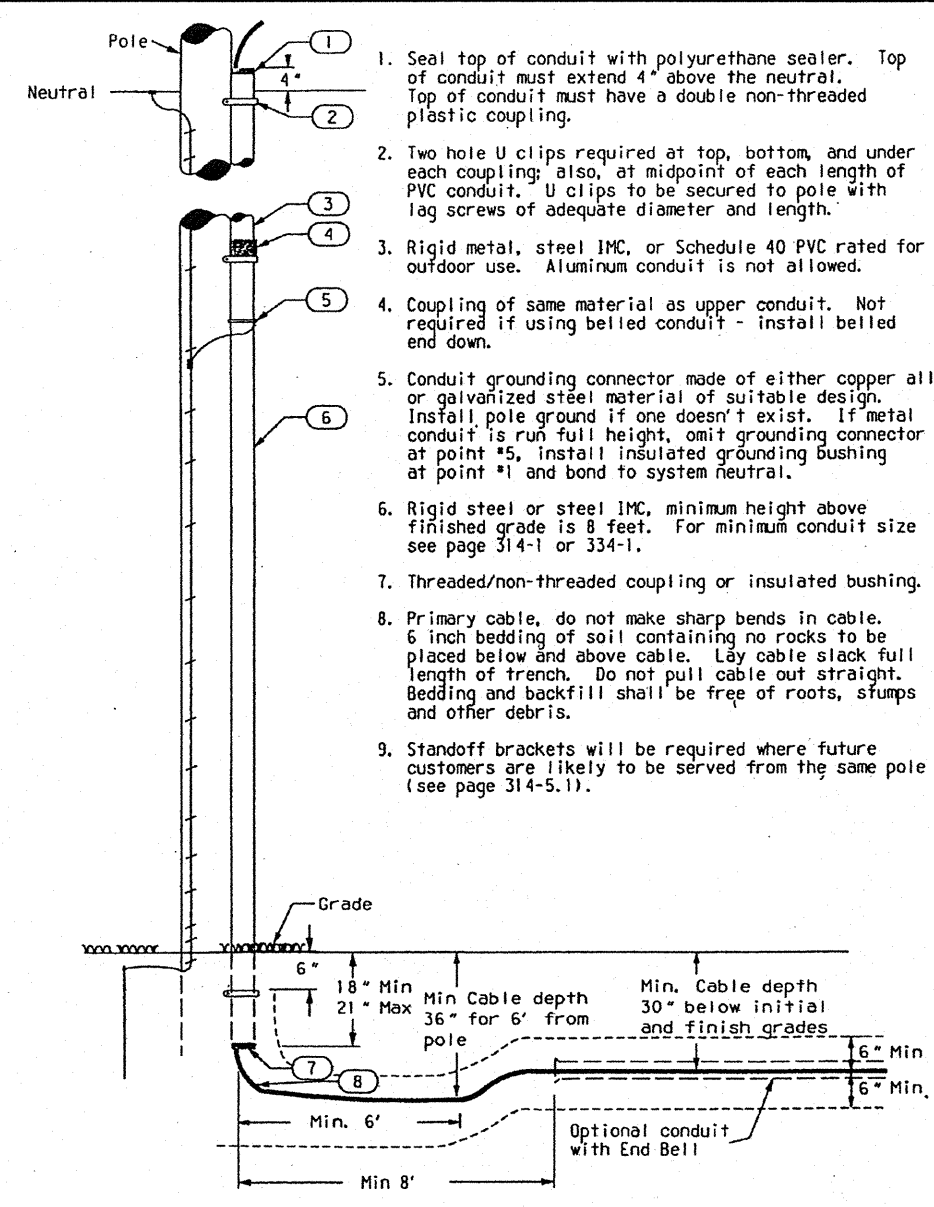
REV	DATE	DESCRIPTION	REVISIONS
3	08.19.08	FINAL SUBMISSION PER JULY 22, 2008 APPROVAL LETTER	
2	04.29.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND	
1	04.08.08	SITE PLAN APPLICATION TO CITY OF PORTLAND	



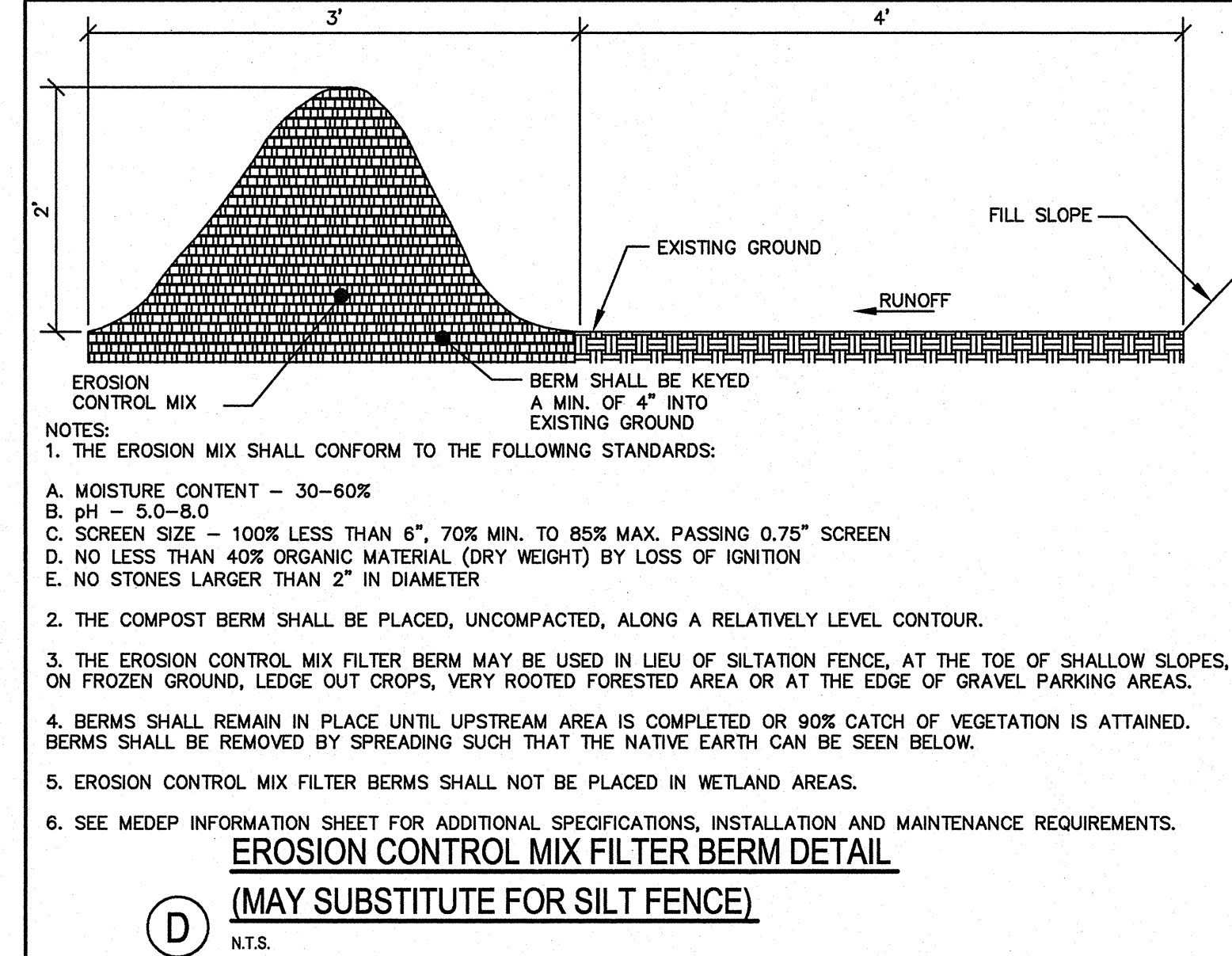
PROJECT	
AUTO-MART AUTOMOBILE DEALERSHIP NEW BUILDING CONSTRUCTION PORTLAND, MAINE	
SHEET TITLE	
SITE DETAILS	
CLIENT	
STEVE MARDIGAN 460 BAXTER BOULEVARD PORTLAND, MAINE 04103	

DH		DeLUCA-HOFFMAN ASSOCIATES, INC.	
173 MAIN STREET, SUITE 9 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM		DRAWN: DED DATE: APRIL 2008	
		DESIGNED: SRB SCALE: AS NOTED	
		CHECKED: SRB JOB NO. 2804.03	
		FILE NAME: 2804.03-DET	
		SHEET 4	

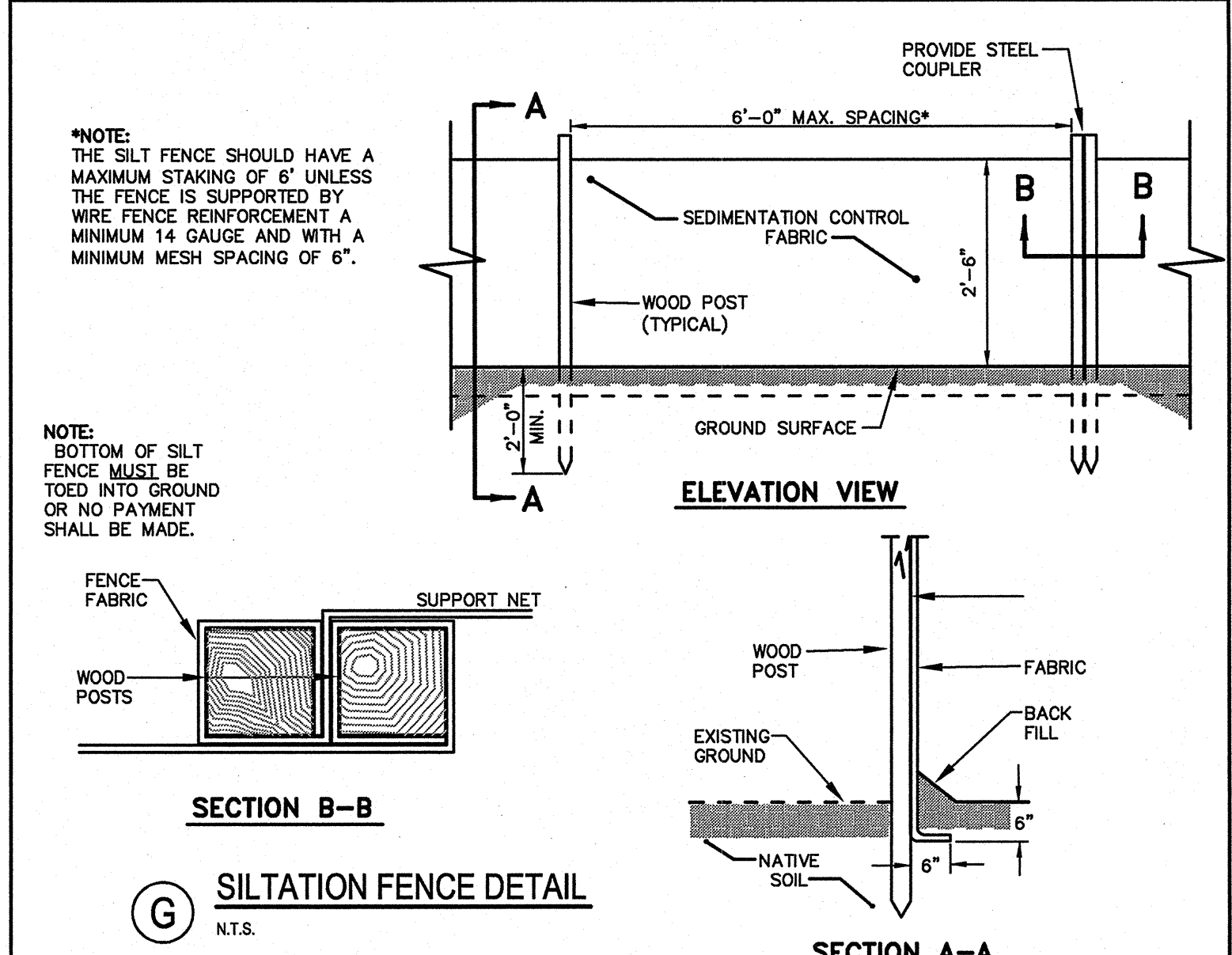




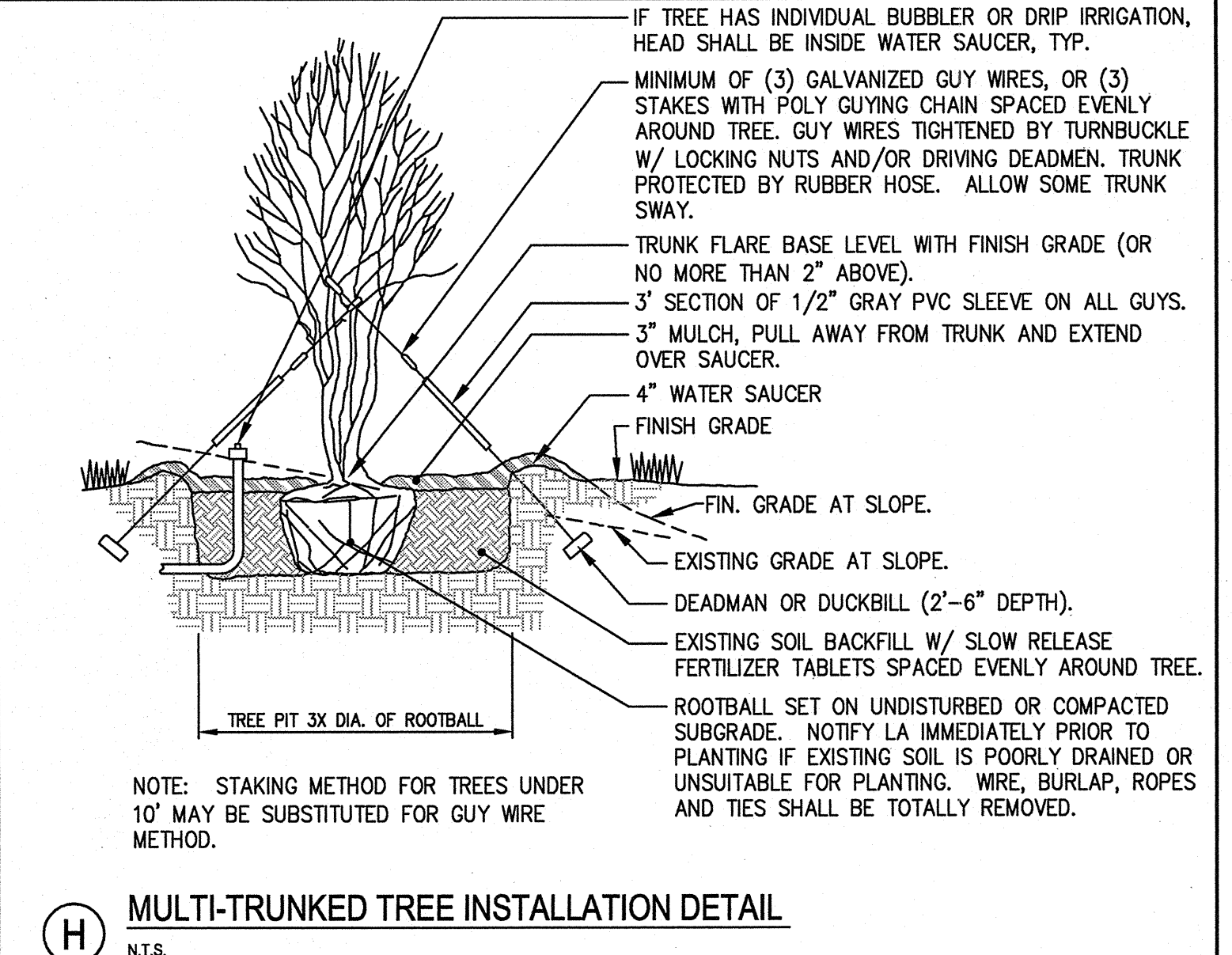
**A** PRIMARY URD RISER CONDUIT  
N.T.S.



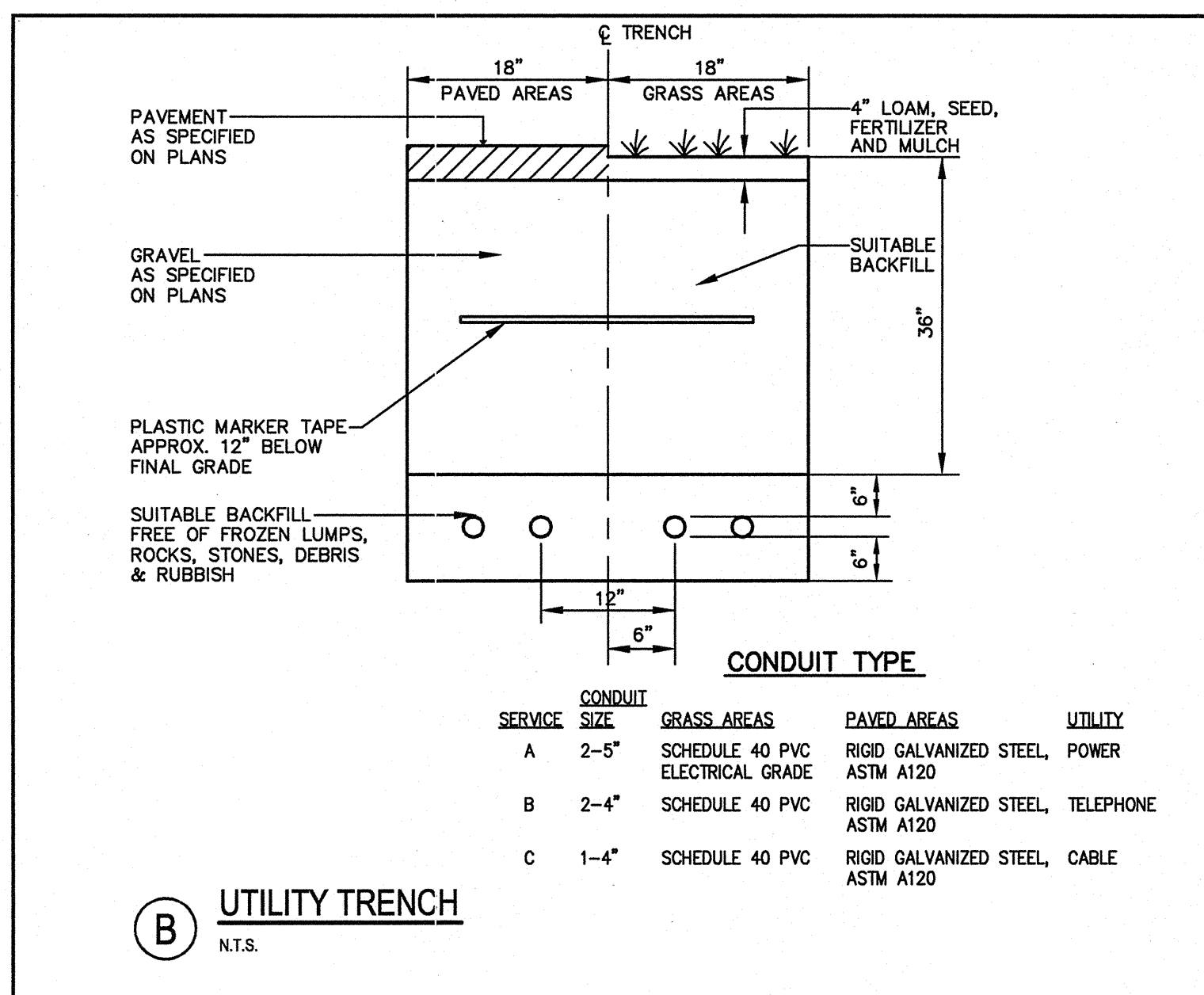
**D** EROSION CONTROL MIX FILTER BERM DETAIL  
(MAY SUBSTITUTE FOR SILT FENCE)  
N.T.S.



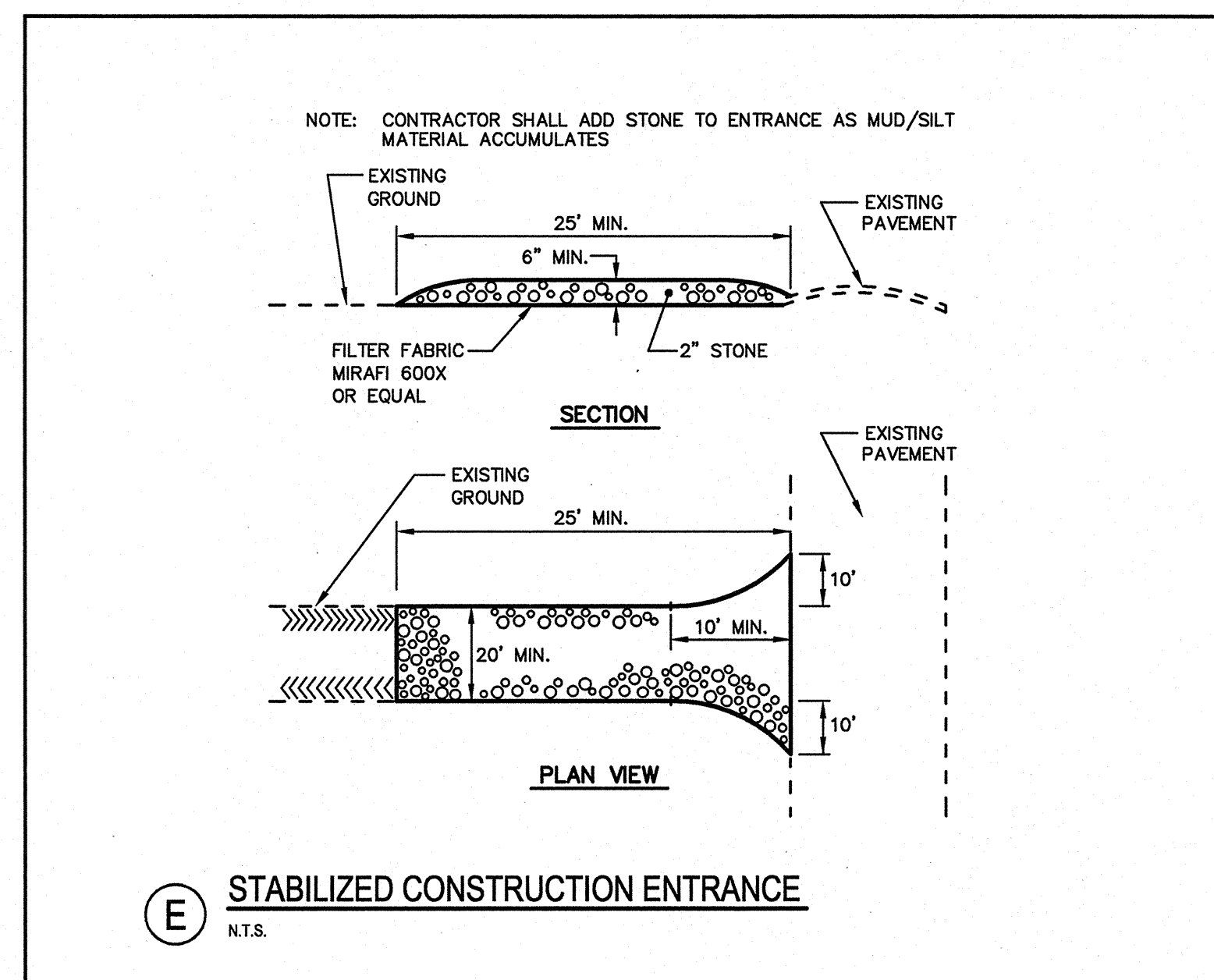
**G** SILTATION FENCE DETAIL  
N.T.S.



