



**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 14 Pleasant Avenue		Owner: Roger S. Zimmerman		Phone: 775-1221		Permit No: <b>970544</b>	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name:		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit Issued:  <b>JUN - 5 1997</b>  <b>CITY OF PORTLAND</b> </div>	
Past Use: Single family		Proposed Use: Same w/enlarging deck		COST OF WORK: \$ 800.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		PERMIT FEE: \$ 25.00 INSPECTION: Use Group: Type: Signature:	
Proposed Project Description: Enlarge current/existing deck as per plans (and enclose)				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: Date:			
Permit Taken By: Vicki Dover		Date Applied For: 5/28/97					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Mail to owner

**PERMIT ISSUED  
WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: Roger S. Zimmerman ADDRESS: 14 Pleasant Avenue, Portland 04103-3218 DATE: 5/28/97 PHONE: 775-1221

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: 5/28/97

CEO DISTRICT 6

COMMENTS

7-2-97 Job is all complete

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____


# BUILDING PERMIT REPORT

DATE: 4 June 97 ADDRESS: 14 Pleasant Ave.  
REASON FOR PERMIT: To enlarge and enclose existing deck  
BUILDING OWNER: Roger S. Zimmerman  
CONTRACTOR: owner  
PERMIT APPLICANT: [Signature] APPROVAL: \*12, \*7, \*9, \*26 ~~DELETED~~

## CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
  2. Before concrete for foundation is placed, approvals from the ~~Development Review Coordinator and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
  3. Precaution must be taken to protect concrete from freezing.
  4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
  5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
  6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
  7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
  8. Headroom in habitable space is a minimum of 7'6".
  9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
  10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
  11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
  12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
  13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
  14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
  15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
    - In the immediate vicinity of bedrooms
    - In all bedrooms
    - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 18. The Sprinkler System shall maintained to NFPA #13 Standard.
- 19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- 26. Your plan doesn't show the foundation system for the proposed addition, please submit this information before work begins. A minimum of 8" solid tubes on a footing 4' below grade with anchor between footing and pier would be required.
- 28.

  
P. Samuel Heffes, Chief of Code Enforcement

cc: Lt. McDougall, PFD  
Marge Schmuckal

Applicant: Roger S. Zimmerman  
Address: 14 Pleasant Ave

Date: 6/4/97  
C-B-L:

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing

Zone Location - RS

Interior or corner lot -

Proposed Use/Work - ENLARGING AND ENCLOSING EXISTING DECK

Sewage Disposal -

Lot Street Frontage -

Front Yard - N/A

Rear Yard - 25' req - 25' + shown

Side Yard - 8' req - 12' AT LEAST SHOWN

Projections -

Width of Lot -

Height -

Lot Area -

8,607.5  $\phi$

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

DR. ROGER S. ZIMMERMAN, Ph.D.  
LICENSED PSYCHOLOGIST  
14 Pleasant Ave.  
Portland, Maine 04103  
207-775-1221

5/28/97

current porch dimensions

7' x 8' x 8' high

enclosed porch

proposed project:

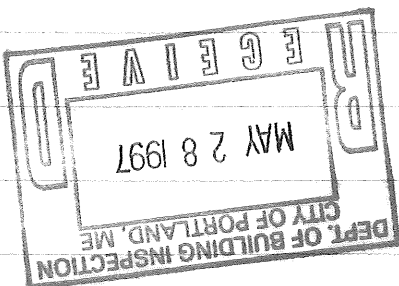
10' x 14' x 8' high

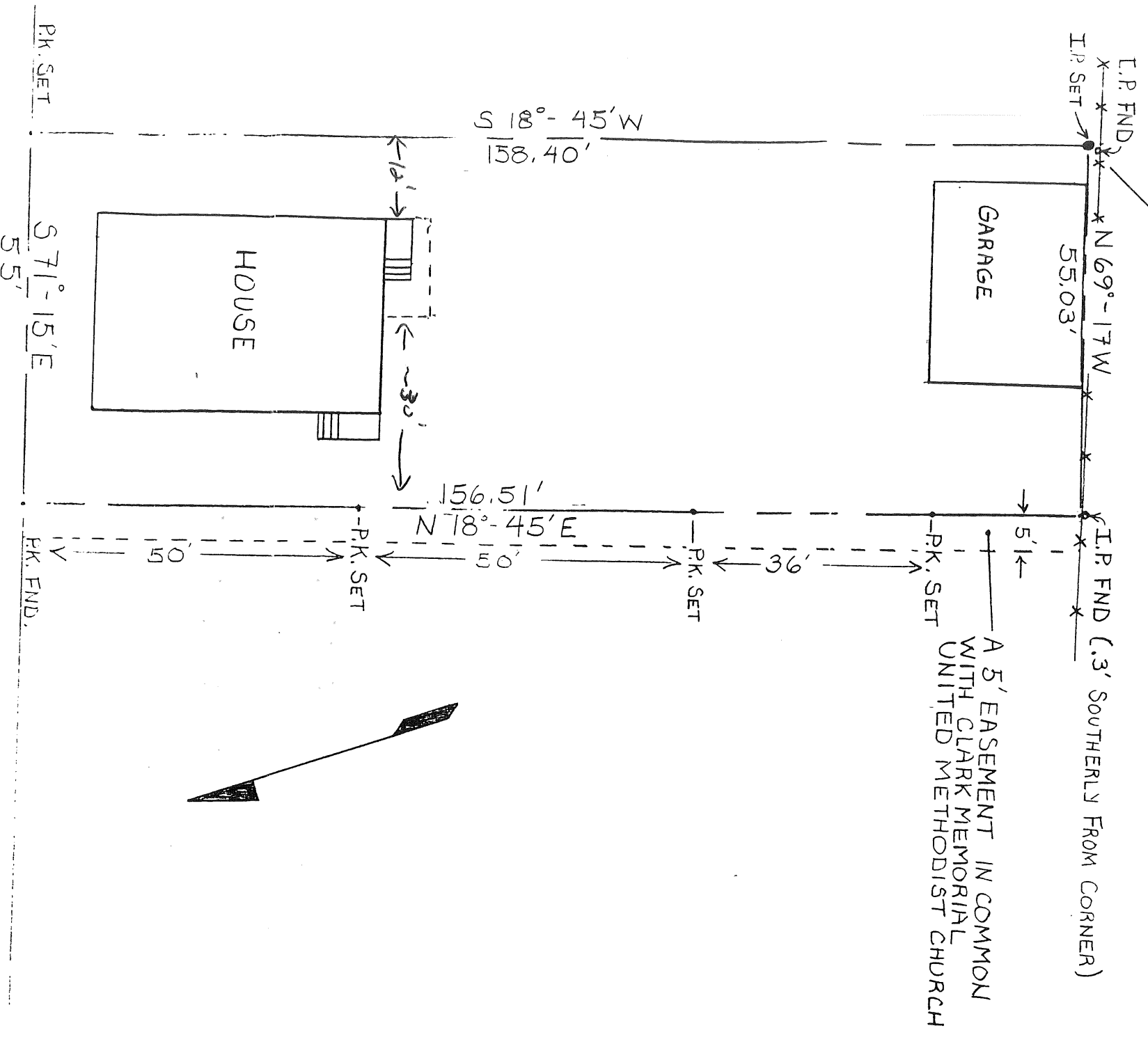
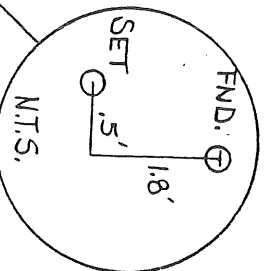
— see detail here on  
enclose