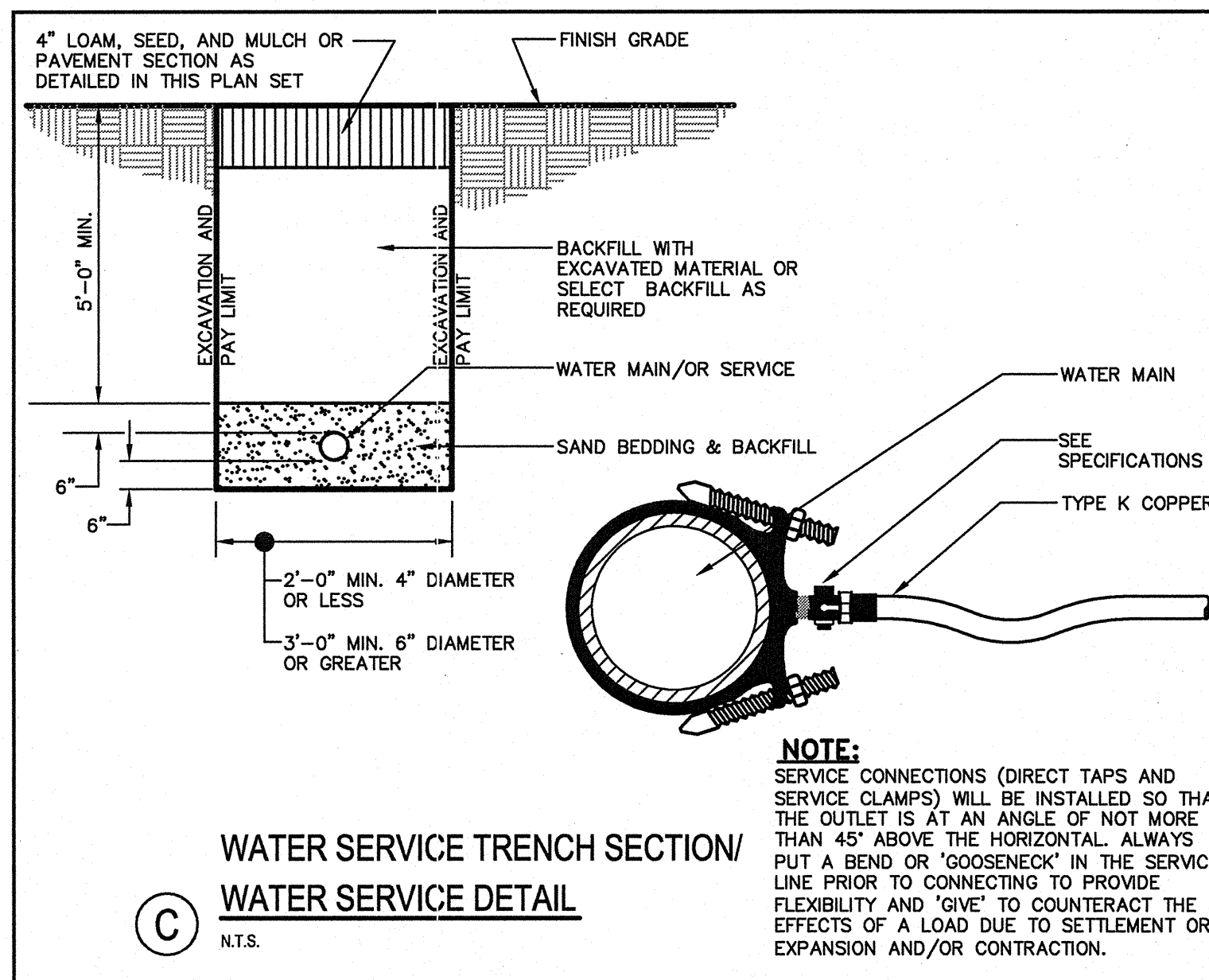
**H** MULTI-TRUNKED TREE INSTALLATION DETAIL  
N.T.S.



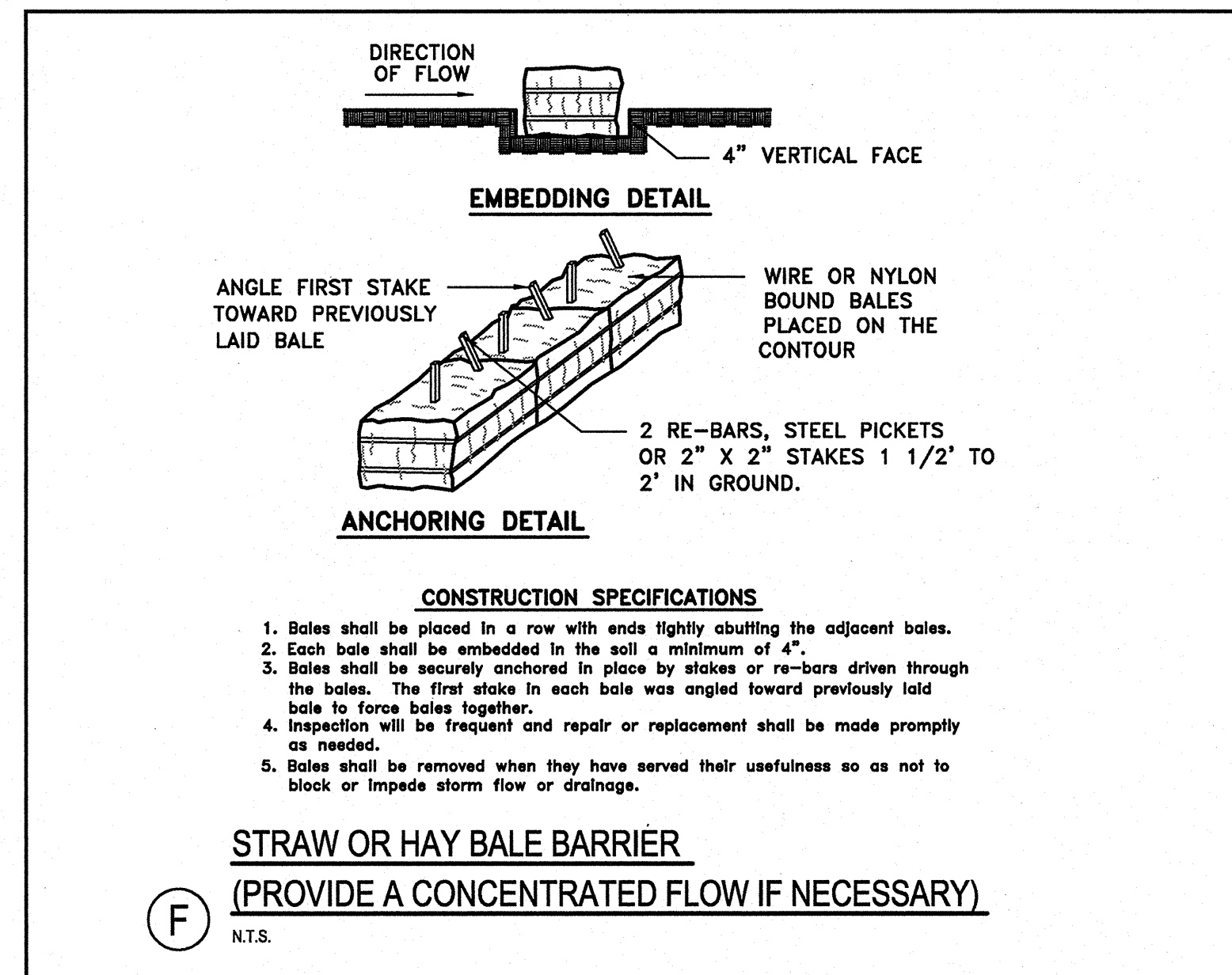
**B** UTILITY TRENCH  
N.T.S.



**E** STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.



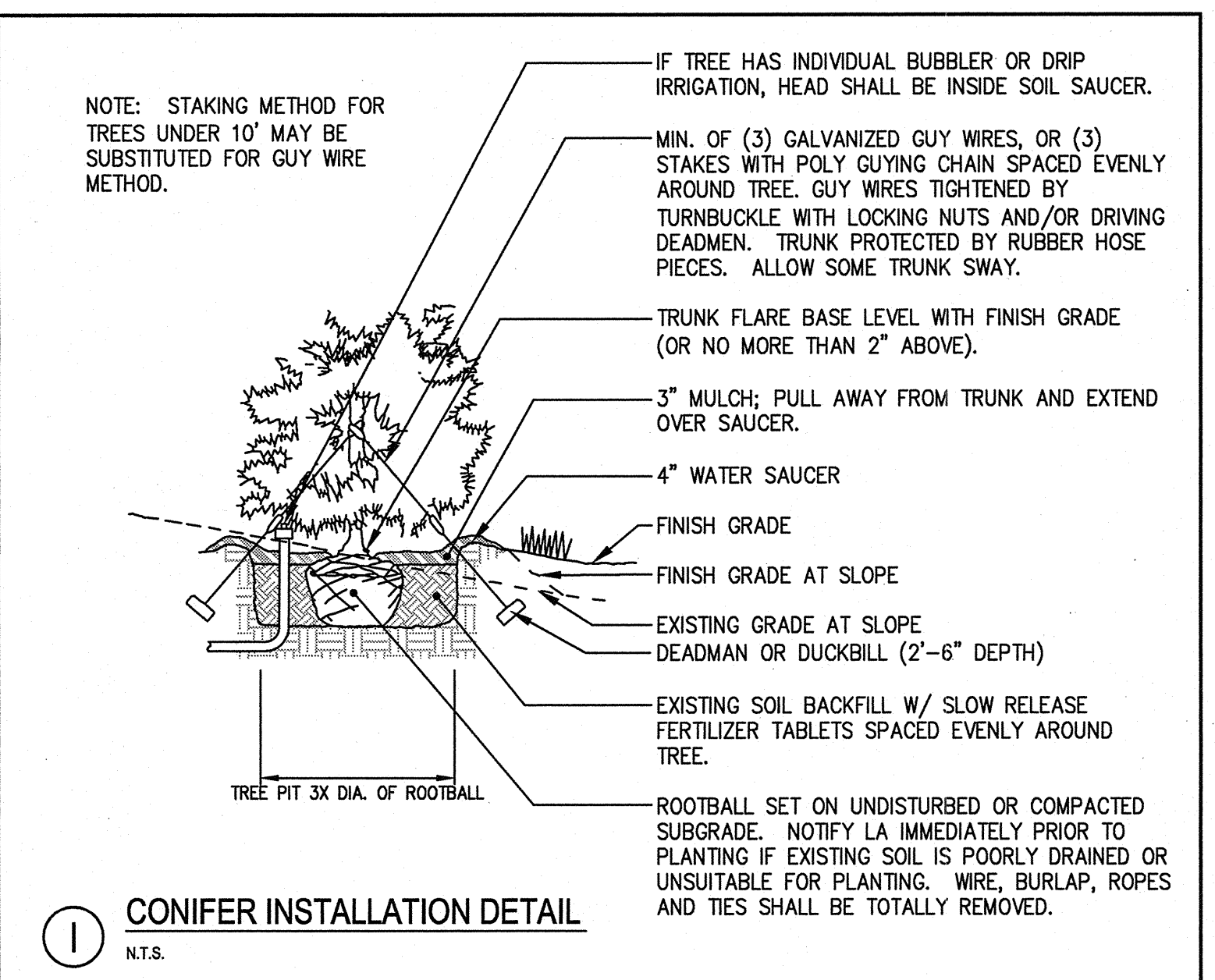
**C** WATER SERVICE TRENCH SECTION/  
WATER SERVICE DETAIL  
N.T.S.



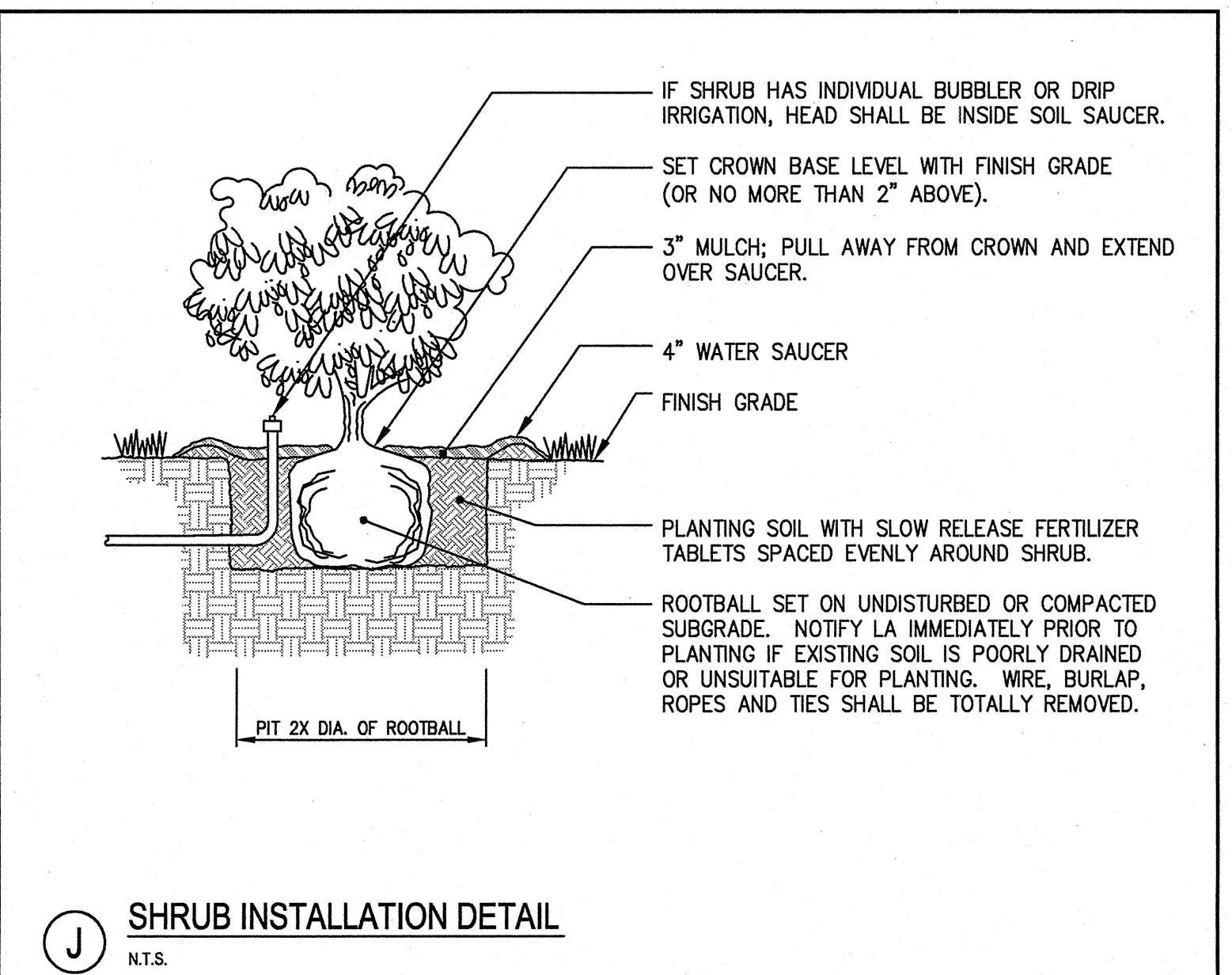
**F** STRAW OR HAY BALE BARRIER  
(PROVIDE A CONCENTRATED FLOW IF NECESSARY)  
N.T.S.

**LANDSCAPE NOTES**

- In new or renovated landscape areas, existing pavement, base material, planter edges, plant material and existing grass not indicated to remain shall be removed. In areas of existing pavement, all compacted aggregate and pavement materials shall be removed. The subbase shall be loosened to restore soil texture and permeability suitable for planting. The excavated areas shall be backfilled with clean, sandy loam, topdressed with a minimum of 6" of topsoil, compacted and prepared for planting. Areas indicated to be seeded shall be loamed in accordance with applicable details and reseeded and straw mulched. Existing vegetation to be preserved shall be protected during construction and shall be the responsibility of the General Contractor.
- Planting shall not occur until all grading, paving, and other construction are completed in the area.
- All plants shall have a normal habit of growth for the species and shall be sound, healthy, free of disease and insects, and free of dead or dying branches, branch tips or bark wounds. They shall conform to the measurements on the Plant List and shall conform to ANSI Z60.1 - Nursery Stock, latest revision.
- The planting period shall be April 15 to October 15 and shall only be performed when weather and soil conditions are suitable. The seeding periods shall be in the spring (April 15 to June 15) and in the fall (September 15 to November 1).
- The Contractor shall provide water for irrigation if not available on site. Antidessiccant, Wilt-Pruf, or approved equal, shall be applied as necessary to protect against excessive moisture loss from needles or leaves.
- All plants shall have all non-biodegradable and biodegradable materials (wire, burlap, string, rope, pots, etc.) removed at the time of planting. Circling roots or roots that would later girdle the plant shall be straightened, cut or the root ball shall be cut utilizing the "butterfly method". Wire baskets and burlap on rootballs shall be cut and removed.
- Backfill mix for all plant material, except trees, shall be composed of two parts existing soil amended with one part compost or topsoil, or with one part sandy fill if heavy soils. Tree pits shall be backfilled with existing soil. Planting pits shall be excavated to twice the diameter and to the same depth of the plant root ball. Backfill 1/2 of depth of pit at a time and compact. Bare root tree plantings are acceptable, with appropriate planting methods demonstrated and approved by the Landscape Architect. Refer to fertilizer tables and install slow release fertilizer after first backfill fill.
- All backfill mixes shall be supplemented with slow release fertilizer tablets. Tablets shall be Agriform 21 gram 20-10-5 tablets or an approved equal. Application rate: perennials - 1 tablet/plant, woody shrubs to 3'-0" - 2 tablets/plant, shrubs and trees 3'-0" to 6'-0" - 3 tablets/plant and trees 6'-0" and above - 4 tablets/plant. After plants are installed, liquid feed all plants with Roots or an approved equal. Mix according to manufacturers instructions. Application rate: perennials - 2 qt/plant, woody shrubs to 4'-0" - 1.5 gal/plant, trees and shrubs 4'-0" to 10'-0" 3.0 gal/plant and trees 10' and above - 4.0 gal/plant.
- All shade trees require a minimum of three 2 x 2 x 8 pt stakes and polyties or galvanized wire or cable, deadmen, and rubber hose pieces, per the installation details as provided. Evergreen trees may be staked as necessary to maintain vertical position. Tree staking material shall be removed by the Landscape Contractor after one growing season.
- All plant beds and watering rings shall be free of weeds or grass prior to installation of mulch and shall be maintained free of weeds until Final Acceptance of the landscaping. If vegetation exists, or germinates in the course of work, treat with herbicide; use of a pre-emergent herbicide is recommended in plant beds.
- All shrub plantings shall be contained in mulched beds. Mulch shall be medium shredded bark, 3" depth. All plantings not in beds or islands shall have mulched water rings in accordance with the plant installation details.
- All plants shall have their locations staked and approved by the Landscape Architect or Owner prior to plant installation. All plants shall be oriented for best appearance.
- All areas not identified with other surface treatments shall be seeded and straw mulched with seed mixes as noted and as described in the specifications:
  - Prior to seeding, apply fertilizer and lime in accordance with soil test recommendations.
  - Low maintenance areas: 35% Tall Fescue, 30% Creeping Red Fescue, 20% Perennial Ryegrass, 15% Annual Ryegrass Rate: 5 lbs/1000 sf.
- Plant species substitutions will not be allowed unless first approved by the Landscape Architect or Owner. Any deviation from the landscape plan, including plant locations, species, sizes, quantity, or condition, shall be reviewed and approved by the Owner and Landscape Architect (and municipal authority if applicable) prior to installation. Any schedules or lists accompanying the plans shall be used as a guide only. In the case of discrepancies between plans and such schedules or lists, the work as called for on the plans shall take precedence.
- The Contractor shall be responsible for lawn maintenance. Maintenance shall commence at the time of planting and continue until grass is full and established. Maintenance shall include, but not be limited to: watering, mowing, reseeding, seasonal fertilizing, liming, applications of broadleaf herbicides, pesticides and/or insecticides as necessary to maintain a healthy stand of grass. The Owner shall become responsible for lawn maintenance after grass is deemed established by the Engineer/Landscape Architect.
- The Contractor shall maintain plant material until completion of the punch list items. Following completion of the punch list items, and Final Acceptance of landscaping, maintenance of the plant material shall become the responsibility of the Owner, or its designated representative.
- All plants shall be guaranteed for a period of not less than one year after the Date of Substantial Completion Acceptance by the Owner and Landscape Architect. Dead plants and plants not in a vigorous, thriving condition, as determined by the Landscape Architect during and at the end of the guarantee period, shall be replaced without cost to the Owner, as soon as weather conditions permit and within the specified planting period. Replacements shall match the original plant species and size specified. Upon acceptance of the replacement material, the full guarantee period shall commence for each plant replaced. The Contractor shall repair any damage incurred in the course of replacement work at no cost to the Owner.



**I** CONIFER INSTALLATION DETAIL  
N.T.S.

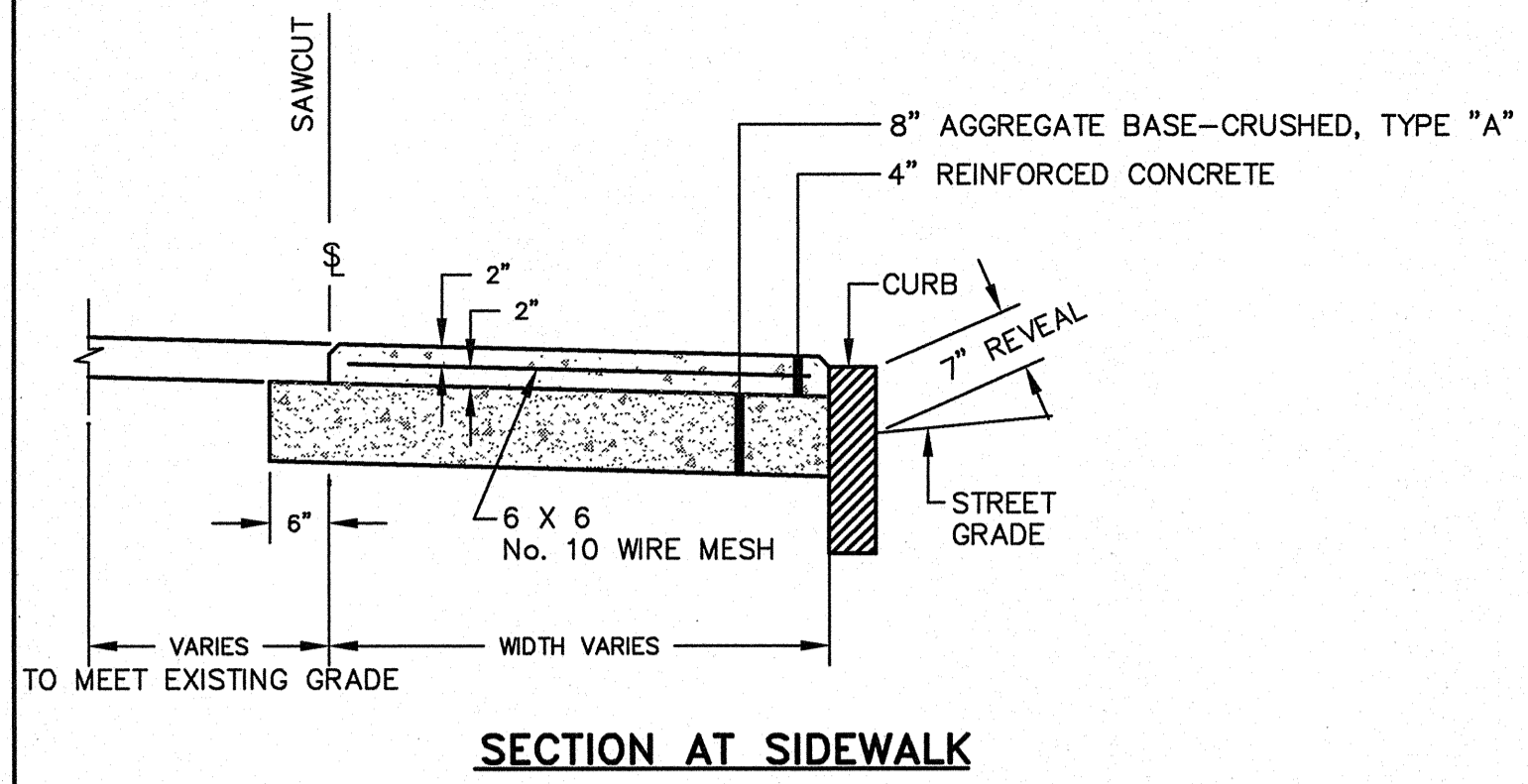


**J** SHRUB INSTALLATION DETAIL  
N.T.S.

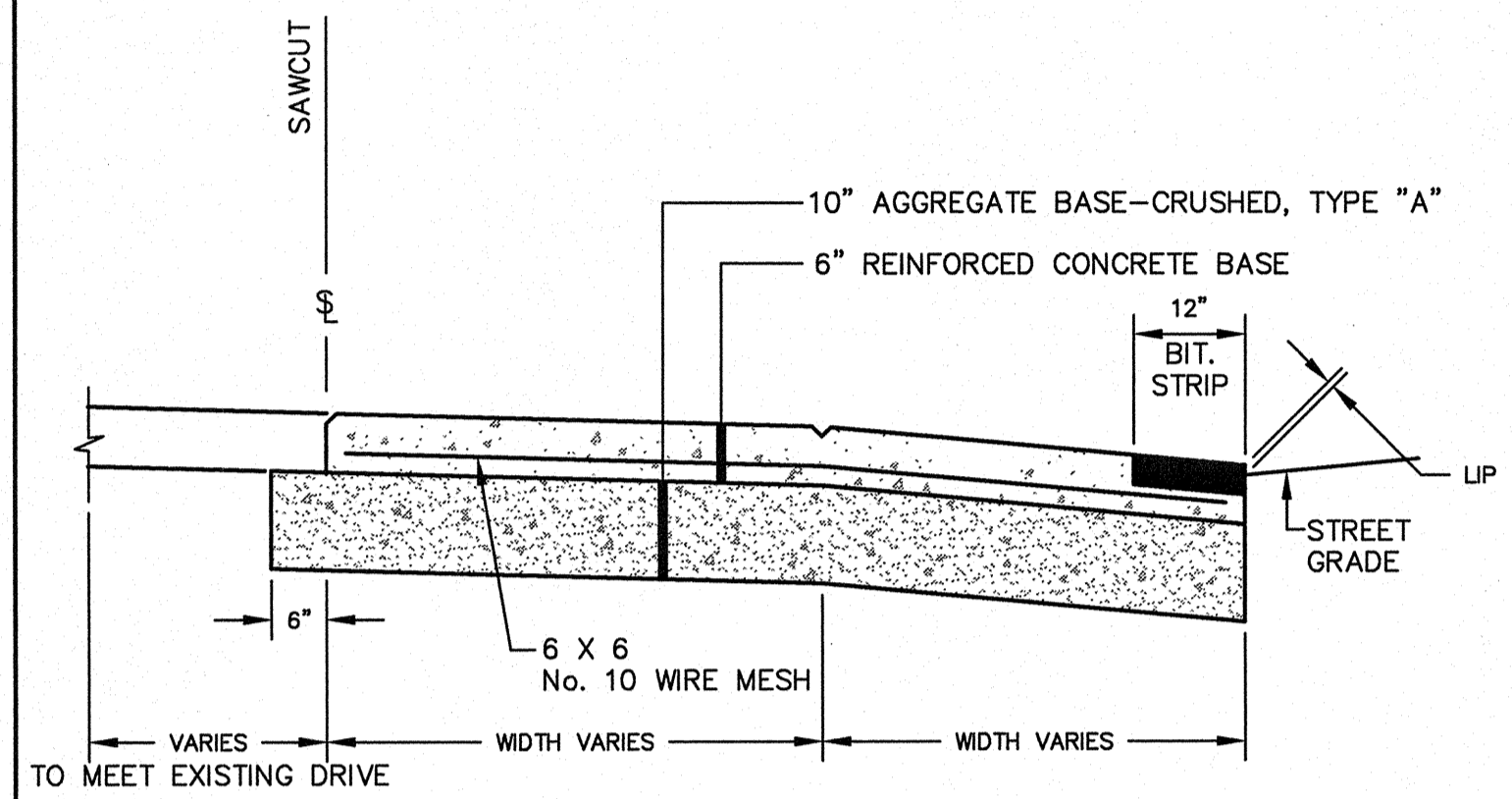
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		PROJECT AUTO-MART AUTOMOBILE DEALERSHIP NEW BUILDING CONSTRUCTION PORTLAND, MAINE	
SHEET TITLE <b>SITE DETAILS</b>		CLIENT STEVE MARDIGAN 460 BAXTER BOULEVARD PORTLAND, MAINE 04103	DRAWN: DED DATE: APRIL 2008 DESIGNED: SRB SCALE: AS NOTED CHECKED: SRB JOB NO. 2804.03 FILE NAME: 2804.03-DET SHEET 5
2 08.19.08 FINAL SUBMISSION PER JULY 22, 2008 APPROVAL LETTER 1 04.08.08 SITE PLAN APPLICATION TO CITY OF PORTLAND	REVISIONS	P.E. STEPHEN BUSHEY LIC. #7429	



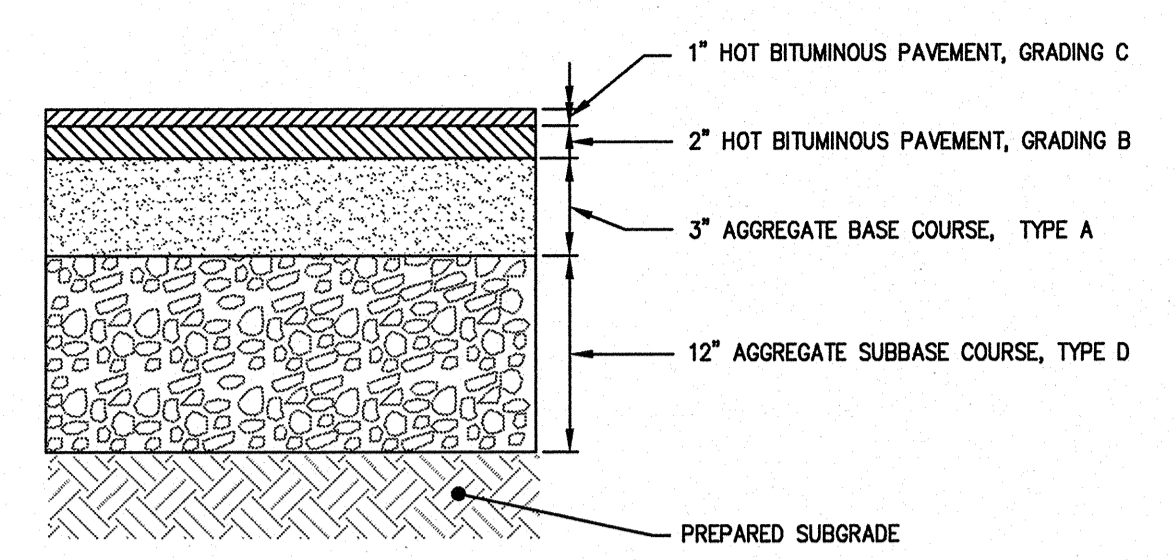


**SECTION AT SIDEWALK**

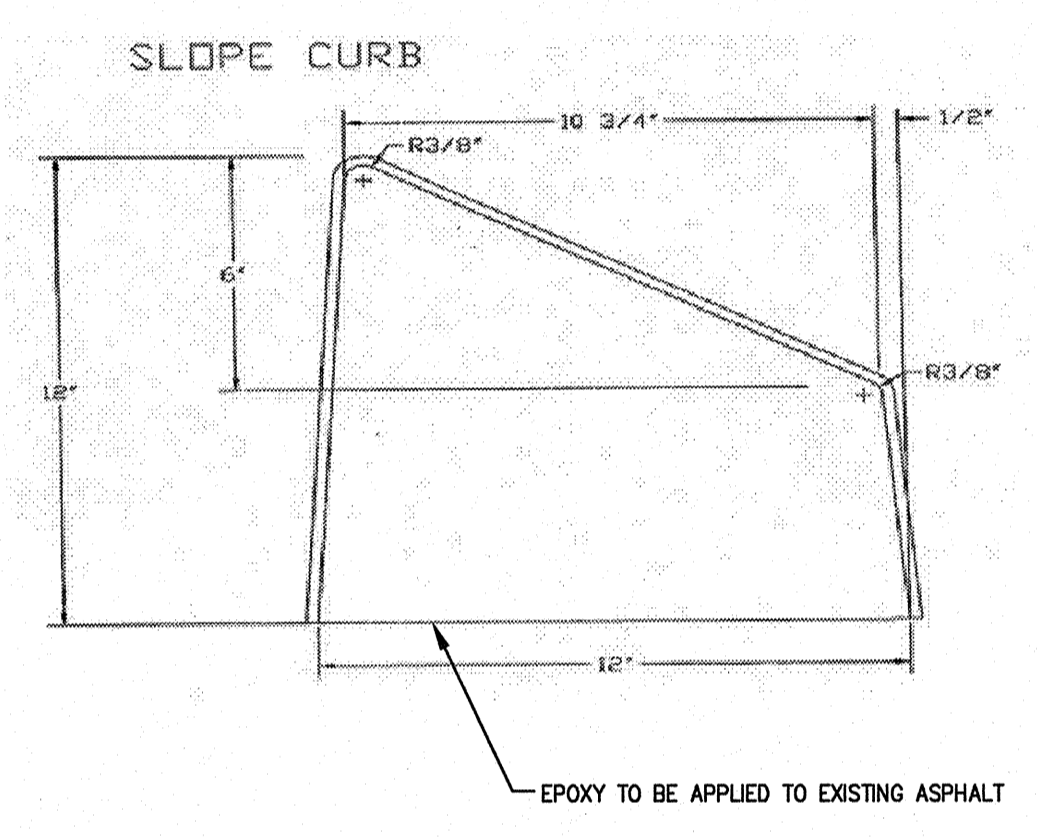


**SECTION AT DRIVEWAY**

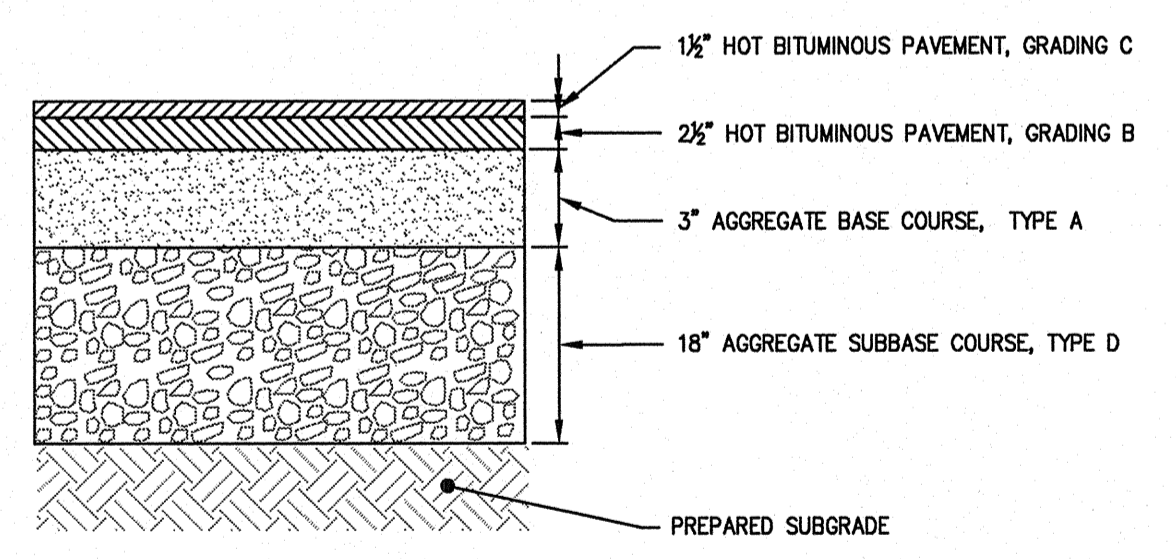
**(A) CONCRETE SIDEWALK AND DRIVEWAY CONSTRUCTION**  
N.T.S.



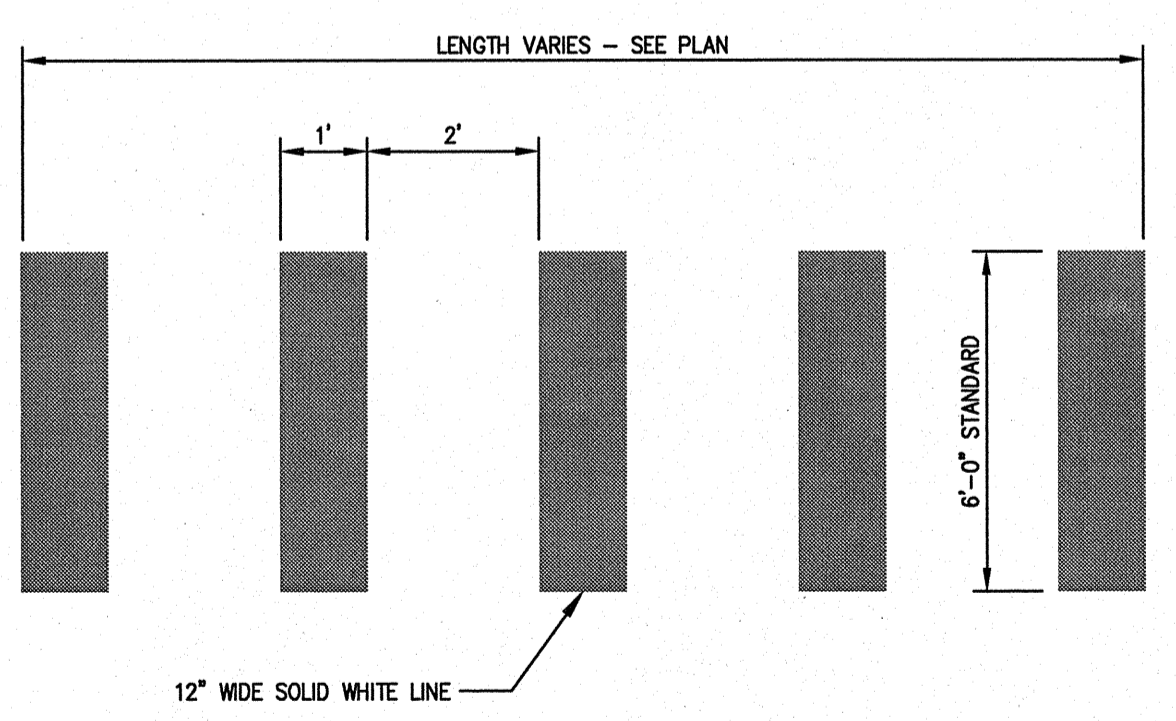
**(C) TYPICAL PAVEMENT SECTION (ONSITE)**  
N.T.S.



**(D) CAST IN PLACE CONCRETE CURB DETAIL**  
N.T.S.

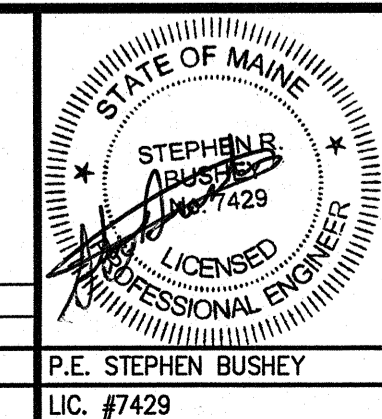


**(B) TYPICAL PAVEMENT SECTION (WITHIN PUBLIC R.O.W.)**  
N.T.S.



**(E) CROSSWALK STRIPING DETAIL**  
N.T.S.

REV	DATE	DESCRIPTION	REVISIONS
2	08.19.08	FINAL SUBMISSION PER JULY 22, 2008 APPROVAL LETTER	
1	06.03.08	REVISED AND RESUBMITTED TO CITY OF PORTLAND	



PROJECT	AUTO-MART AUTOMOBILE DEALERSHIP NEW BUILDING CONSTRUCTION PORTLAND, MAINE		
SHEET TITLE	SITE DETAILS		
CLIENT	STEVE MARDIGAN 460 BAXTER BOULEVARD PORTLAND, MAINE 04103		

	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM		
	DRAWN: DED	DATE: APRIL 2008	
DESIGNED: SRB	SCALE: AS NOTED		
CHECKED: SRB	JOB NO. 2804.03		
FILE NAME: 2804.03-DET			
SHEET	6		

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#	DATE	DESCRIPTION

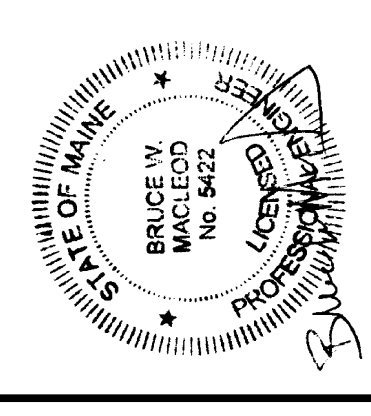
CURRENT REVISION

AVENUE AUTO CO. ANNEX  
745-757 FOREST AVE.

MAINE

PORTLAND

Macleod Structural Engineers, P.A.  
404 Main Street  
Gorham, Maine 04038  
phone: (207) 839-0980  
fax: (207) 839-0982



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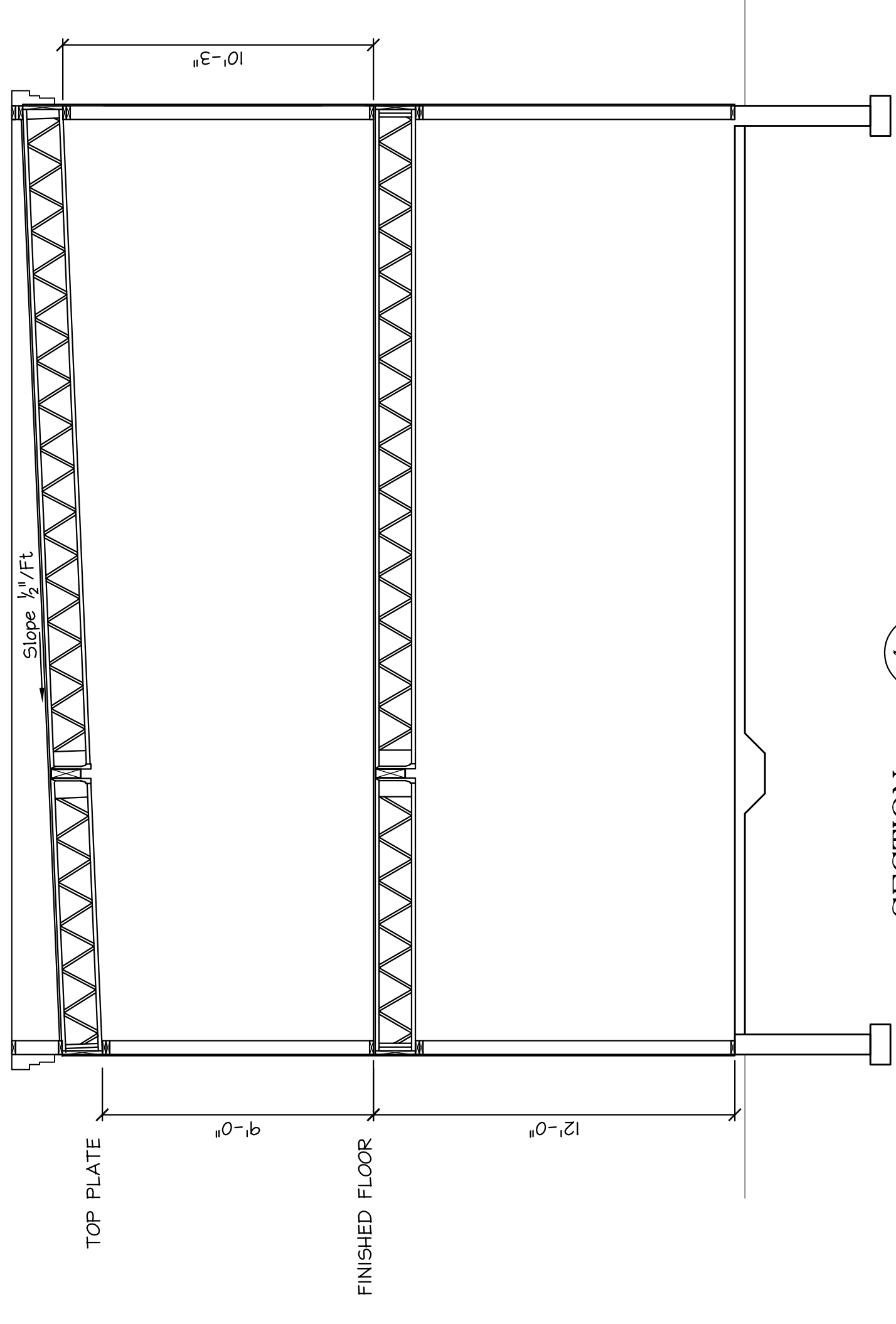
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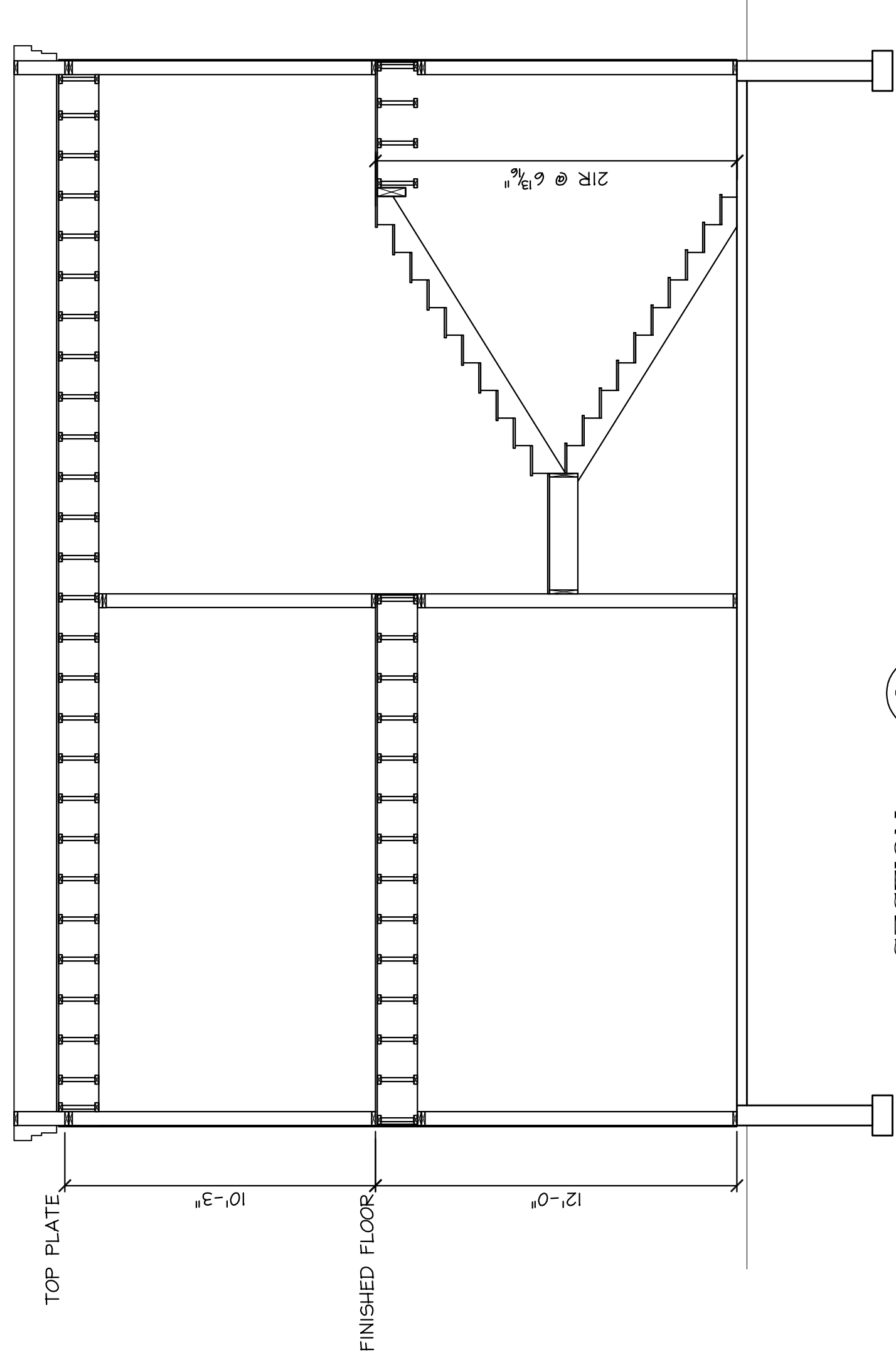
DRN BY:	DME
CHKD BY:	BWM
DATE:	10/17/07
SCALE:	As Noted
PROJ. NO.:	2008-202

SHEET TITLE:  
FRAMING PLANS  
& SECTIONS

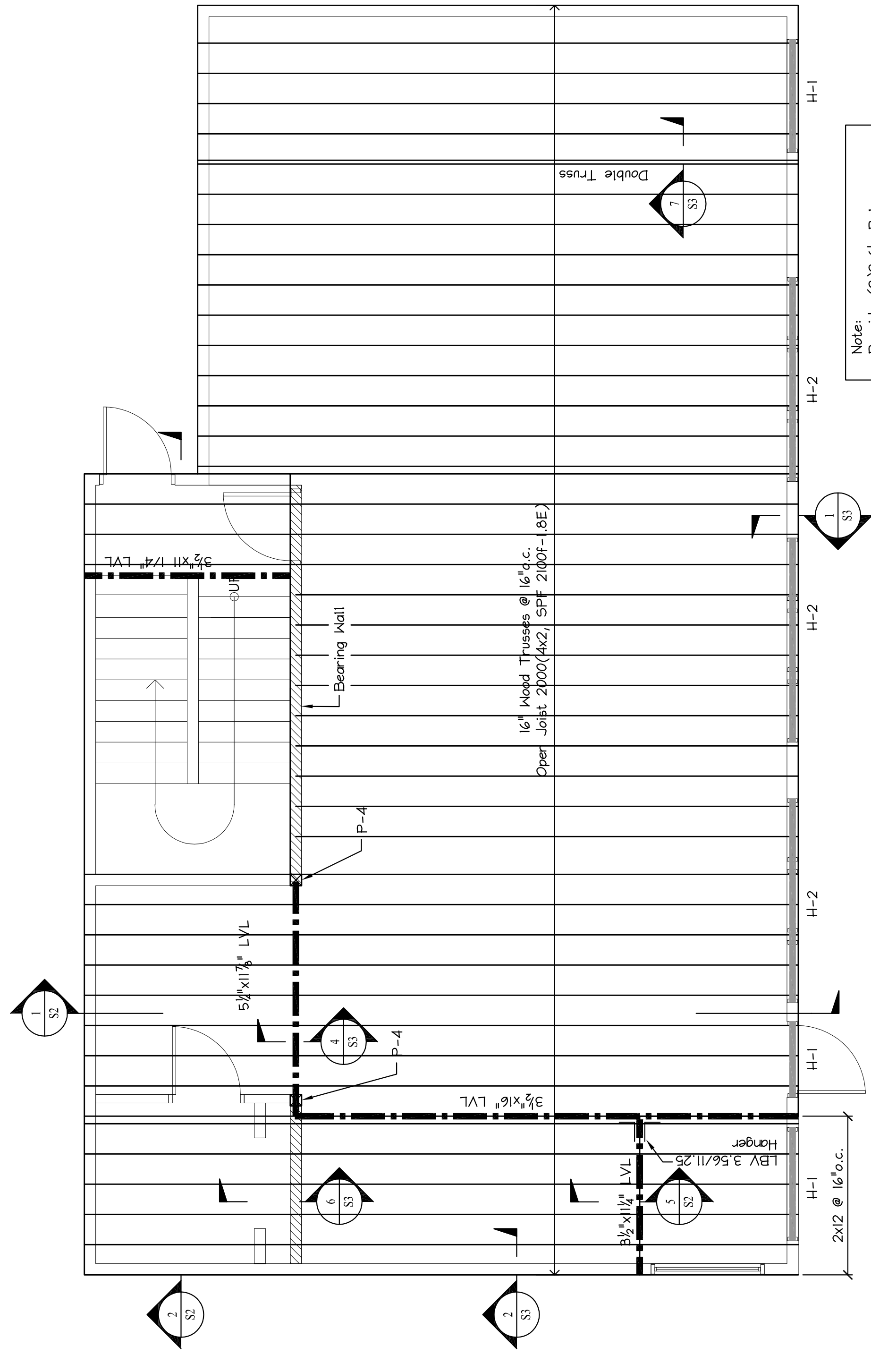
S2 OF



SECTION 1  
SCALE: 1/4" = 1'-0"