R-5 zone

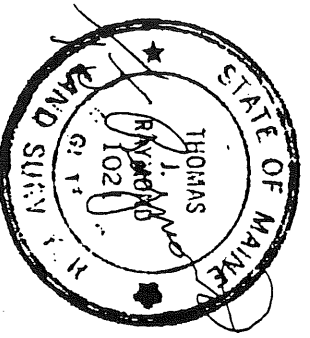
est. cost \$800

construction:  
2 x 4's — walls  
2 x 6's — rafters  
2 x 8's — joists  
4 x 4 or 4 x 6's — supports

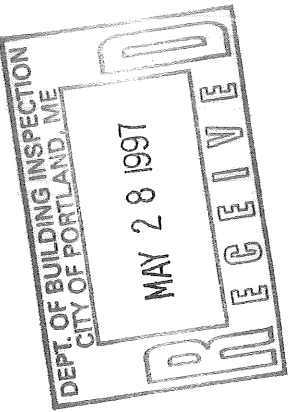




PLEASANT AVE



HTA-DEST ASSOCIATION, INC. 75 WASHINGTON AVE. SO. PORTLAND, ME.	
LAND OF - ROGER ZIMMERMANN 14 PLEASANT AVE. PORTLAND, MAINE	
SCALE: 1" = 20'	DATE: 10-19-84



DR. ROGER S. ZIMMERMANN, Ph.D.  
LICENSED PSYCHOLOGIST  
14 Pleasant Ave.  
Portland, Maine 04103  
207-775-1221



6/8/97

City of Portland  
Inspections

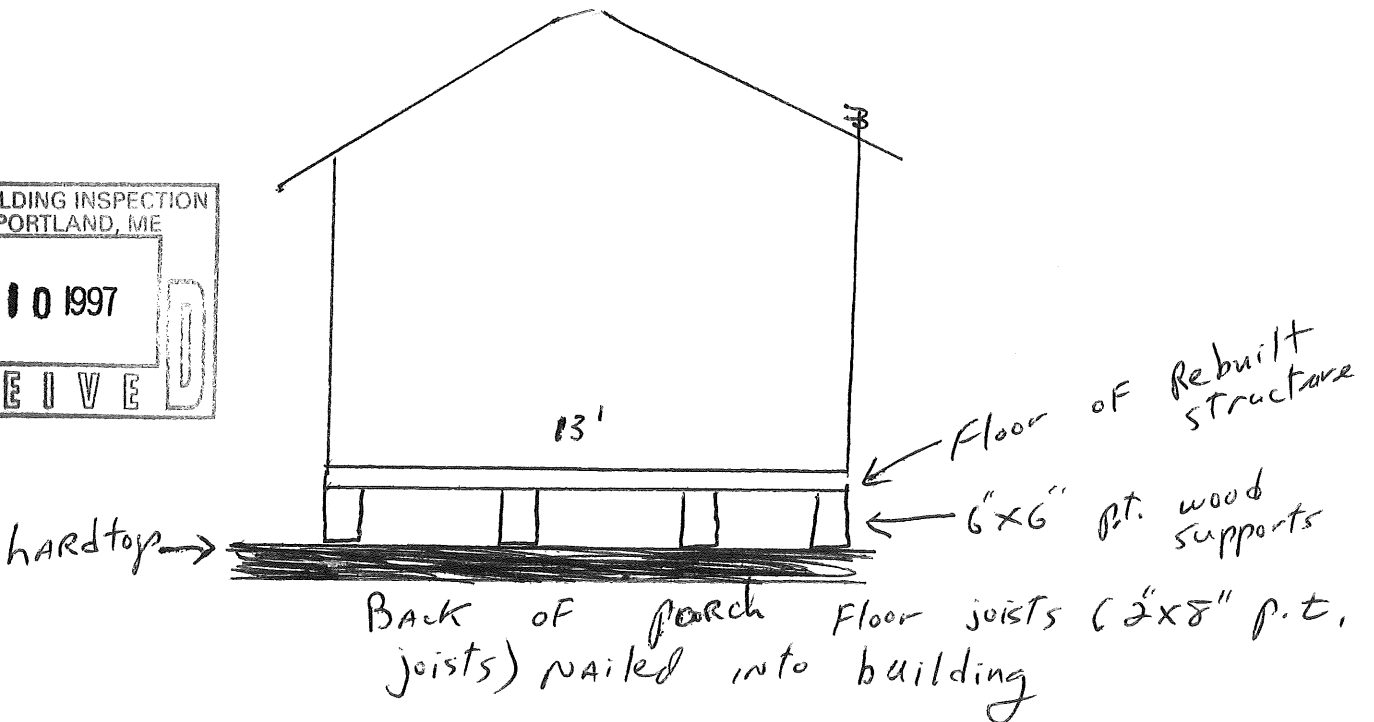
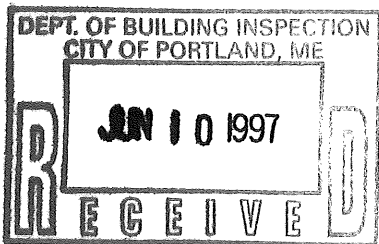
*# 970544 - Issued  
6/5/97*