SECTION 2  
SCALE: 1/4" = 1'-0"

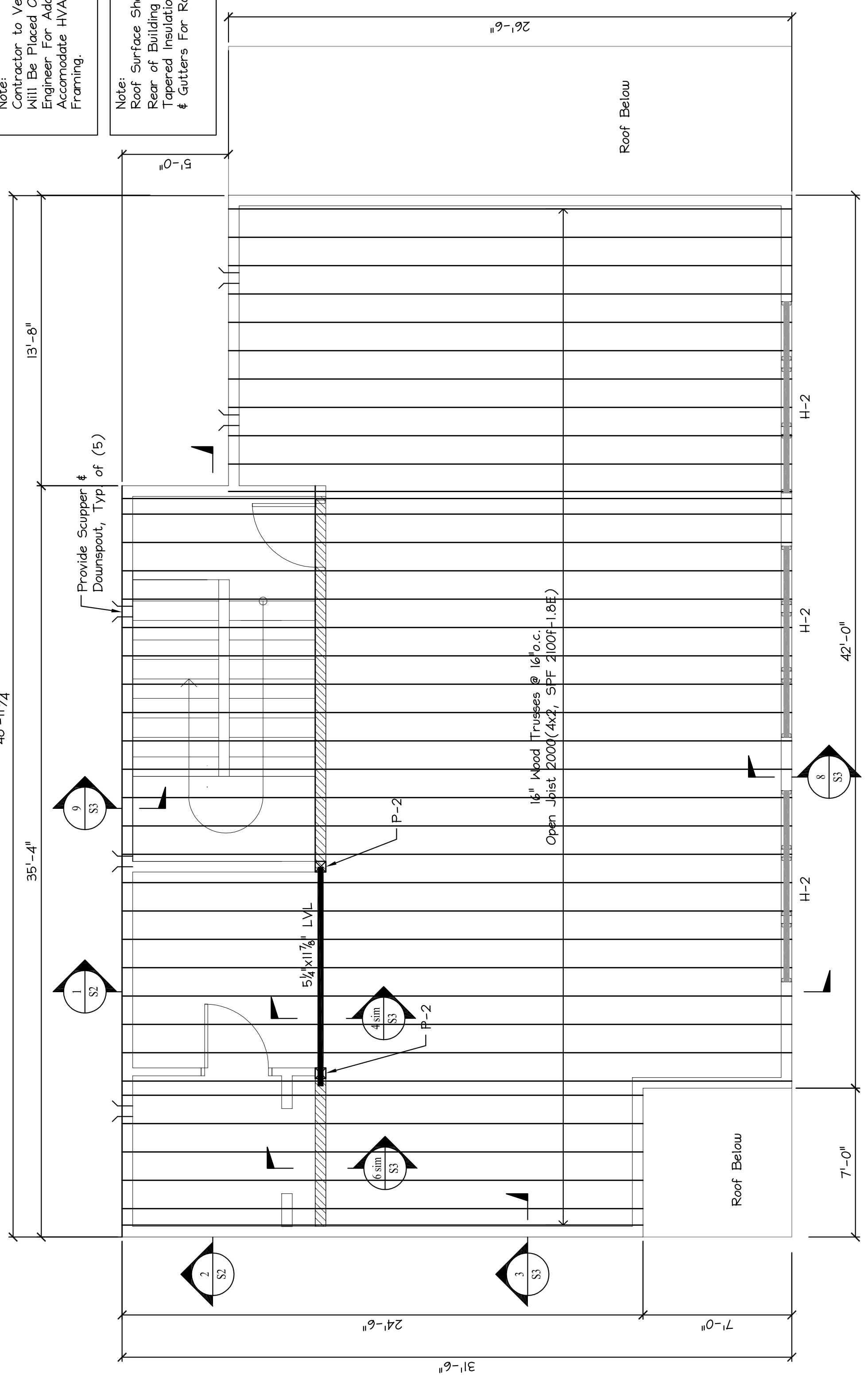


SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

Note:  
Provide (2)2x6's Below  
LVL's, Typical J.W.C.O.  
P-4 = (4)2x6 Post  
P-2 = (2)2x6 Post

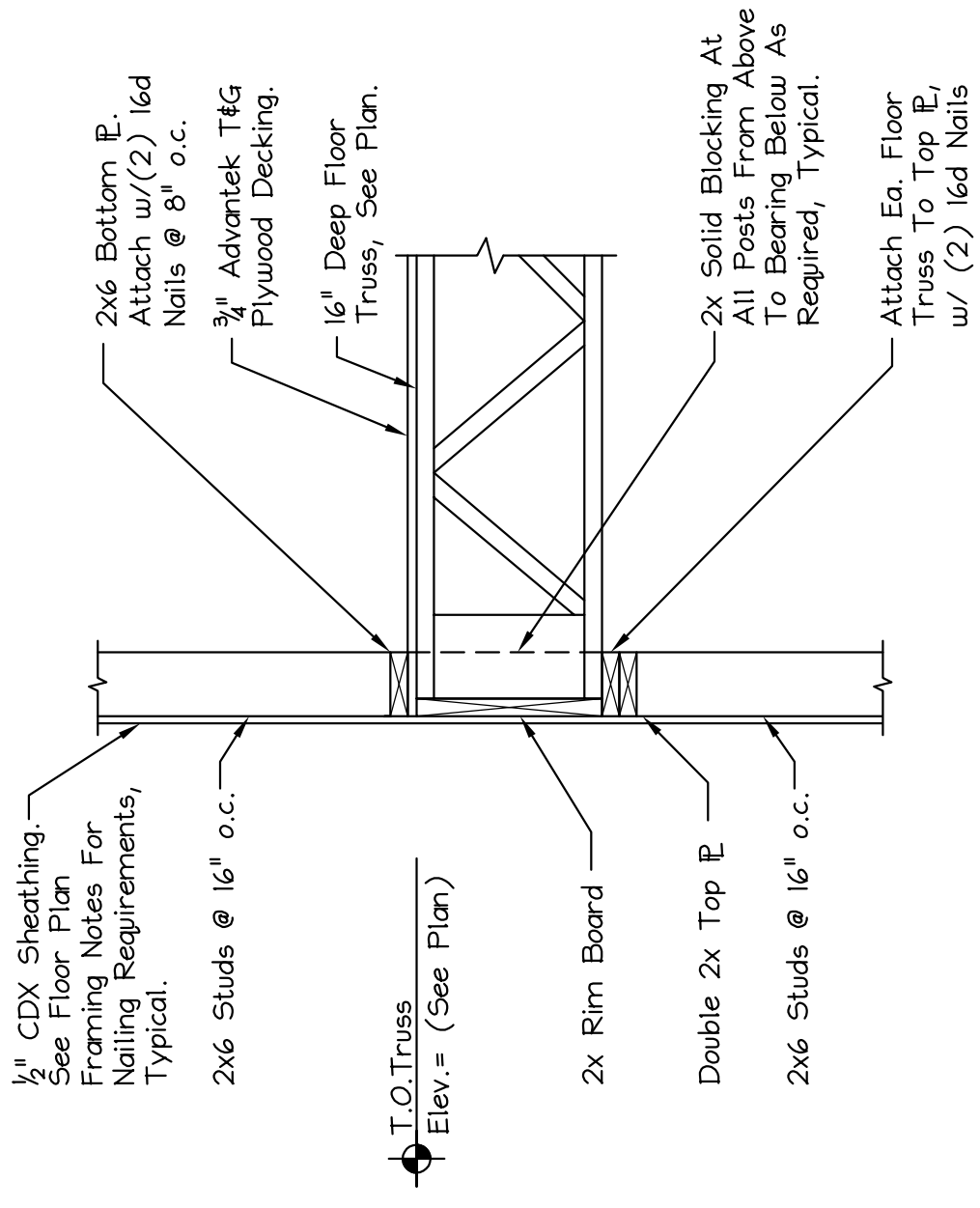
Notes:  
Contractor to Verify if HVAC Units  
Will Be Placed On Roof. Notify  
Engineer For Additional Framing To  
Accommodate HVAC Units, Prior To  
Framing.

Notes:  
Roof Surface Shall Be Pitched To  
Rear of Building Min. of 1/4" ft Using  
Tapered Insulation. Provide Scurpers  
& Gutters For Rain Water.



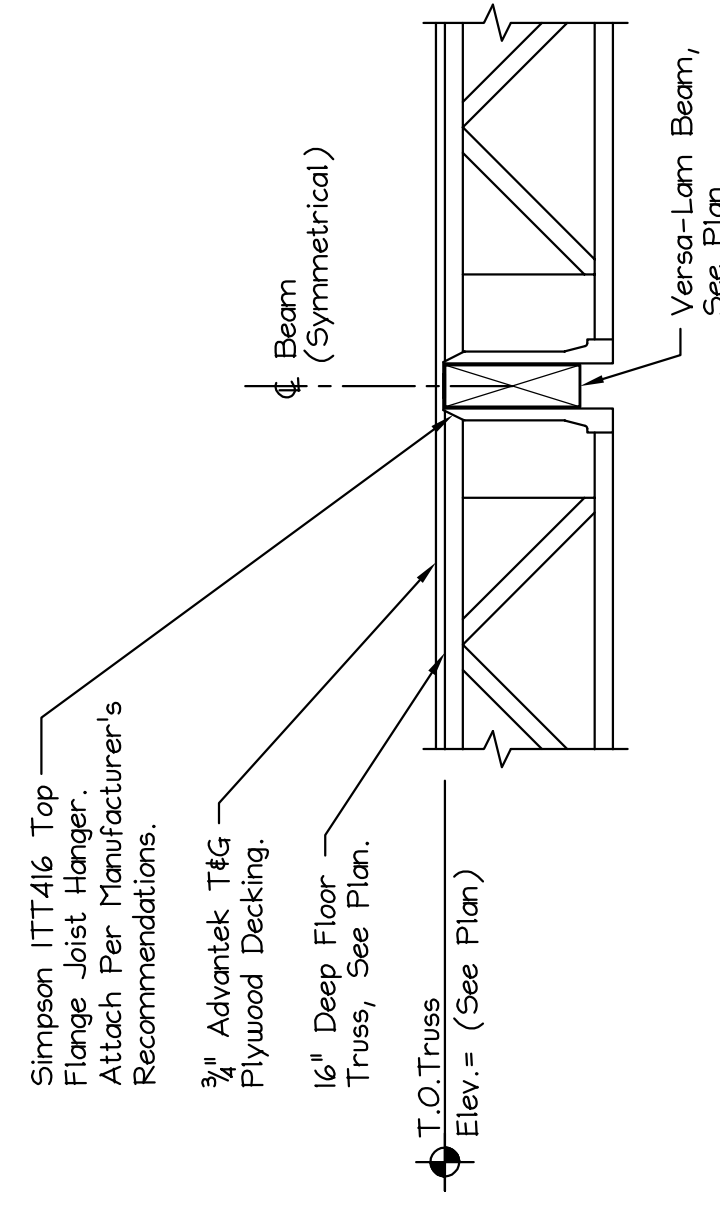
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"





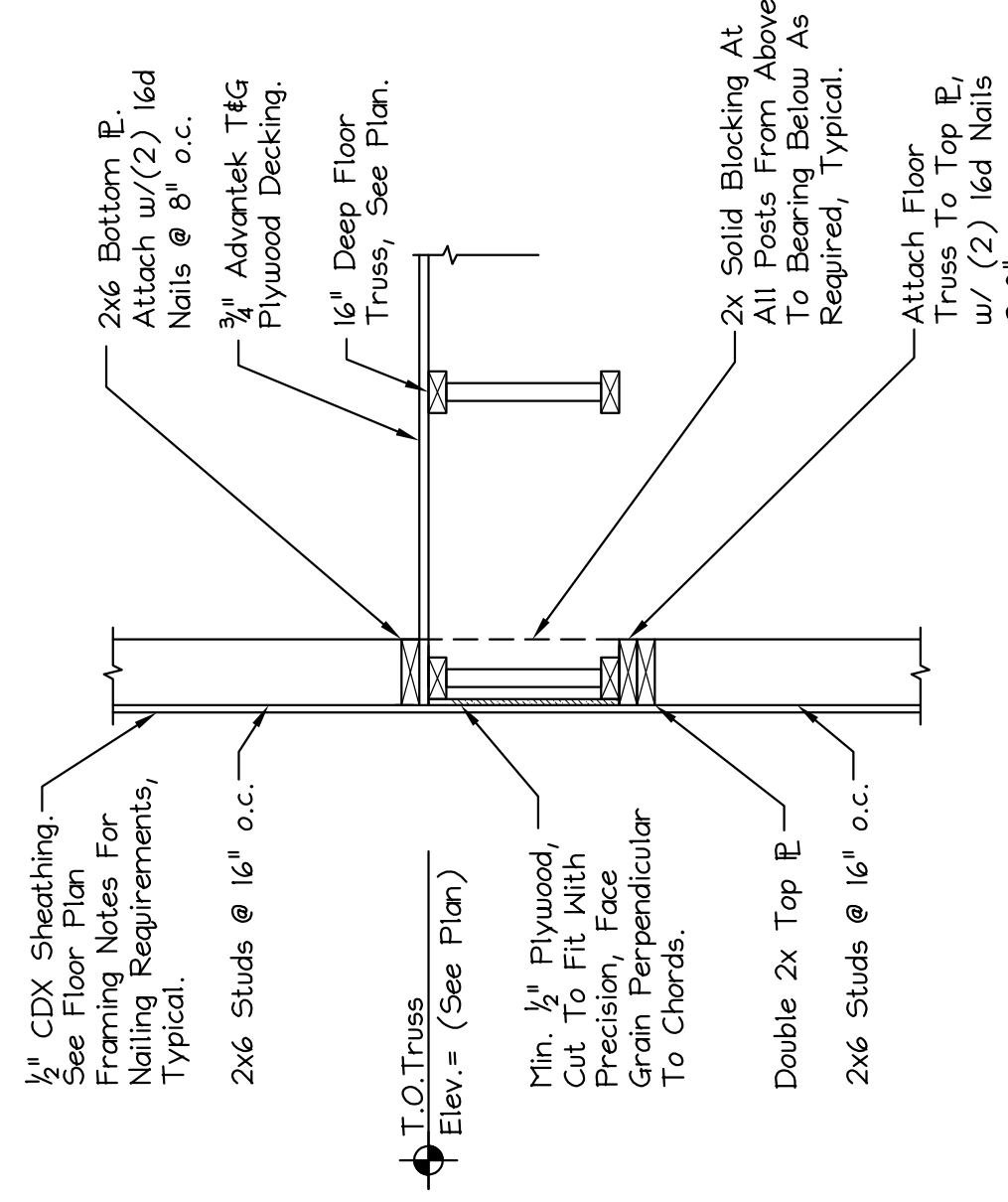
SECTION 1  
SCALE: 3/4" = 1'-0"

1 S2



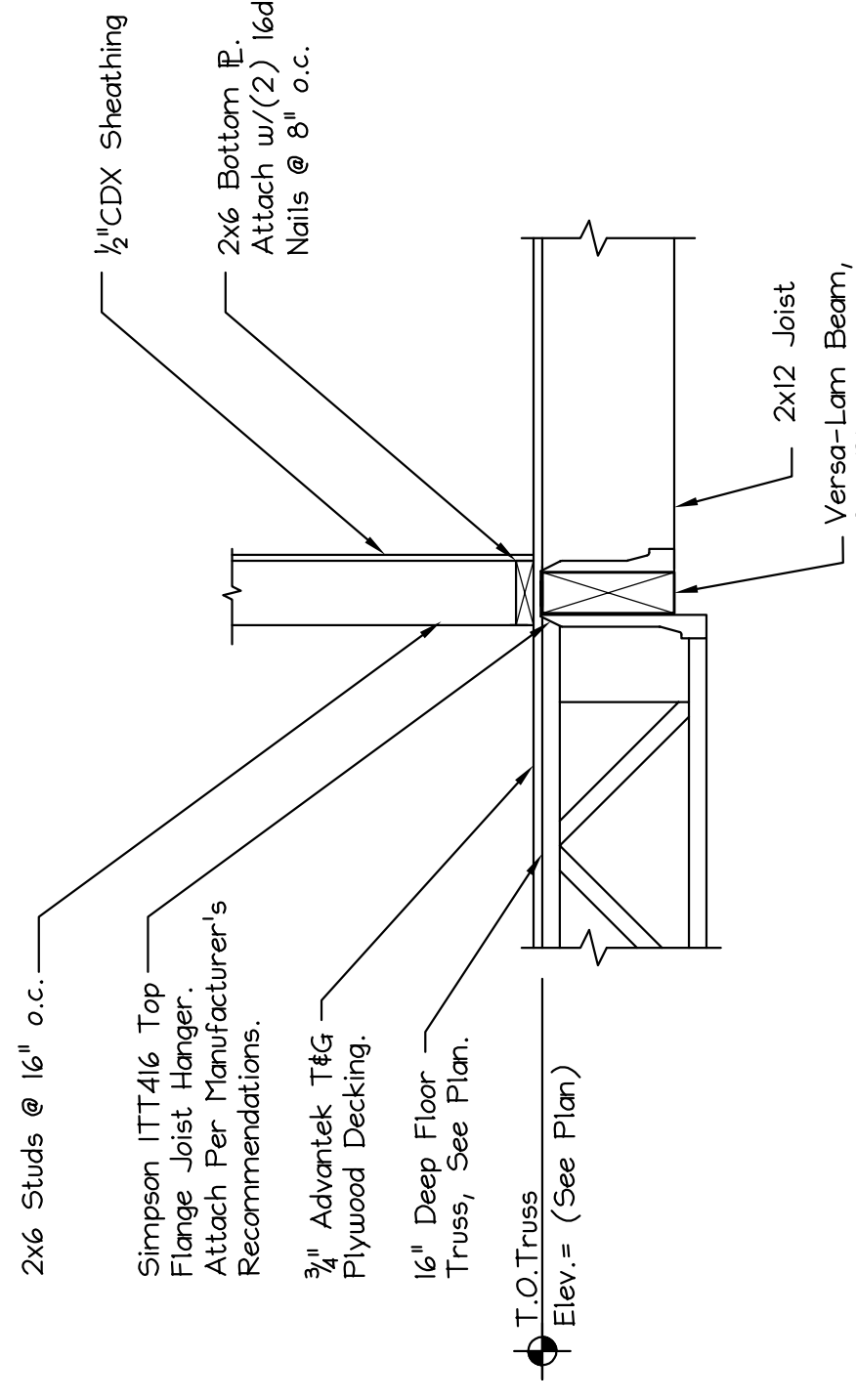
SECTION 4  
SCALE: 3/4" = 1'-0"

4 S2



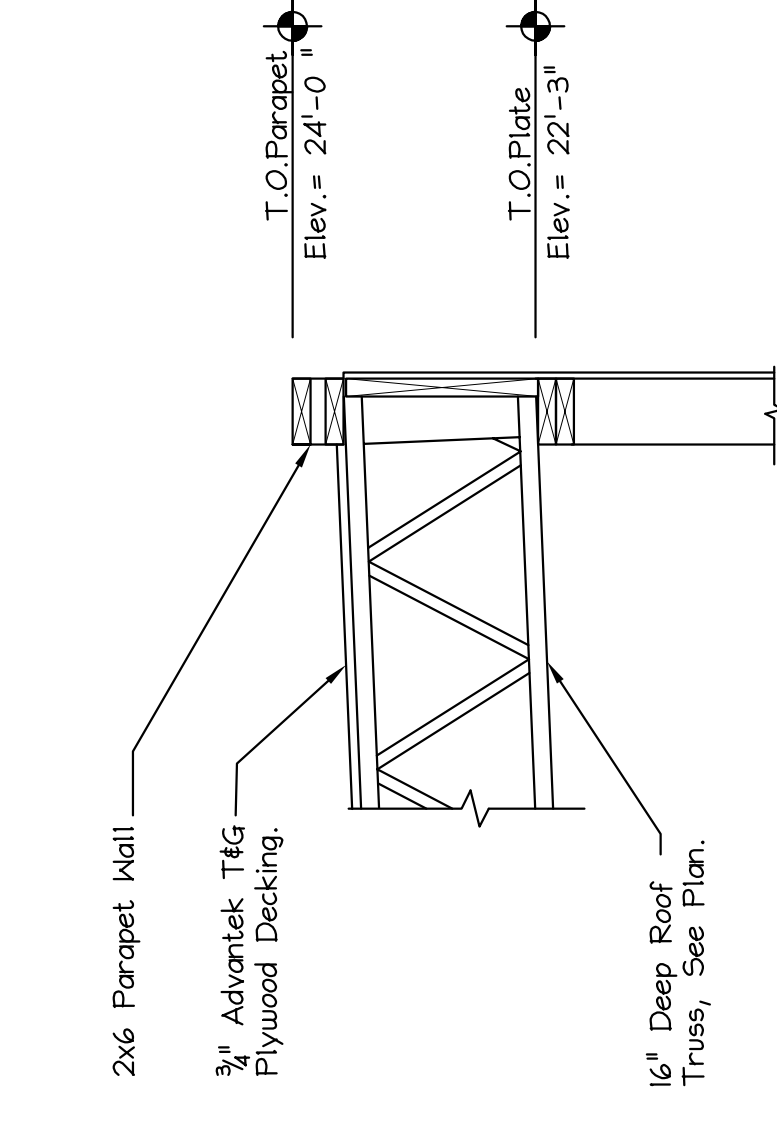
SECTION 2  
SCALE: 3/4" = 1'-0"

2 S2



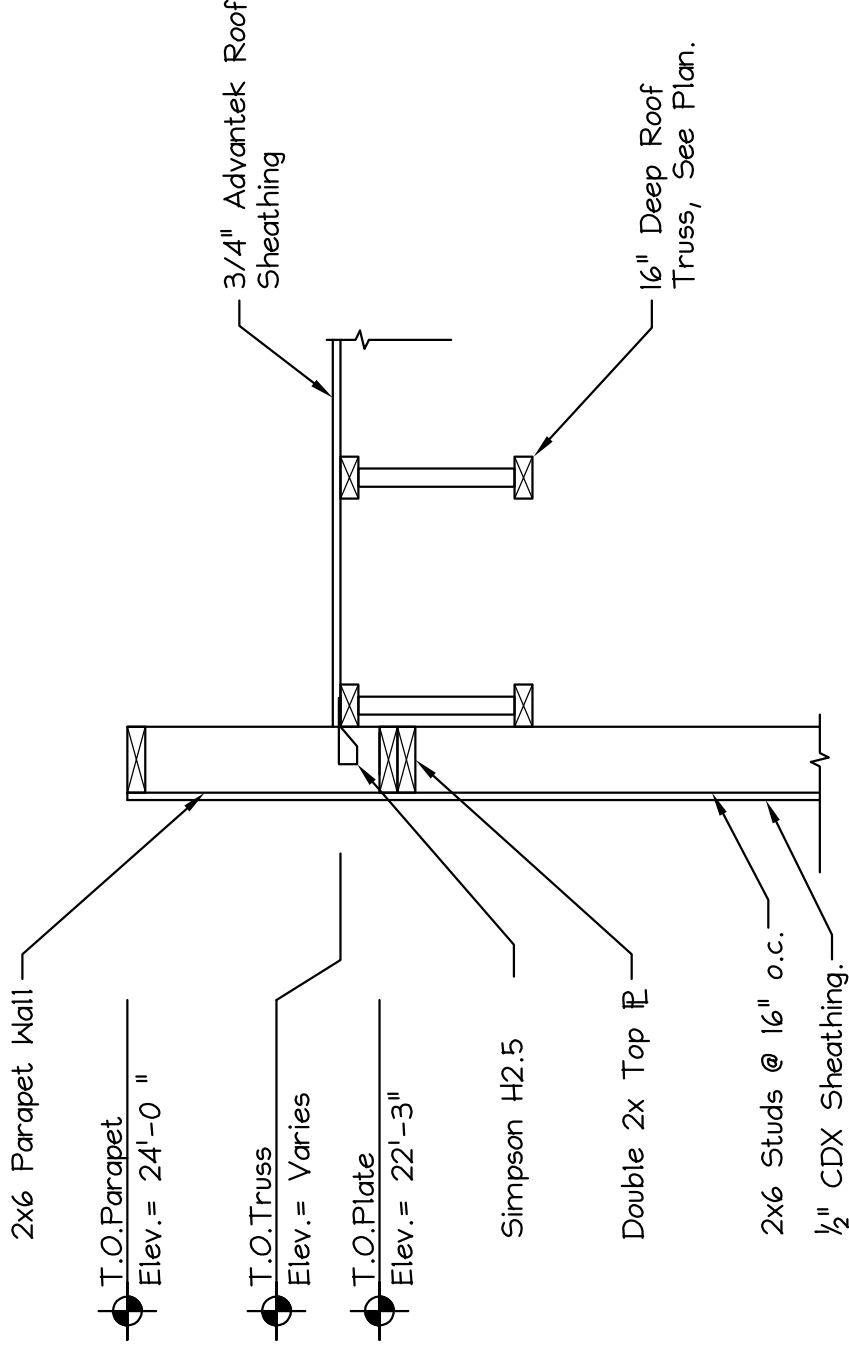
SECTION 5  
SCALE: 3/4" = 1'-0"

5 S2



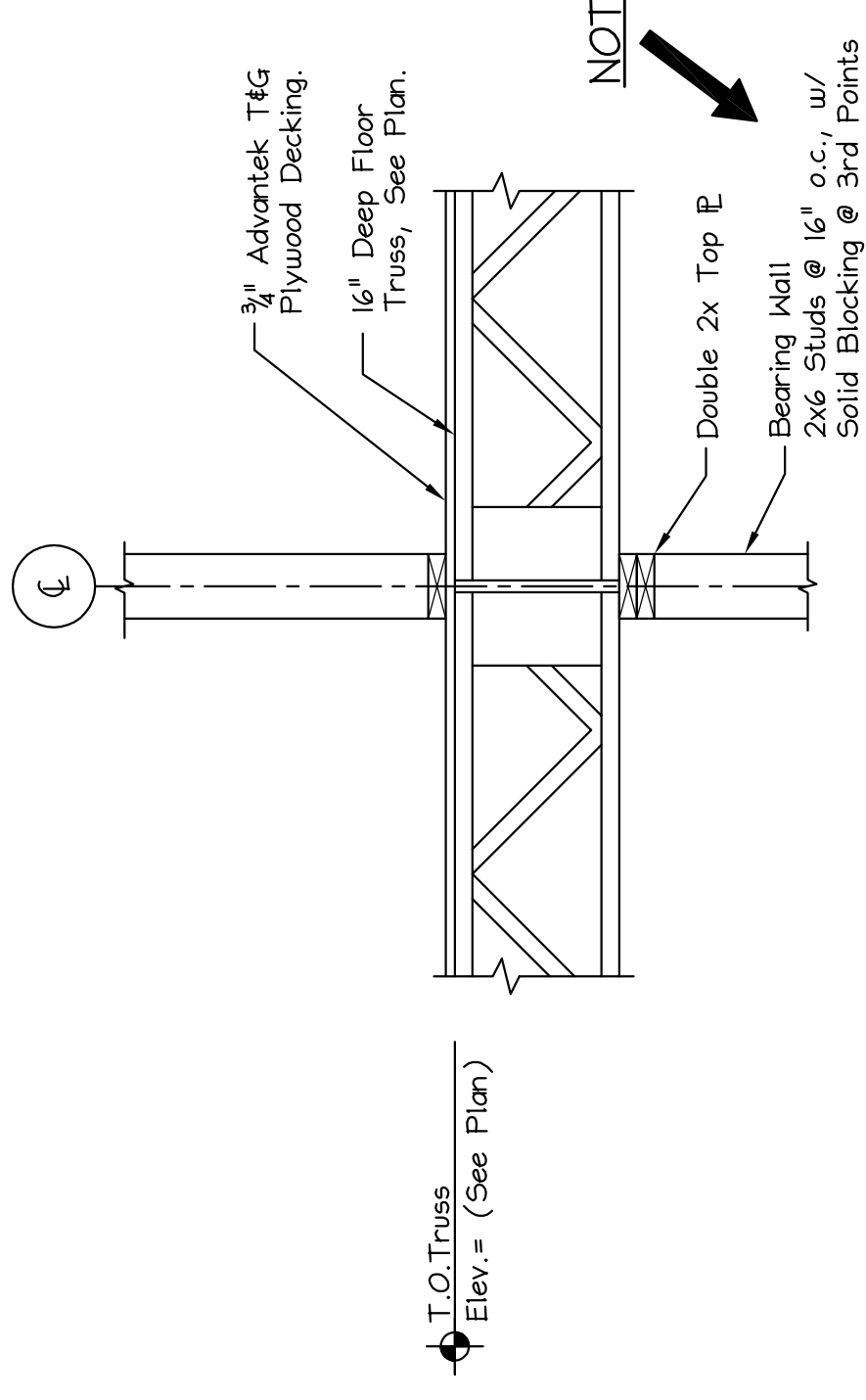
SECTION 8  
SCALE: 3/4" = 1'-0"

8 S2



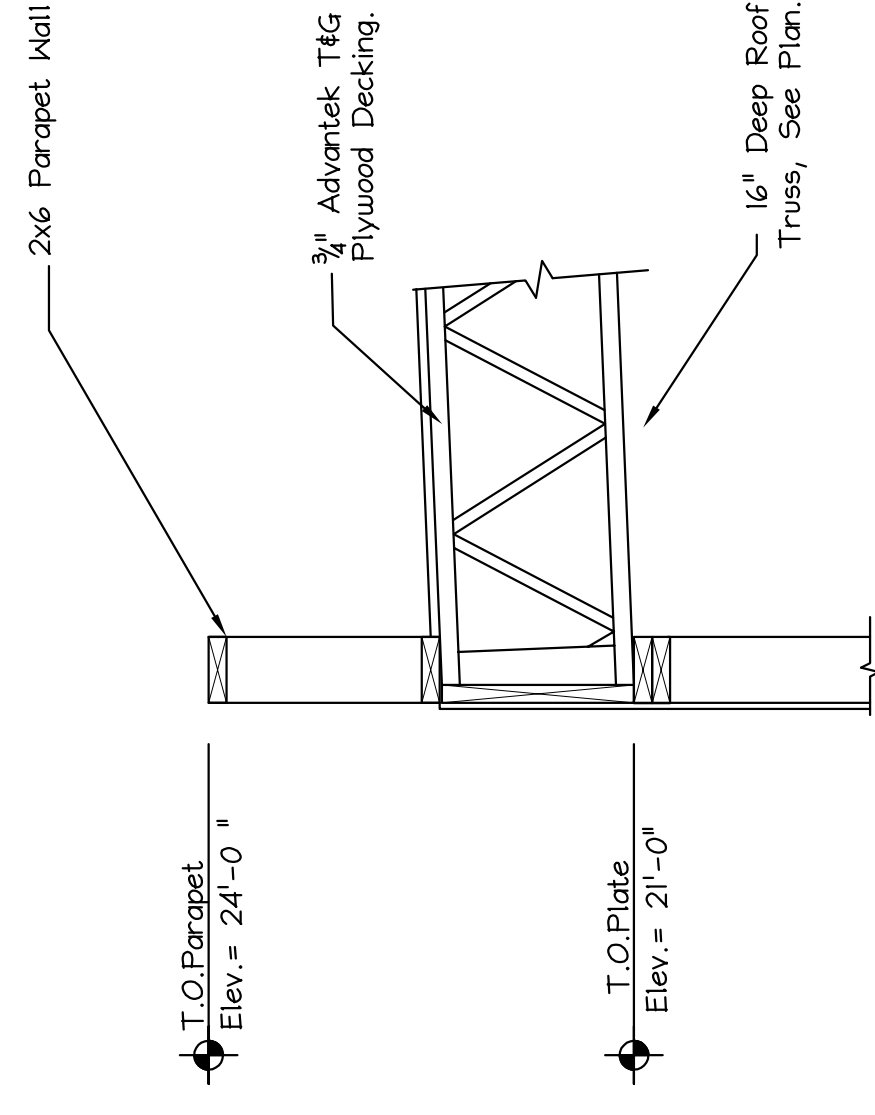
SECTION 3  
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3 S2



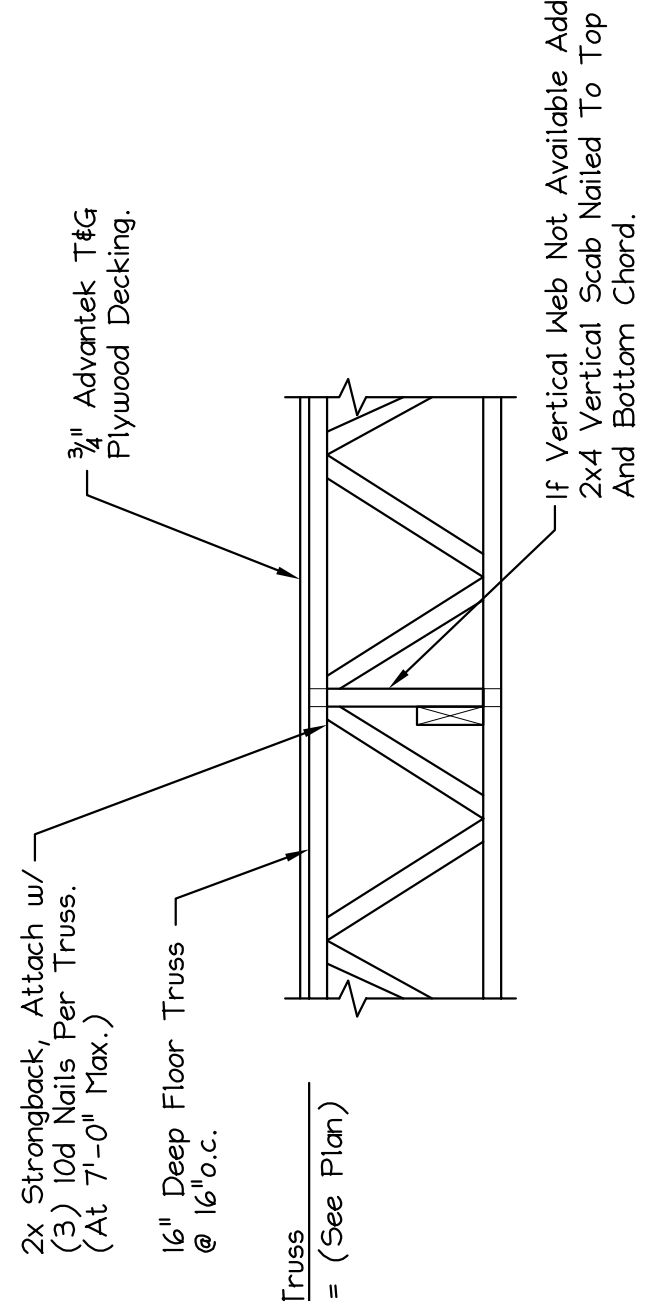
SECTION 6  
SCALE: 3/4" = 1'-0"

6 S2



SECTION 9  
SCALE: 3/4" = 1'-0"

9 S2



DETAIL - FLOOR TRUSS STRONGBACK LATERAL BRAGE  
SCALE: 3/4" = 1'-0"

HEADER SCHEDULE			
MARK	DESCRIPTION	JACK STUDS (NUMBER)	KING STUDS (NUMBER)
H-1	(3) 2x12's	(1) Studs	(1) Studs
H-2	5 1/2"x11 1/2" LVL	(1) Studs	(2) Studs

NOTES:

1. All Headers Not Noted To Be (3) 2x12's

THIS DRAWING IS ISSUED  
 Submitted For Permit  
 Date: 4/24/08

DRN BY: DMB  
 CHK'D BY: BWN  
 DATE: 10/17/07  
 SCALE: AS NOTED  
 PROJ. NO.: 2008-202

SHEET TITLE:

FRAMING DETAILS

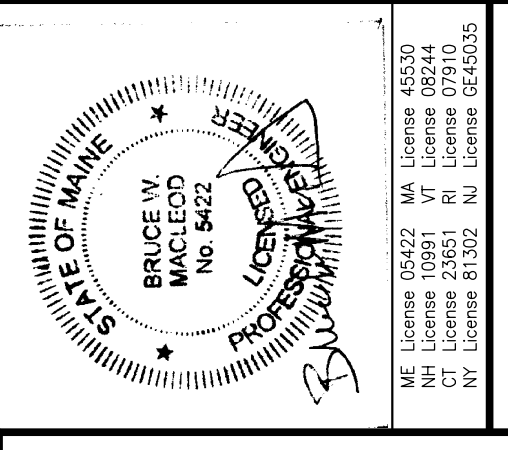
S3 OF

#	DATE	DESCRIPTION

MAINE

AVENUE AUTO CO. ANNEX  
 745-757 FOREST AVE.

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 Registered Professional Engineer No. 10247  
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 Phone: (207) 839-0980  
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 NY License 13332 IL License 024035



**GENERAL NOTES:**

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND INSURE THE STRUCTURE AGAINST ALL DEFERRED ERECTION COSTS AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS, SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- IT IS THE OWNER'S SOLE RESPONSIBILITY TO EMPLOY ONE OR MORE SPECIAL INSPECTORS (IF REQUIRED) TO PROVIDE INSPECTIONS IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF IBC 2003.

**STRUCTURAL DESIGN CRITERIA:**

- BUILDING CODE: IBC 2003 INTERNATIONAL BUILDING CODE
- DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:
  - = 100 MPH
  - BUILDING USE IMPORTANCE FACTOR (I/M) = 1.0
  - BUILDING EXPOSURE CATEGORY = B
- SNOW:
  - GROUND SNOW LOAD = 60 PSF
  - ROOF SNOW LOAD = 0.7
  - EXPOSURE FACTOR,  $C_e$  = 0.7
  - FLAT ROOF SNOW LOAD = 42 PSF
- ROOF DEAD LOAD
  - TOP CHORD = 10.0 PSF
  - BOTTOM CHORD = 10.0 PSF
- LIVE LOADS
  - FLOOR LIVE = 50.0 PSF
  - PARTITION LOAD = 20.0 PSF
- DESIGN SEISMIC CRITERIA:
  - EQUIVALENT LATERAL FORCE PROCEDURE USE GROUP (CATEGORY) = I
  - $S_DS$  = 0.328
  - $S_D1$  = 0.124
  - SEISMIC DESIGN CATEGORY = C
  - SITE CLASS = D
  - $R$  = 4.5
  - $C_d$  = 7.0
- SEISMIC RESISTING SYSTEM = LIGHT FRAMED WALLS WITH SHEAR PANELS
- SEISMIC BASE SHEAR,  $V$  = 0.047 x M

**FOUNDATION NOTES:**

- FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM SOIL BEARING CAPACITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, MET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
- DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-6" BELOW FINISHED GRADE.
- NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS UNLESS NOTED OTHERWISE.
- FOUNDATION CONTRACTOR SHALL SET COLUMN ANCHOR RODS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
- EXCAVATING AND BACK FILLING AT NEW FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.
- VAPOR BARRIER BENEATH SLAB SHALL BE "STEGO WRAP" OR APPROVED EQUAL POLYETHYLENE IS NOT AN ALTERNATE PRODUCT.

**CONCRETE NOTES:**

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
- ALL CONCRETE EXCEPT INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 3000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". ALL INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 4000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". MAXIMUM SIZE AGGREGATE SHALL BE  $\frac{1}{4}$ " (WALL/FOOTINGS) AND  $1\frac{1}{2}$ " (SLABS ON GROUND).
- CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED. NO AIR ENTRAINMENT IN INTERIOR CONCRETE SLABS.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
- SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318.
- ANCHOR RODS SHALL CONFORM TO ASTM F1554-36.
- HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
- CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
  - CONCRETE CAST AGAINST EARTH =  $1\frac{1}{2}$ "
  - CONCRETE EXPOSED TO WIND, RAIN, OR WEATHER =  $1\frac{3}{4}$ "
  - CONCRETE NOT EXPOSED TO EARTH OR WEATHER =  $3\frac{1}{4}$ "

**STRUCTURAL STEEL NOTES - GENERAL**

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
- ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE. ALL MF SHAPES TO BE ASTM A472 GR 50
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B
- THE DESIGN OF CONNECTIONS NOT SHOWN ON THE DRAWINGS SHALL BE PROVIDED BY THE FABRICATOR. CONNECTIONS SHALL BE DESIGNED FOR THE FORCES SHOWN, OR IF NOT SHOWN, EACH TOTAL ALLOWABLE UNIFORM LOAD CAPACITY OF THE MEMBER, PER AISC MANUAL OF STEEL CONSTRUCTION. FABRICATOR SHALL PROVIDE CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MAINE FOR ALL CONNECTIONS.
- ALL BOLTED CONNECTIONS SHALL BE MADE WITH  $\frac{3}{4}$ " ASTM A325 HIGH STRENGTH BOLTS.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D11 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
- STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
- STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.
- PROVIDE  $1\frac{1}{2}$ " THRU BOLTS STAGGERED @ 24" O.C. FOR ATTACHMENT OF 2x NAILER AT TOP & BOTTOM OF MF BEAM (COORDINATE w/ PLANS)

**WOOD FRAMING NOTES:**

- STRUCTURAL LUMBER: SPRUCE PINE FIR NO/NO2 OR BETTER  
 Fb = 875 PSI Fv = 70 PSI  
 E = 1800000 PSI
- DESIGN CODE: IBC 2003 / NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- NAILING REQUIREMENTS FOR PLYWOOD SHEATHING:
  - PLYWOOD SHALL BE SHOWN OTHERWISE;
  - 8d NAILS @ 6" O.C. ALONG PANEL EDGES
  - 8d NAILS @ 8" O.C. ALONG INTERMEDIATE MEMBERS
  - PROVIDE BLOCKING AT ALL PANEL EDGES
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF RAFTERS OR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE. PROVIDE GALVANIZED METAL CONNECTORS EQUAL TO SIMPSON TC26 TRUSS CONNECTOR BETWEEN ALL ROOF SCISSOR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16 (TRUSSES), 24/12 (JOISTS). INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- PROVIDE  $1\frac{1}{2}$ " THRU BOLTS STAGGERED @ 24" O.C. FOR ATTACHMENT OF 2x NAILER AT TOP OR BOTTOM OF MF BEAM (COORDINATE w/ PLANS)
- WALL CONSTRUCTION - FIRST FLOOR:
  - STUDS: 2x10 @ 16" O.C.
  - P.T. 2x SILL PLATE
  - (2) 2x TOP PLATES
  - $\frac{1}{2}$ " CDX SHEATHING
  - FRAMING AS SHOWN ON PLANS
- ROOF CONSTRUCTION
  - FRAMING AS SHOWN ON PLANS
  - PLYWOOD SHEATHING (REFER TO NOTE #7)
  - PROVIDE 8d NAILS @ 12" O.C. ALONG FRAMING MEMBERS.
- ALL NAILS, SPIKES, BOLTS, ETC. FASTENING MEMBERS TO PRESSURE TREATED LUMBER SHALL BE EITHER STAINLESS STEEL OR HEAVY GALVANIZED.

**WOOD TRUSS NOTES:**

- DESIGN CRITERIA FOR ROOF SYSTEM:
  - A. LIVE LOAD (SNOW) PER STRUCTURAL DESIGN CRITERIA
  - B. DEAD LOAD PER STRUCTURAL DESIGN CRITERIA
  - C. WIND LOAD PER STRUCTURAL DESIGN CRITERIA
  - D. LOAD COMBINATIONS PER STRUCTURAL DESIGN CRITERIA
  - E. ALLOWABLE DEFLECTION = L/360
  - F. PROVIDE BOTTOM CHORD CAMBER EQUAL TO THE TRUSS DEAD LOAD DEFLECTION.
- MATERIALS:
  - A. STRESS GRADED LUMBER, METAL PLATE CONNECTORS
- APPLICABLE SPECIFICATIONS:
  - A. NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING (NDS).
  - B. MOST RECENT AISC STANDARDS
  - C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES. TPI LATEST EDITION.
- BRACING:
  - A. TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING FOR BOTH TEMPORARY CONSTRUCTION LOADING AND FOR PERMANENT LATERAL SUPPORT OF GABLE END TRUSS AND COMPRESSION MEMBERS, AS WELL AS ERECTION PROCEDURES.
  - B. MINIMUM BRACING REQUIREMENTS AND INSTRUCTIONS FURNISHED BY TRUSS MANUFACTURER SHALL INCLUDE AND COMPREHENSIVE AND PERMANENT BRACING SHALL BE MINIMUM 2x4 SPF No. 2 MATERIAL CONNECTED WITH MINIMUM 2-16d NAILS AT ALL CONNECTIONS UNLESS OTHERWISE SPECIFIED BY TRUSS MANUFACTURER OR HIB-91
  - D. THE CONTRACTOR SHALL COMPLY WITH THE "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HIB-91" IT IS THE RESPONSIBILITY OF THE INSTALLER/CONTRACTOR TO PROPERLY RECEIVE, UNLOAD, STORE, HANDLE, INSTALL, AND BRACE TRUSSES TO PROTECT LIFE AND PROPERTY.
- ALL FABRICATED TRUSSES SHALL RECEIVE THE TPI MARK OF APPROVAL IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE PROCEDURES.
- SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURE.
- ANY VARIATIONS BY THE TRUSS MANUFACTURER FROM THESE DRAWINGS INCLUDING BUT NOT LIMITED TO THE NEED FOR BIRD MOUTHS SHALL BE CLEARLY NOTED ON THE TRUSS DRAWINGS. APPROPRIATE DETAILS SHALL BE PROVIDED, WHICH SHOW SUCH VARIATIONS. ALL VARIATIONS SHALL BE APPROVED BY THE ENGINEER.

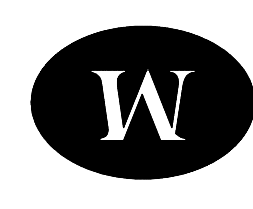
CURRENT REVISION

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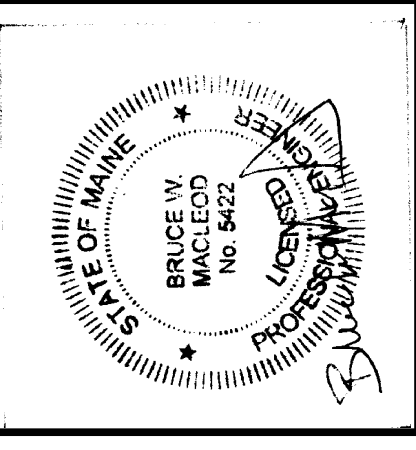
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Maclod Structural Engineers, PA



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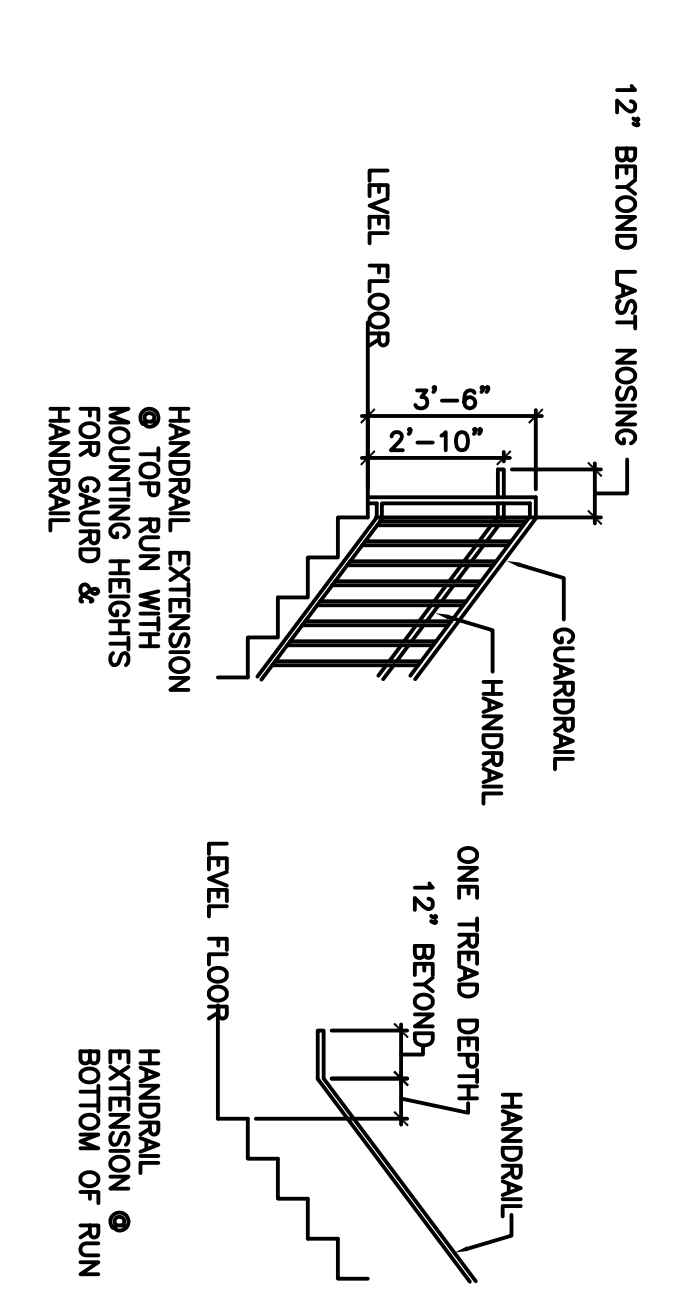
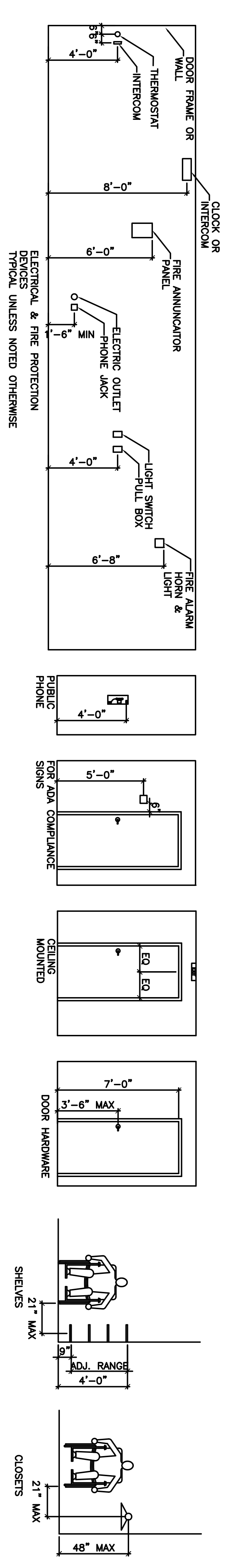
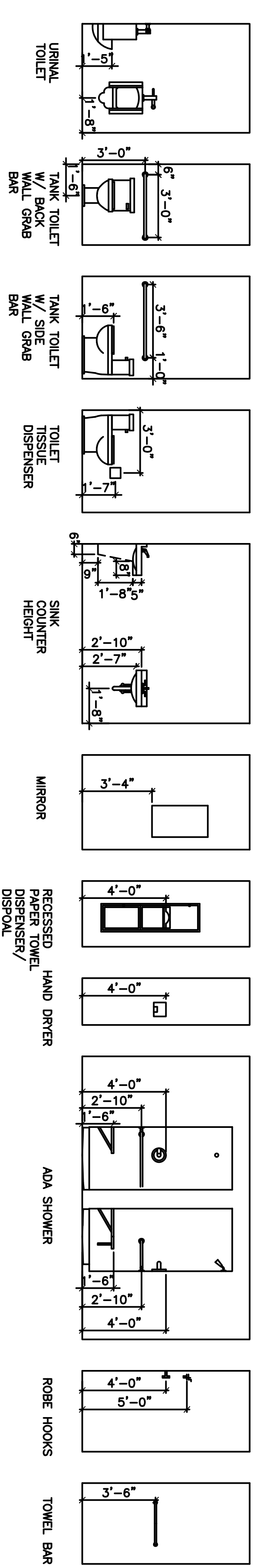


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 Otherwise It Shall Be Considered A  
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DRN BY: DMB  
 CHK'D BY: BWN  
 DATE: 10/17/07  
 SCALE: As Noted  
 PROJ. NO.: 2008-202

SHEET TITLE:  
 STRUCTURAL NOTES





# ADA REQUIREMENTS

NOT TO SCALE

**NOTE:**  
 THE CONTRACTOR/OWNER ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. THE CONTRACTOR/OWNER SHALL VERIFY ALL LOCAL CODES, ORDINANCES, ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND LOCAL CODES NONE OF THE EMPLOYEES OR CD PROVIDERS ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. THE CONTRACTOR/OWNER SHOULD BE ADVISED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. CONTRACT SHALL BE HELD VOIDABLE IF ANY LOCAL CODES OR ORDINANCES CHANGE TO PLANS BY CLIENT AND/OR CONTRACTOR.

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

DATE	NO	REMARKS	BY
08-25-08	1	ISSUED FOR PERMITTING	JJO

**AVENUE AUTO**  
 745-757 FOREST AVENUE  
 STEPHAN E. MARDIGAN, OWNER

PROPERTY OF

235 Riverside Industrial Parkway  
 Portland, ME 04102

FILE:  
 SHEET: A02

TITLE:  
 ADA REQUIREMENTS

DRAWN: JJO

SCALE: AS NOTED

DATE: 08-21-08

TOWN: PORTLAND

CODE: IRC 2003

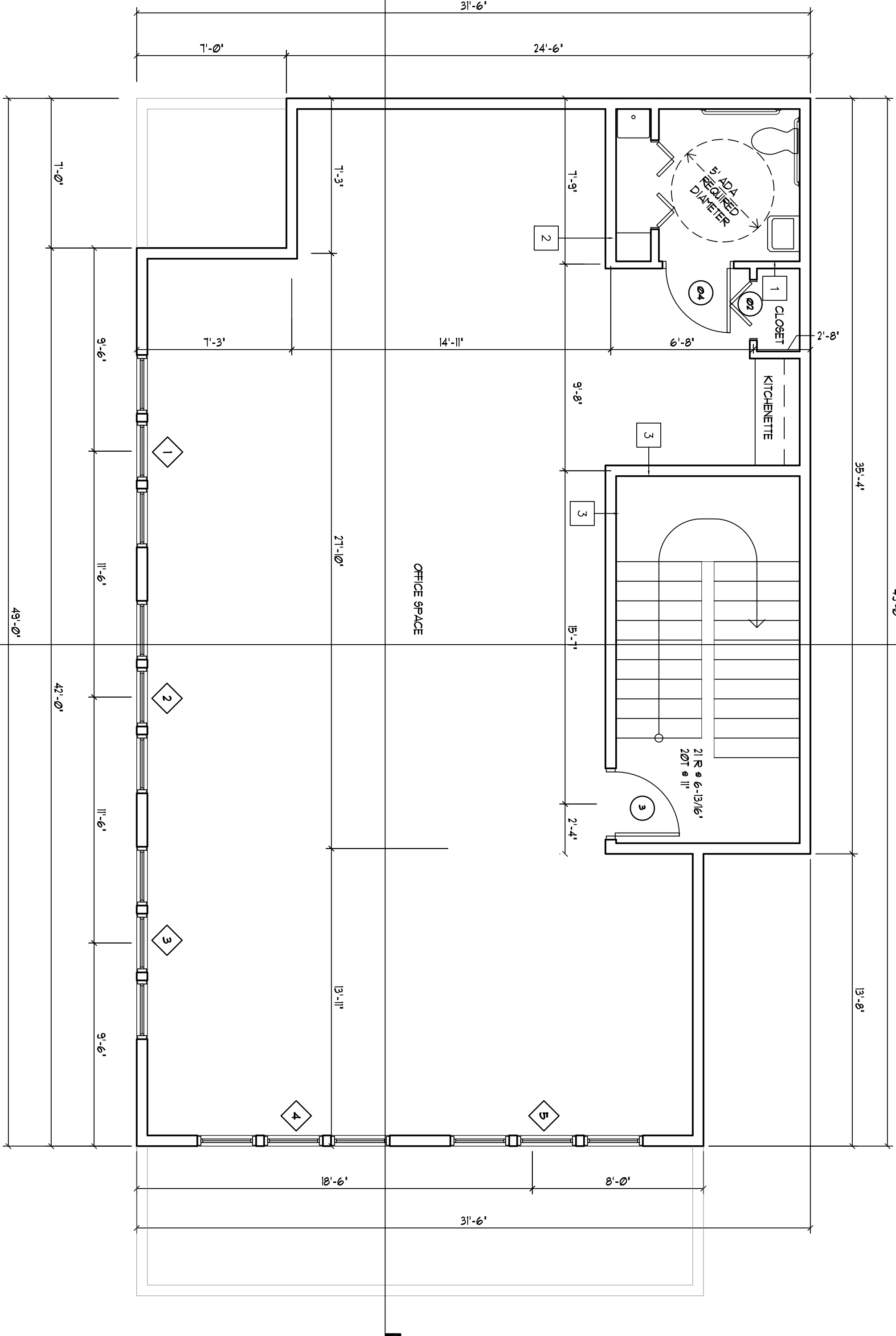
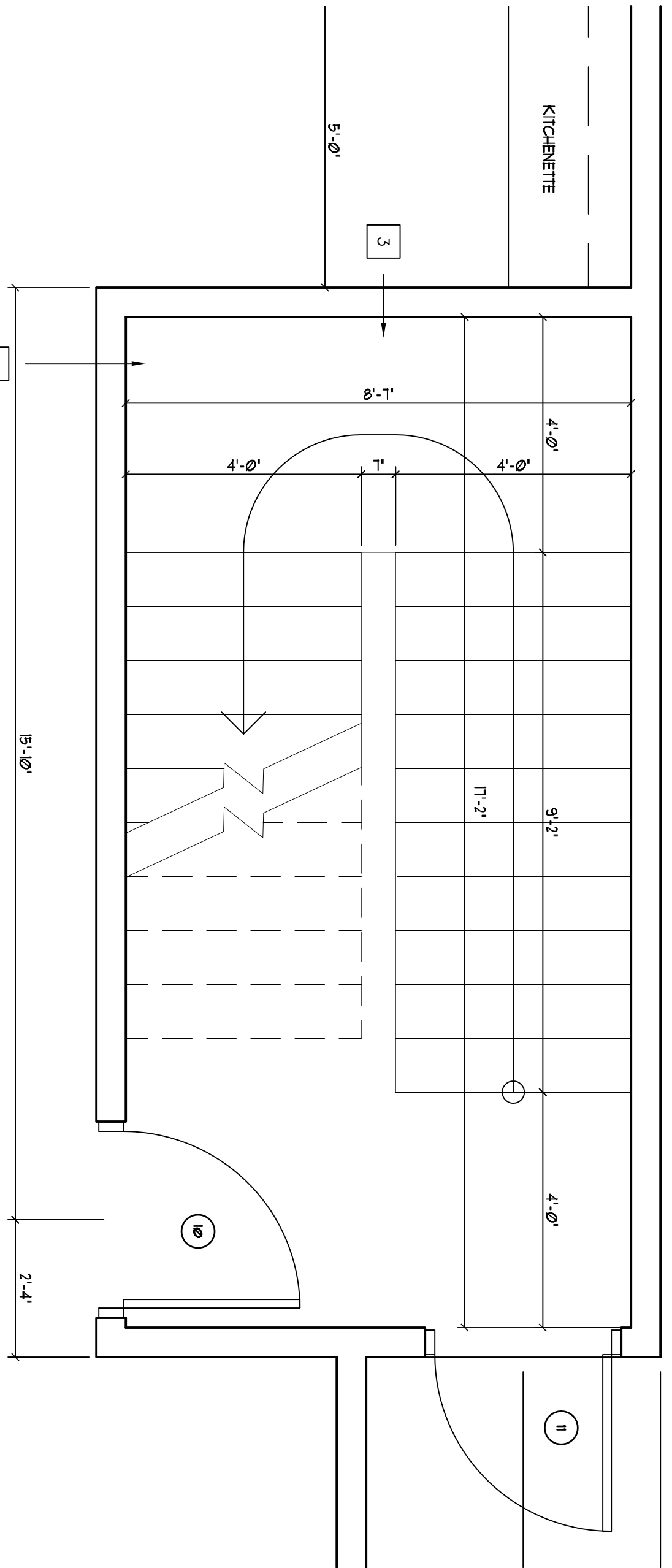
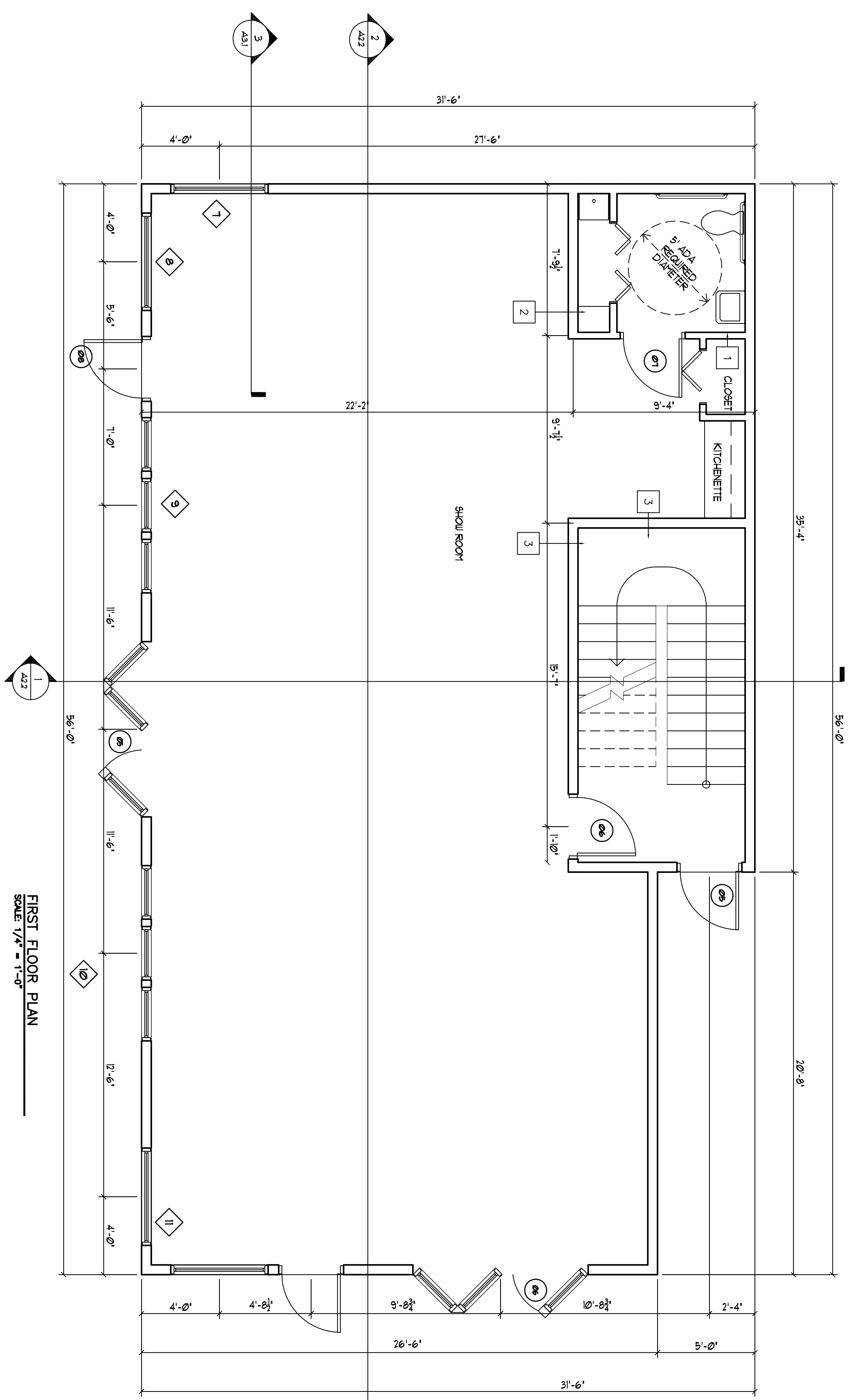
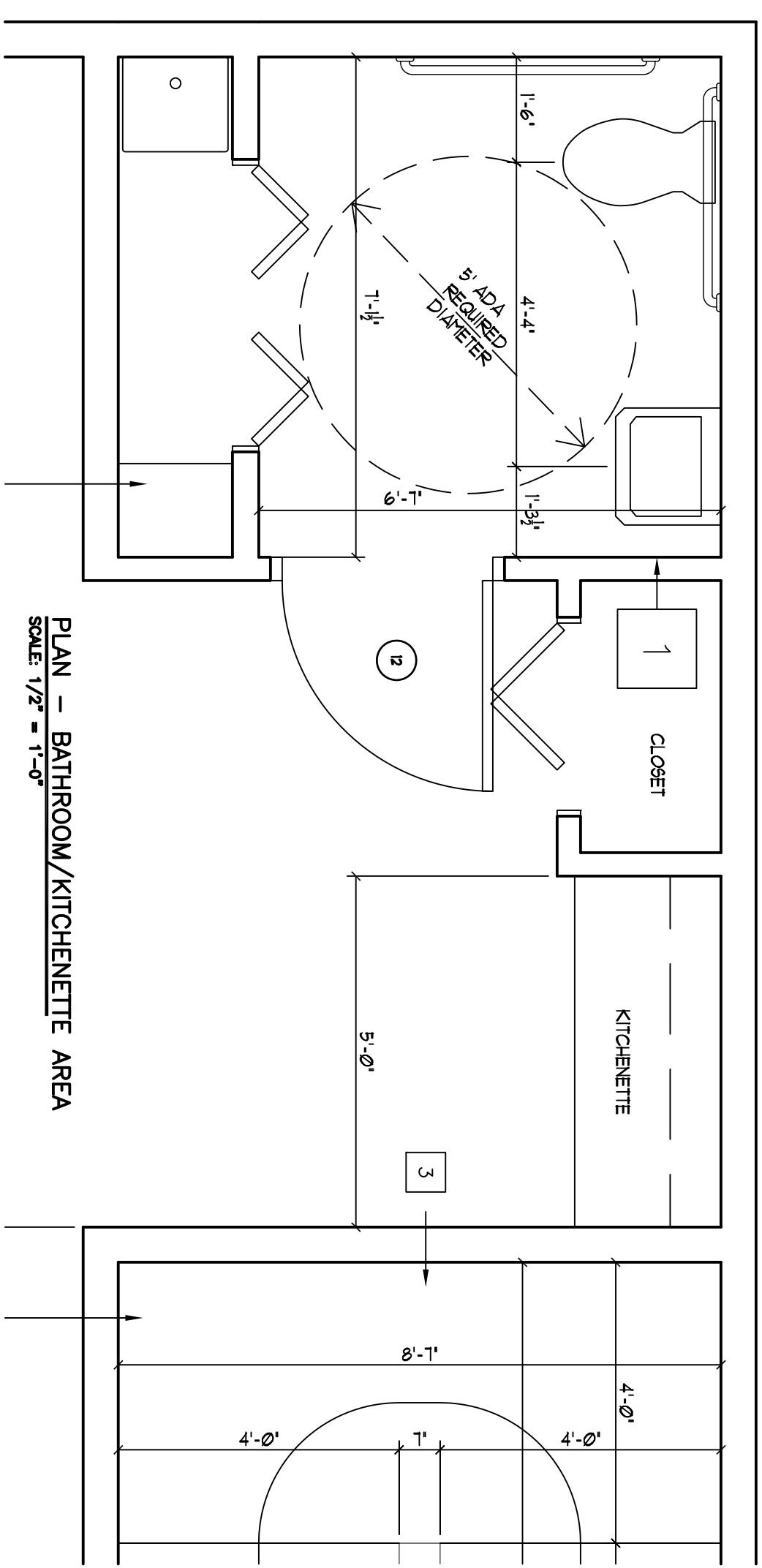
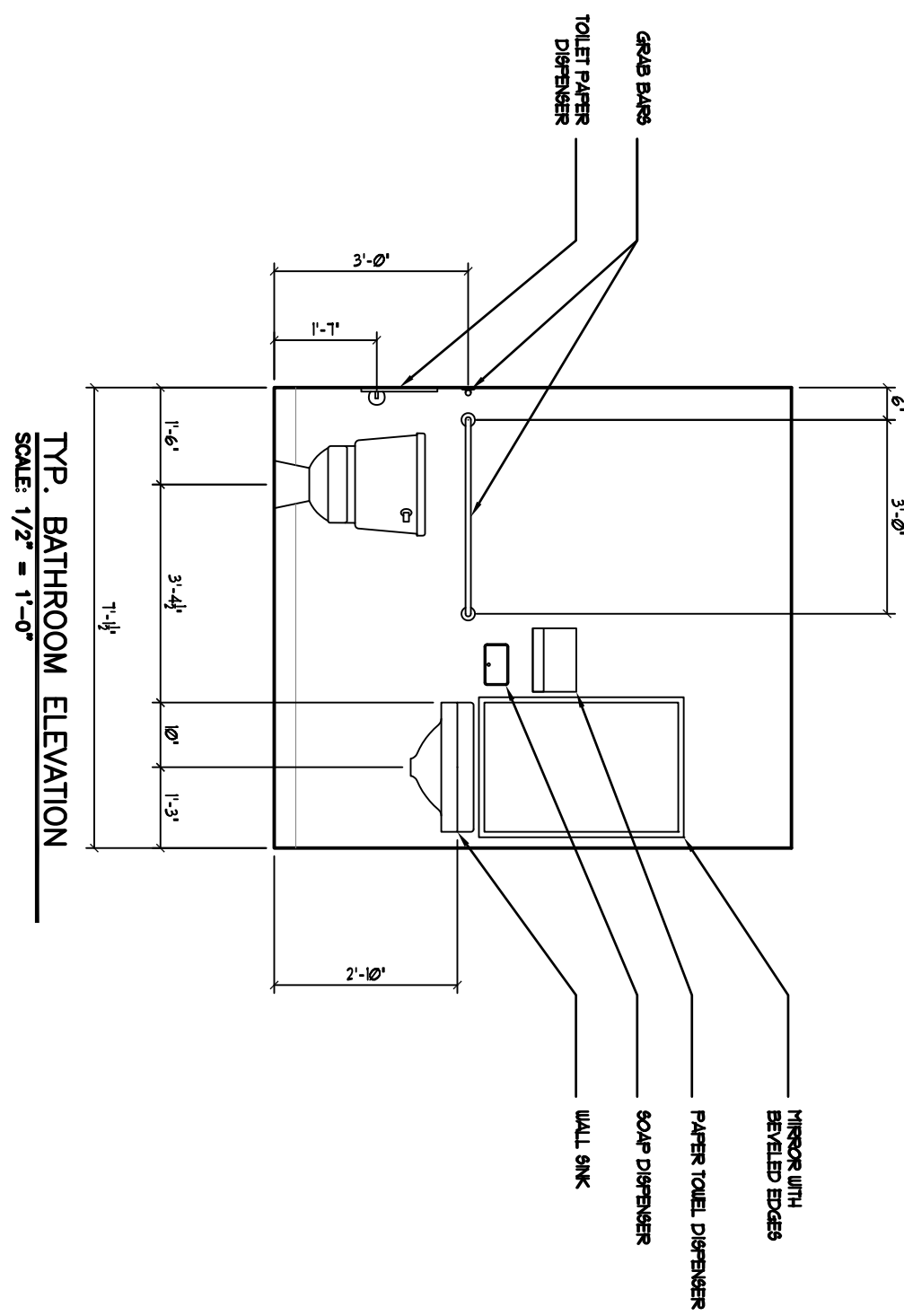








235 Riverside Industrial Parkway  
Portland, ME 04102



NOTE:

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2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

**AVENUE AUTO**  
745-757 FOREST AVENUE  
STEPHAN E. MARDIGAN, OWNER

NO	DATE	REMARKS	BY
1	08-25-08	ISSUED FOR PERMITTING	JJO

CODE: IRC 2003  
TOWN: PORTLAND  
DATE: 08-21-08  
SCALE: AS NOTED  
DRAWN: JJO  
TITLE: FLOOR PLANS  
FILE: SHEET: A12



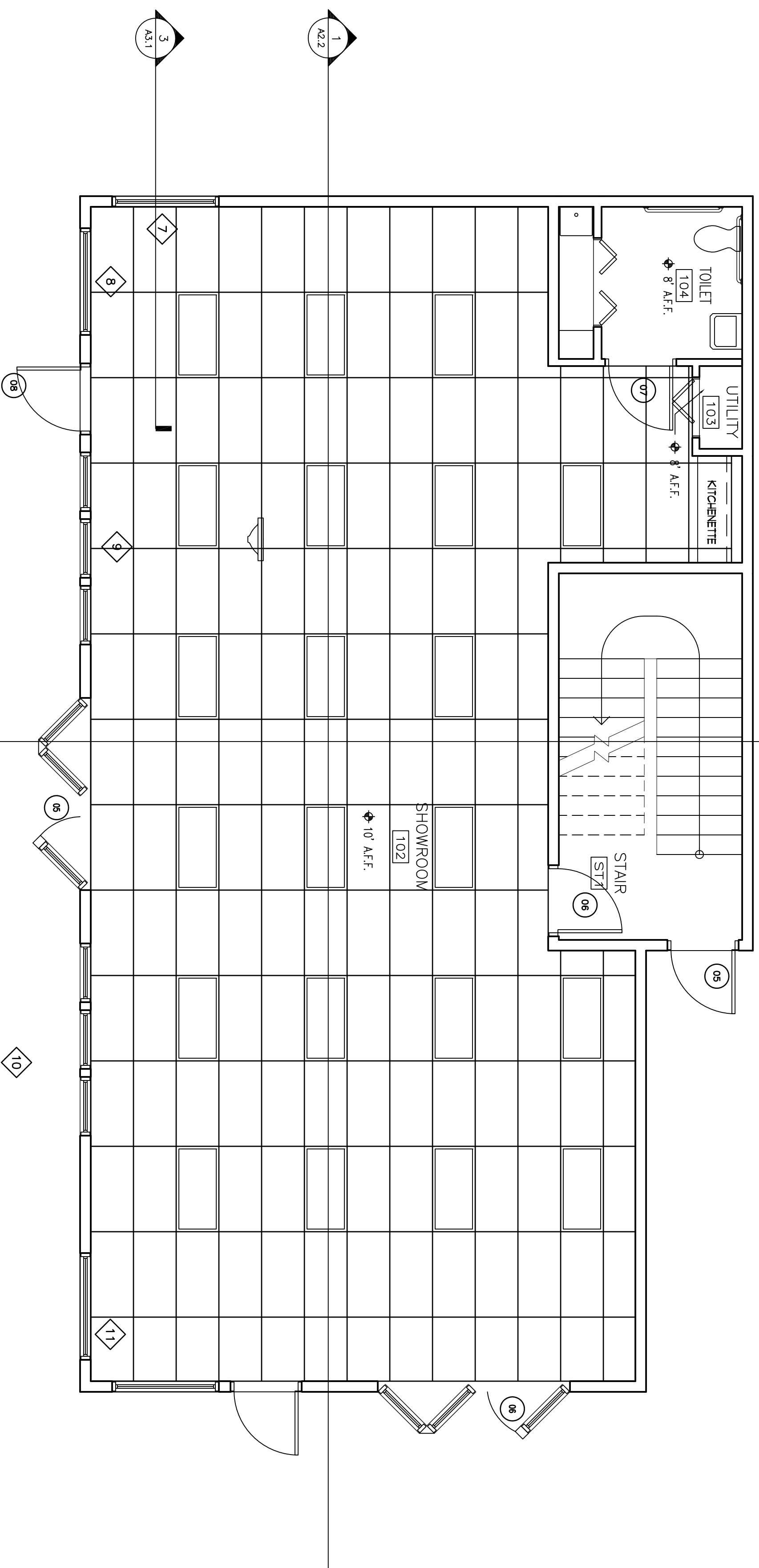
**AVENUE AUTO**  
745-757 FOREST AVENUE  
STEPHAN E. MARDIGAN, OWNER

BY	DATE	NO	REMARKS
JJO	08-25-08	1	ISSUED FOR PERMITTING

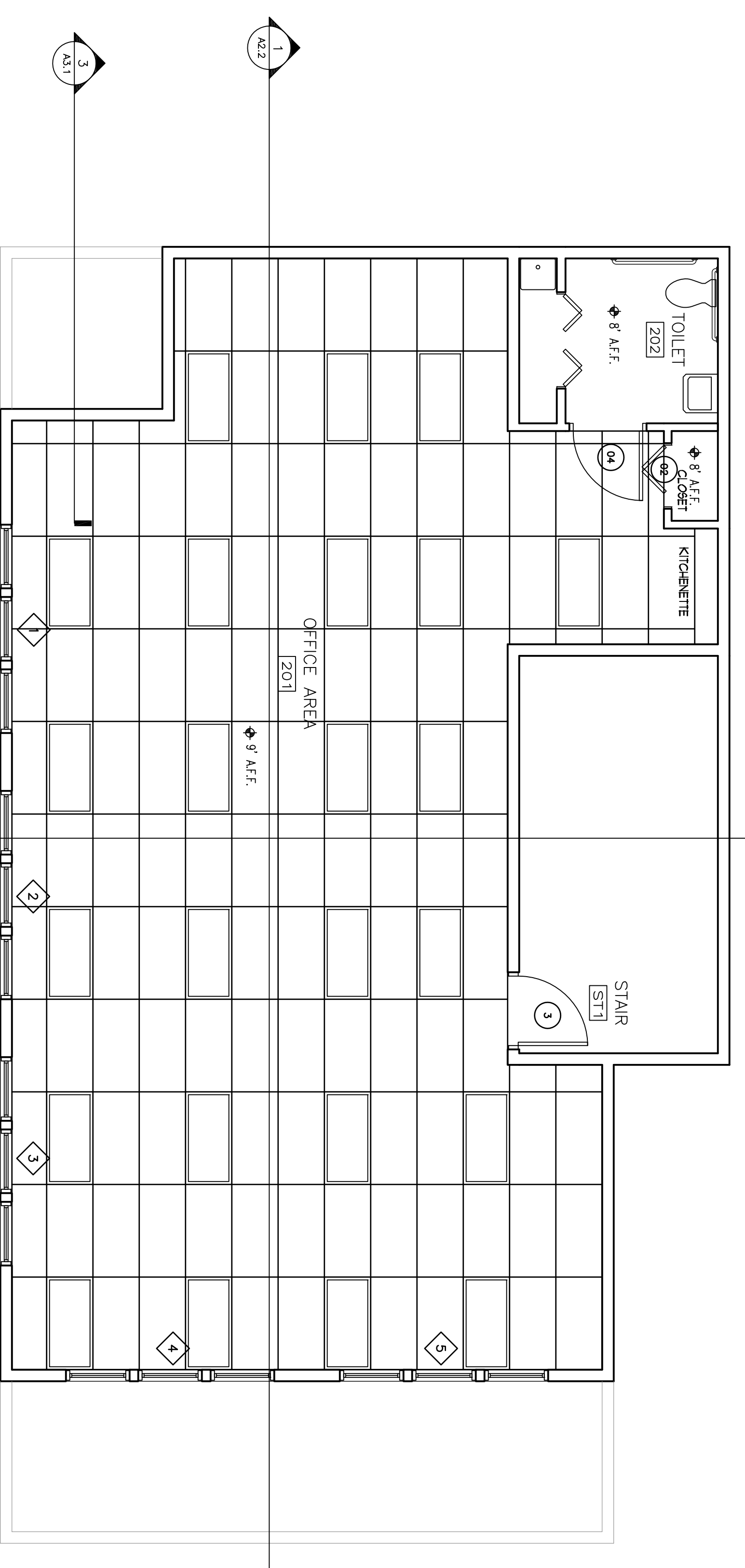
CODE: IRC 2003  
TOWN: PORTLAND  
DATE: 08-21-08  
SCALE: AS NOTED  
DRAWN: JJO

TITLE:  
REFLECTED  
CEILING PLANS

FILE:  
SHEET: A13



FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

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235 Riverside Industrial Parkway  
Portland, ME 04102

**AVENUE AUTO**  
745-757 FOREST AVENUE  
STEPHAN E. MARDIGAN, OWNER

BY: JJO

NO	DATE	REMARKS
1	08-25-08	ISSUED FOR PERMITTING

DATE	08-25-08
NO	1
REMARKS	ISSUED FOR PERMITTING

CODE: IRC 2003

TOWN: PORTLAND

DATE: 08-21-08

SCALE: AS NOTED

DRAWN: JJO

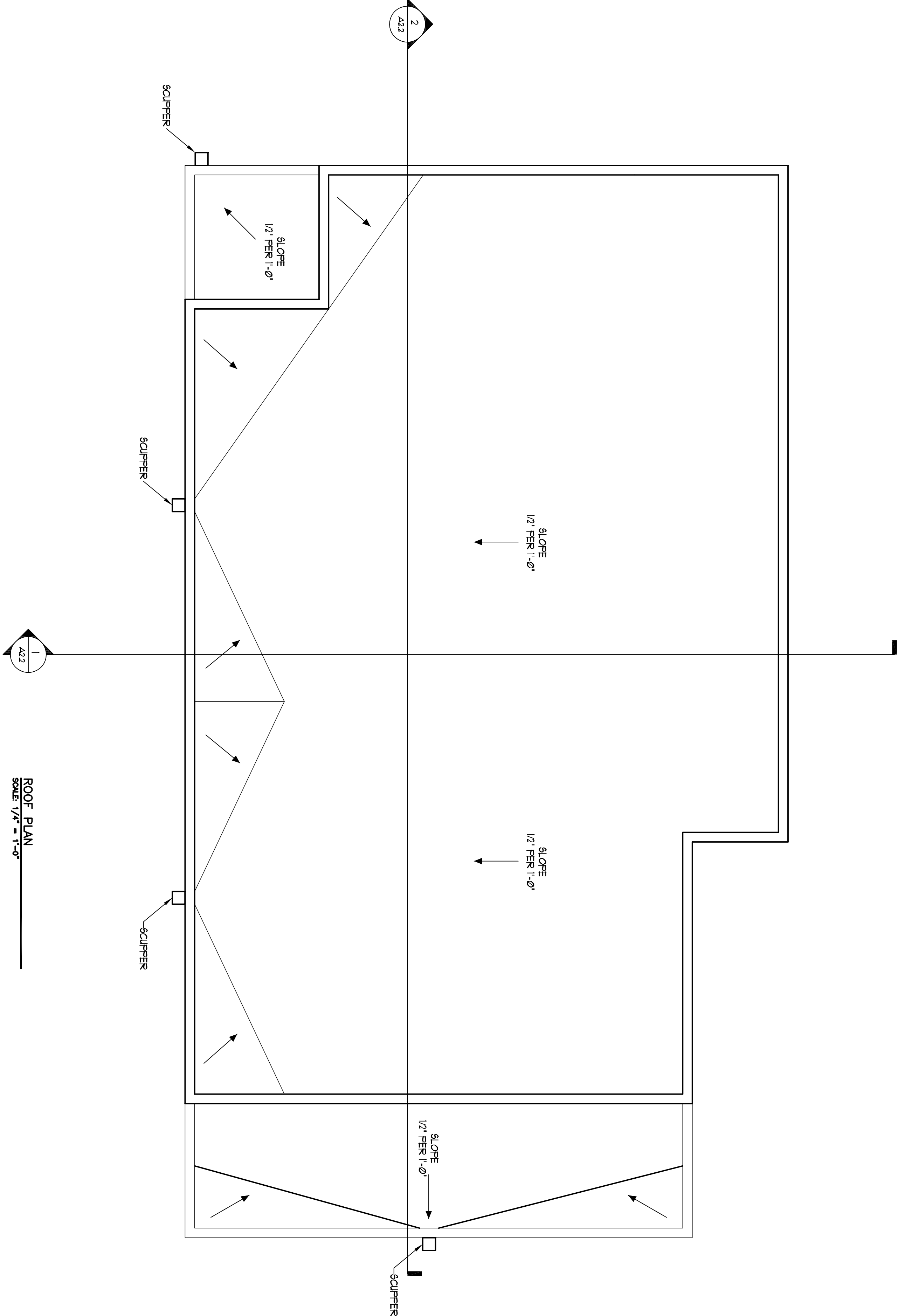
TITLE:

ROOF PLAN

FILE:

SHEET:

A14

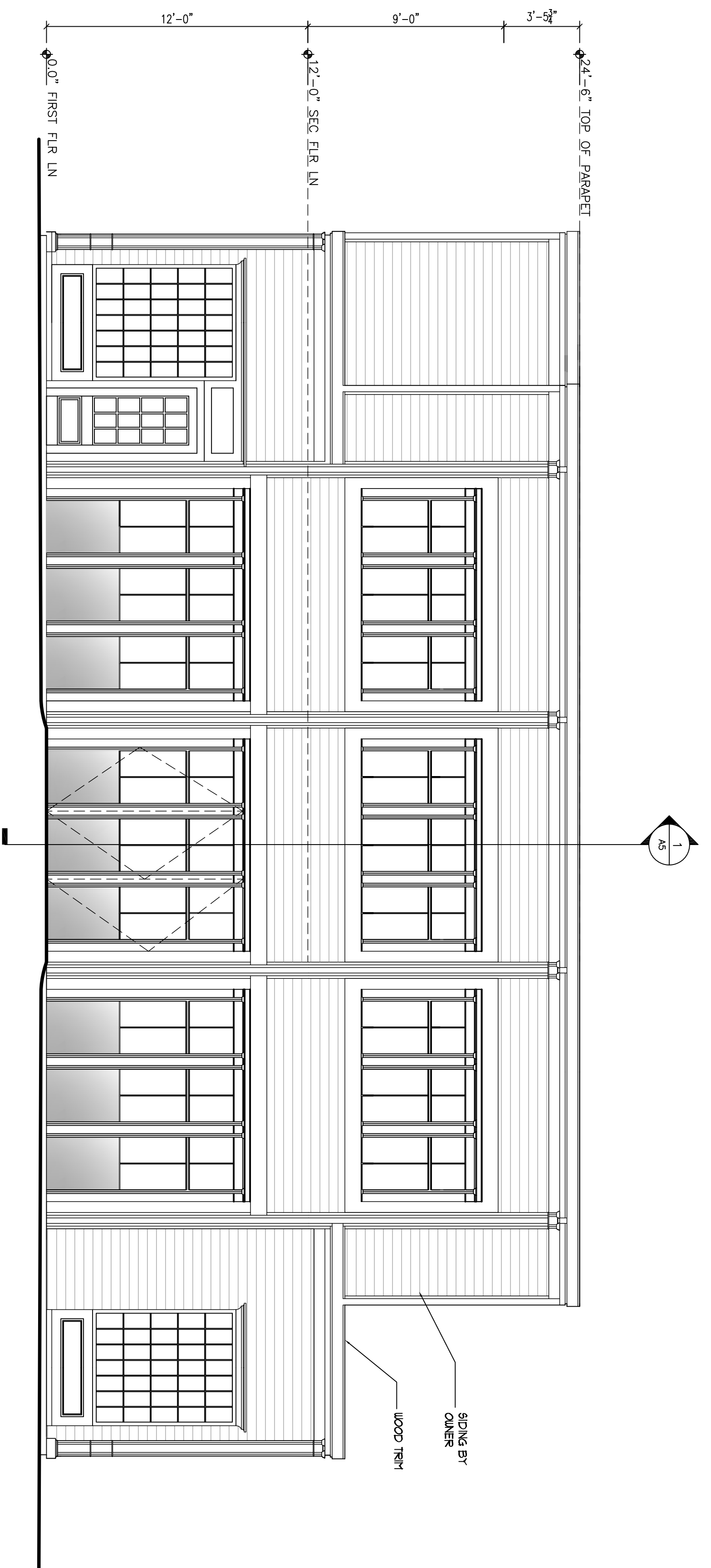


**ROOF PLAN**  
SCALE: 1/2" = 1'-0"

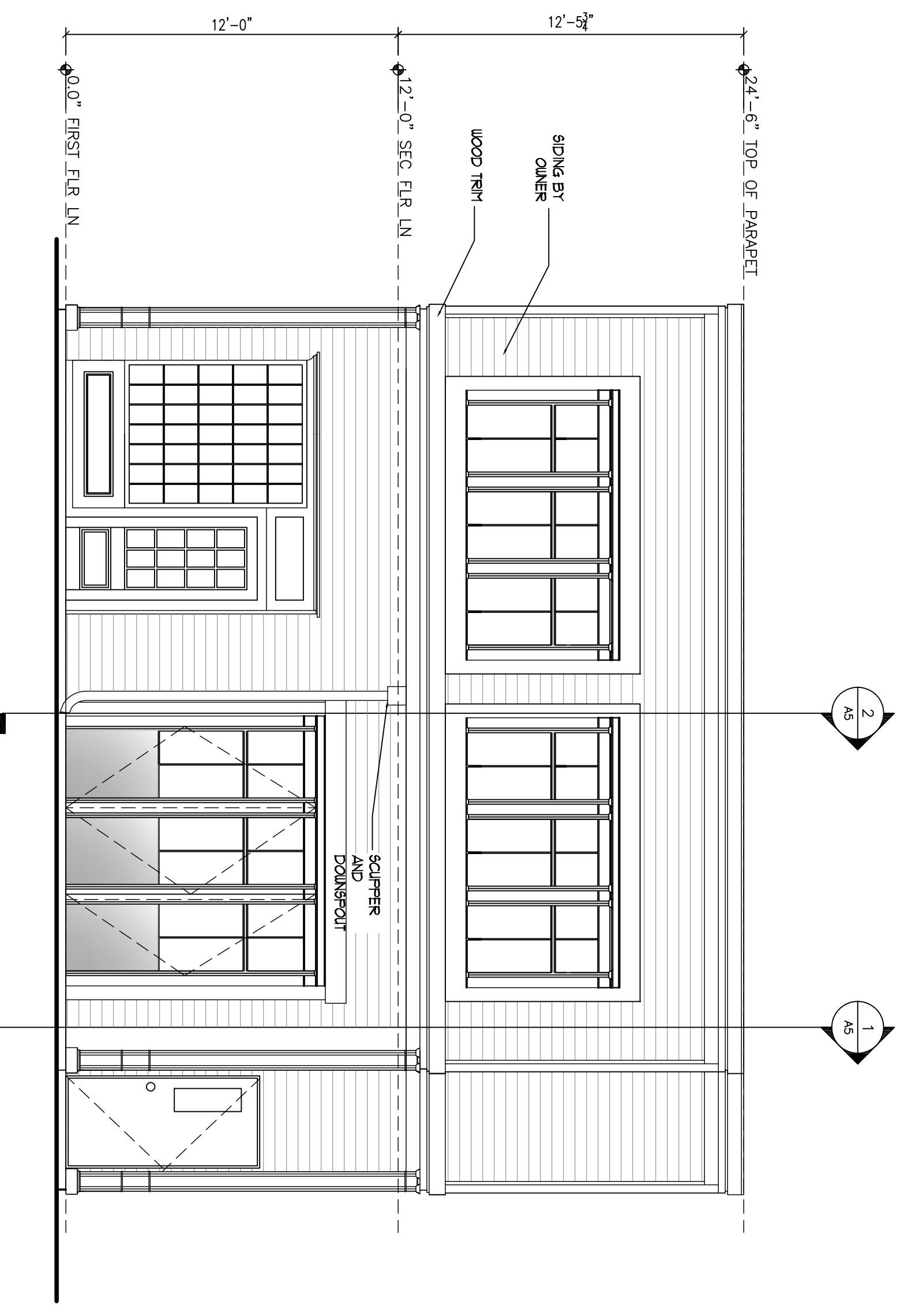
**NOTE:**  
THE CONTRACTOR/OWNER ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE AND PERMITTING. ALL INFORMATION IS BASED ON CLIENT'S PROVIDED INFORMATION AND LOCAL CODES. NONE OF THE ENGINEER'S OR ARCHITECT'S SERVICES OR LIABILITY ARE EXTENDED TO ANY LOCAL CODES OR ORDINANCES. THE CONTRACTOR/OWNER SHOULD BE ADVISED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VERIFYING ALL LOCAL CODES AND ORDINANCES. CONTRACTOR'S FIELD TO PLANS BY CLIENT AND/OR CONTRACTOR.

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

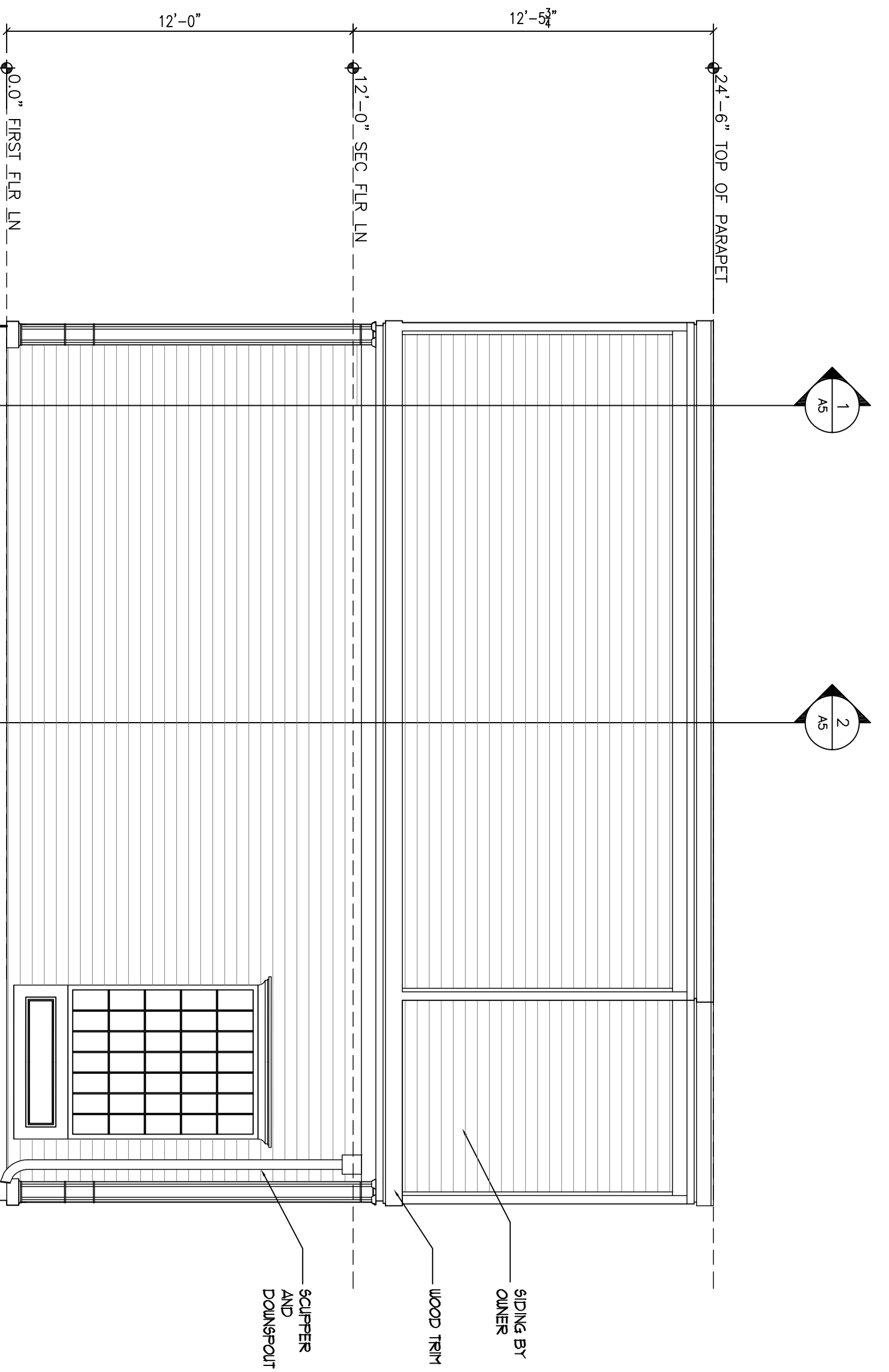




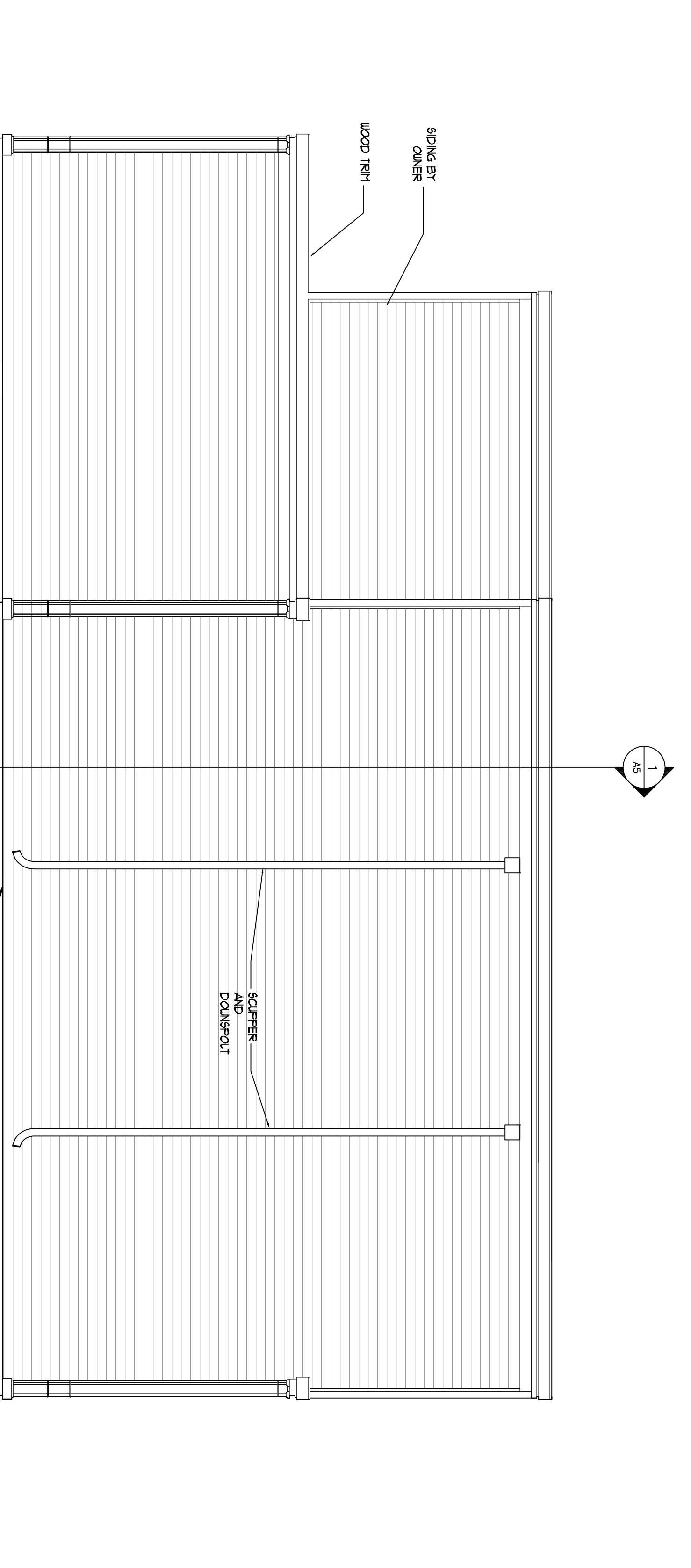
FRONT ELEVATION  
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



SIDE LEFT ELEVATION  
SCALE 1/4" = 1'-0"



REAR ELEVATION  
SCALE 1/4" = 1'-0"

**NOTE:**  
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3. Contractor/owner to verify all site grades and dimensions.

**AVENUE AUTO**  
745-757 FOREST AVENUE  
STEPHAN E. MARDIGAN, OWNER

**@d-de-Tech**  
235 Riverside Industrial Parkway  
Portland, ME 04102

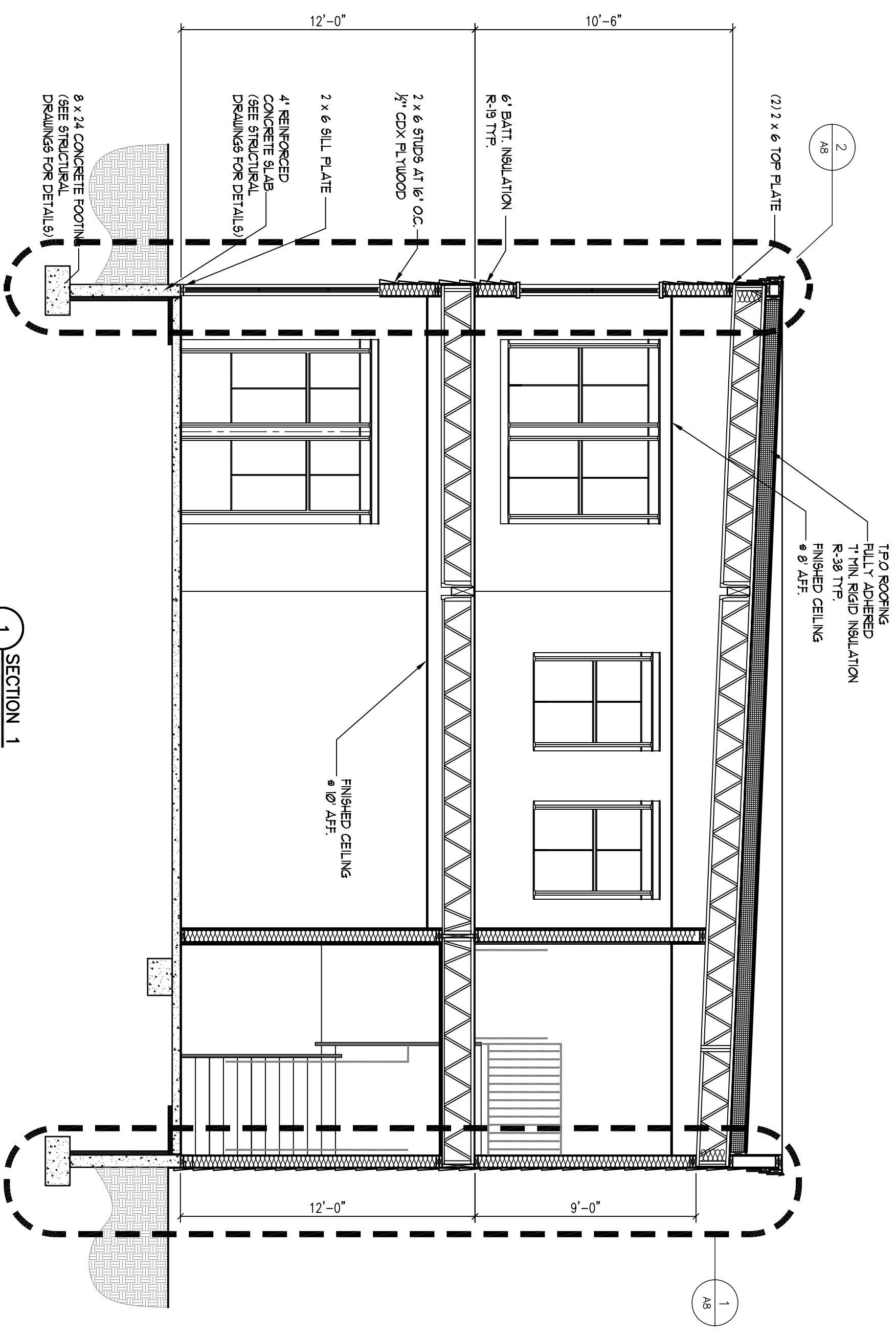
NO	DATE	REMARKS	BY
1	08-25-08	ISSUED FOR PERMITTING	JJO

CODE: IRC 2003  
TOWN: PORTLAND  
DATE: 08-21-08  
SCALE: AS NOTED  
DRAWN: JJO

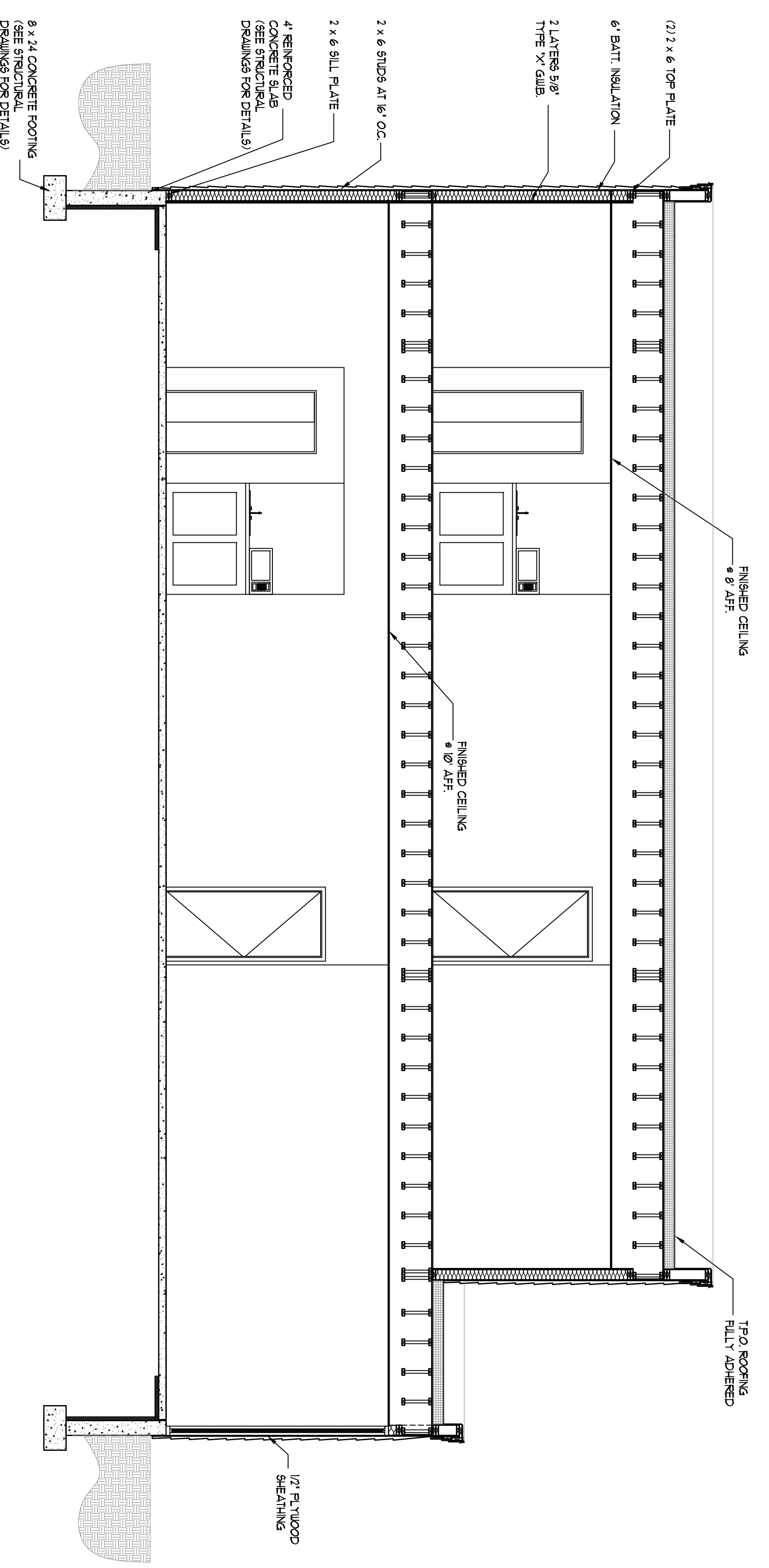
TITLE:  
BUILDING  
ELEVATIONS

FILE:  
SHEET: A2.1





SECTION 1  
1/4"=1'-0"



SECTION 2  
1/4"=1'-0"

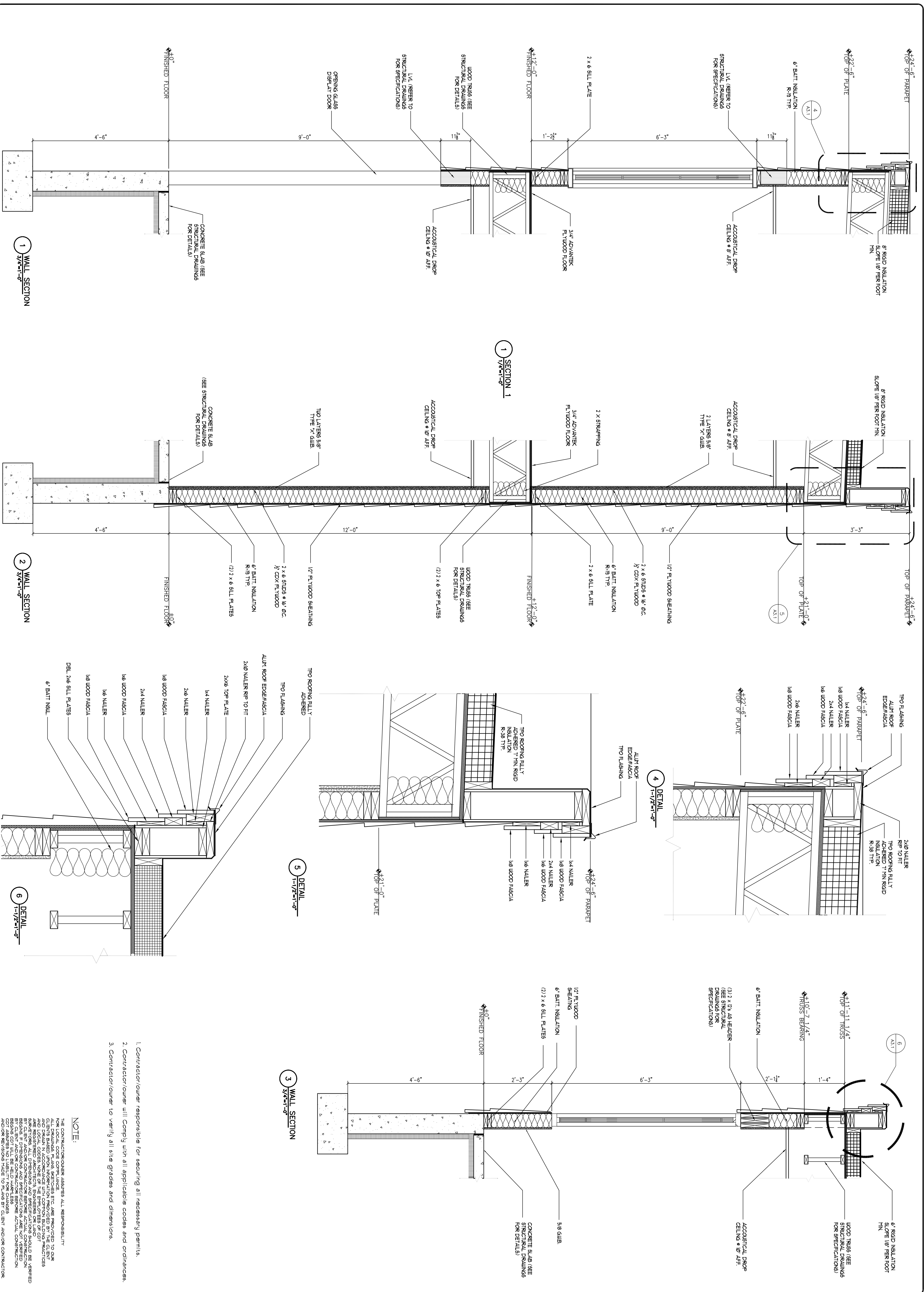
**NOTE:**  
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1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

BY	DATE	NO	REMARKS
JJO	08-25-08	1	ISSUED FOR PERMITTING

CODE: IRC 2003  
TOWN: PORTLAND  
DATE: 08-21-08  
SCALE: AS NOTED  
DRAWN: JJO  
TITLE: BUILDING SECTIONS  
FILE:  
SHEET: A22





1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

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NO	REMARKS	BY
1	ISSUED FOR PERMITTING	JJO

DATE: 08-21-08

CODE: IRC 2003

TOWN: PORTLAND

DATE: 08-25-08

SCALE: AS NOTED

DRAWN: JJO

TITLE: WALL SECTIONS AND DETAILS

FILE: AS.1

SHEET: AS.1

**AVENUE AUTO**  
 745-757 FOREST AVENUE  
 STEPHAN E. MARDIGAN, OWNER

**@d-de-Tech** PROPERTY OF

235 Riverside Industrial Parkway  
 Portland, ME 04102

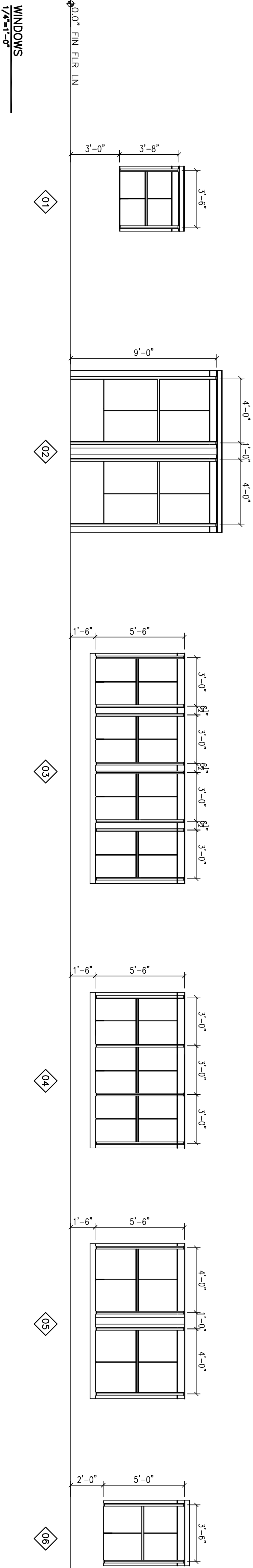
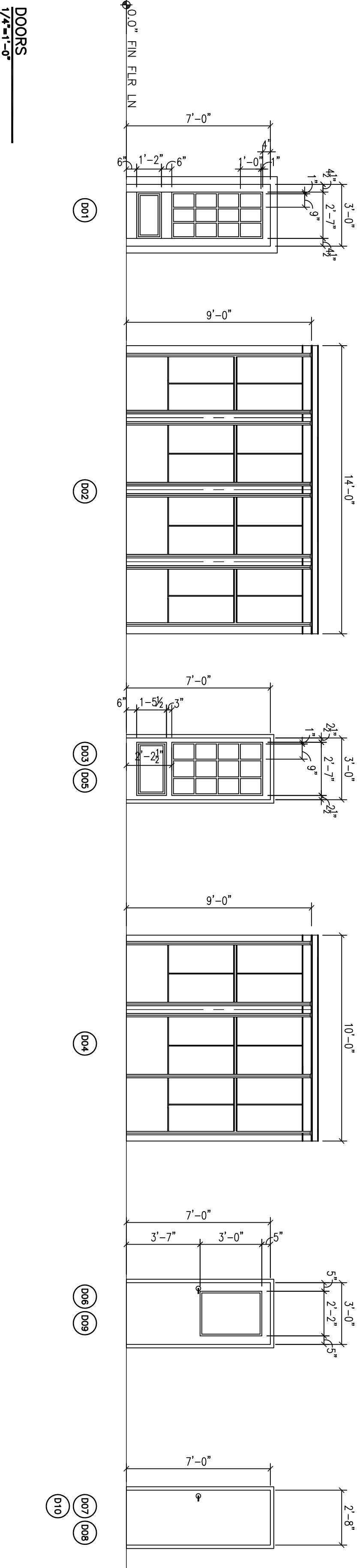
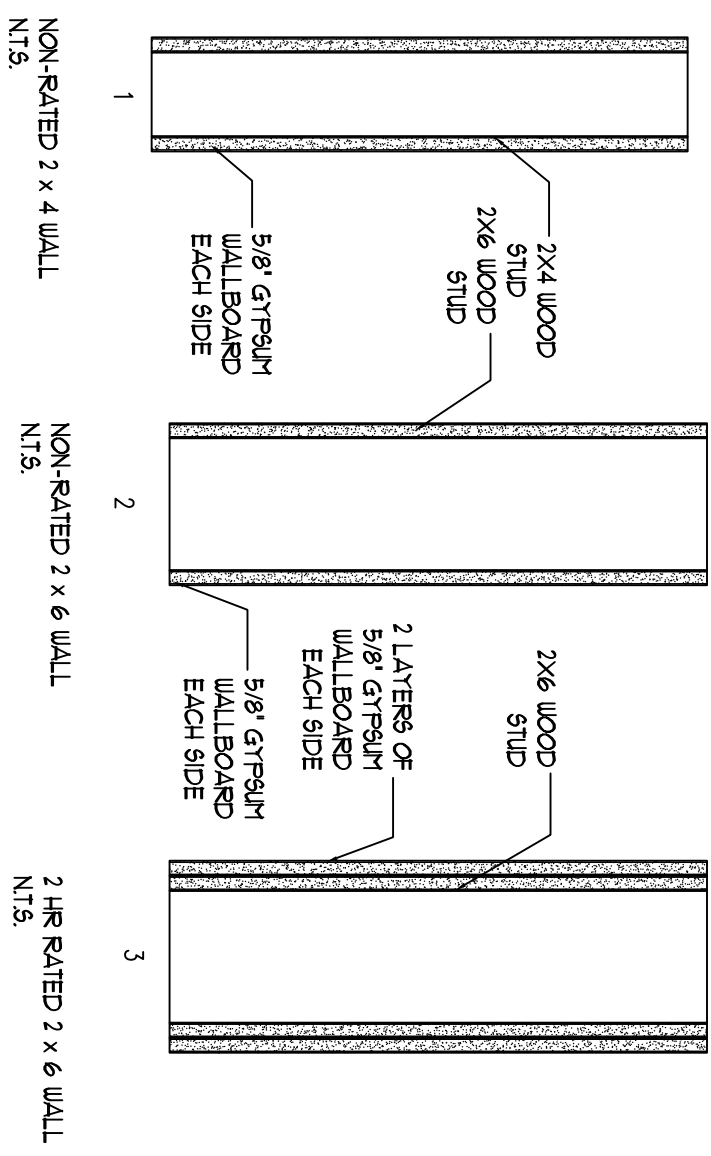
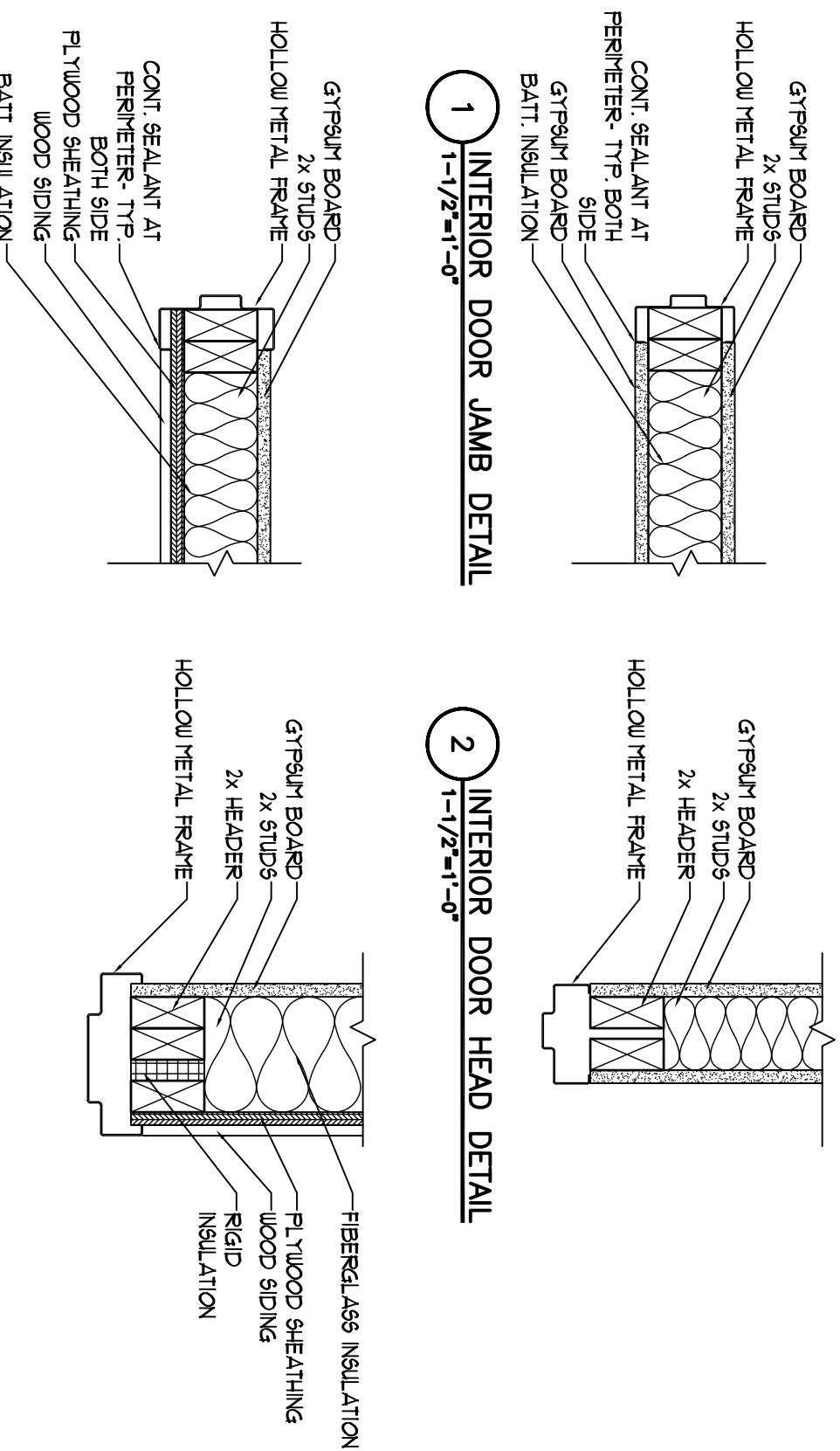


BY	JJO
NO	1
REMARKS	ISSUED FOR PERMITTING
DATE	08-25-08
CODE:	IRC 2003
TOWN:	PORTLAND
DATE:	08-25-08
SCALE:	AS NOTED
DRAWN:	JJO
TITLE:	SCHEDULES AND DETAILS
FILE:	
SHEET:	A4.1

DOOR				FRAME				DETAIL		HARDWARE		REMARKS						
MARK	SIZE	WD	HGT	THK	MATL	FINISH	LOUVER	WD	HGT	MATL	FINISH		HEAD	JAMB	SILL	FIRE RATING LABEL	SET NO	KEYSIDE R/N NO
DD1	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	4	3	PT	4	3					
DD2	4'-0"	9'-0"	1'-3/4"	WD	PT	--	HM	PT	4	3	PT	4	3					
DD3	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	4	3	PT	4	3					
DD4	10'-0"	9'-0"	1'-3/4"	WD	PT	--	HM	PT	4	3	PT	4	3					
DD5	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	2	1	PT	2	1					
DD6	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	2	1	PT	2	1					
DD7	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	2	1	PT	2	1					
DD8	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	2	1	PT	2	1			2HR		
DD9	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	2	1	PT	2	1					
DD10	3'-0"	7'-0"	1'-3/4"	WD	PT	--	HM	PT	2	1	PT	2	1					

ROOM FINISH SCHEDULE				WINDOW SCHEDULE				
ROOM NO	ROOM NAME	FLOOR	REMARKS	MARK	SIZE	TYPE	MATERIAL	REMARKS
101	LOBBY	SC		01	3'-6"	3'-6"		U-FACTOR: 0.35
102	SHOWROOM	SC		02	4'-0"	9'-0"		U-FACTOR: 0.35
103	UTILITY	SC		03	3'-0"	6'-0"		U-FACTOR: 0.35
104	TOILET	CT		04	3'-0"	6'-0"		U-FACTOR: 0.35
201	OFFICE	VCT		05	4'-0"	6'-0"		U-FACTOR: 0.35
202	TOILET	CT		06	3'-6"	5'-0"		U-FACTOR: 0.35

LEGEND  
 SC = CONC. PAINTED AND SEALED  
 PT = PAINTED  
 ACT = ACOUSTIC  
 CT = CERAMIC TILES  
 VCT = VINYL COMPOSITE TILES  
 GWB = GYPSUM WALL BOARD PAINTED



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