Regarding Building Permit for the proposed project, enlarge and enclose porch on back of house, 14 Pleasant Ave., Portland, the permit was issued with conditions and a request for information about the foundation system. The plan is for the porch to be supported on 6 x 6" pressure treated timbers, which are to be placed on hardtop (the hardtop is part of a parking lot that abuts the side and rear of the house, and is shown on the visuals already submitted to the dept. with the application for a building permit). Hence, no cement will be poured (regarding condition #2). The porch will be enclosed, and hence guardrails will not be needed (re: condition #7), i.e. there will be walls. Re #9, the pre-existing stairs will be re-used, and these satisfy the requirements of condition #9.

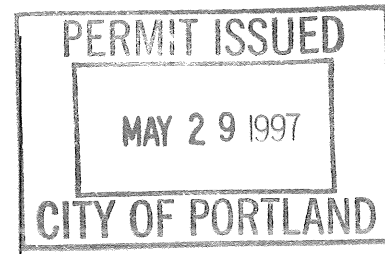
Thank you.

*Roger Zimmerman*  
Roger Zimmerman  
Owner  
14 Pleasant Ave.  
Portland, Me.

DR. ROGER S. ZIMMERMAN, Ph.D.  
LICENSED PSYCHOLOGIST  
14 Pleasant Ave.  
Portland, Maine 04103  
207-775-1221



970519



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. \_\_\_\_\_

Portland, Maine, May 27, 1997

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 970467 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 14 Pleasant Ave Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner's name and address Roger S. Zimmerman, 14 Pleasant Ave Telephone 775-1221

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_

Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Increased cost of work \_\_\_\_\_ Additional fee \$25.00

Description of Proposed Work

X Additional window replacement as per plans

Handwritten signature and date: IDA 5/27/97

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Framing lumber — Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.

Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: [Signature] 5/27/97

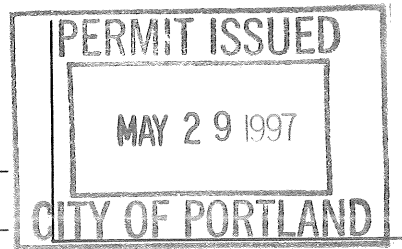
Signature of Owner [Signature]

Approved: [Signature] Inspector of Buildings

INSPECTION COPY — WHITE
APPLICANT'S COPY — YELLOW

FILE COPY — PINK
ASSESSOR'S COPY — GOLDEN

970519



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. \_\_\_\_\_

Portland, Maine, May 27, 1997

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 970467 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

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Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_
Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_
Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_
Last use \_\_\_\_\_ No. families \_\_\_\_\_
Increased cost of work \_\_\_\_\_ Additional fee \$25.00

Description of Proposed Work

X Additional window replacement as per plans

Handwritten signature and date: 5/22/97

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_
Framing lumber -- Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: [Signature] 5/27/97

Signature of Owner \_\_\_\_\_

Approved: \_\_\_\_\_

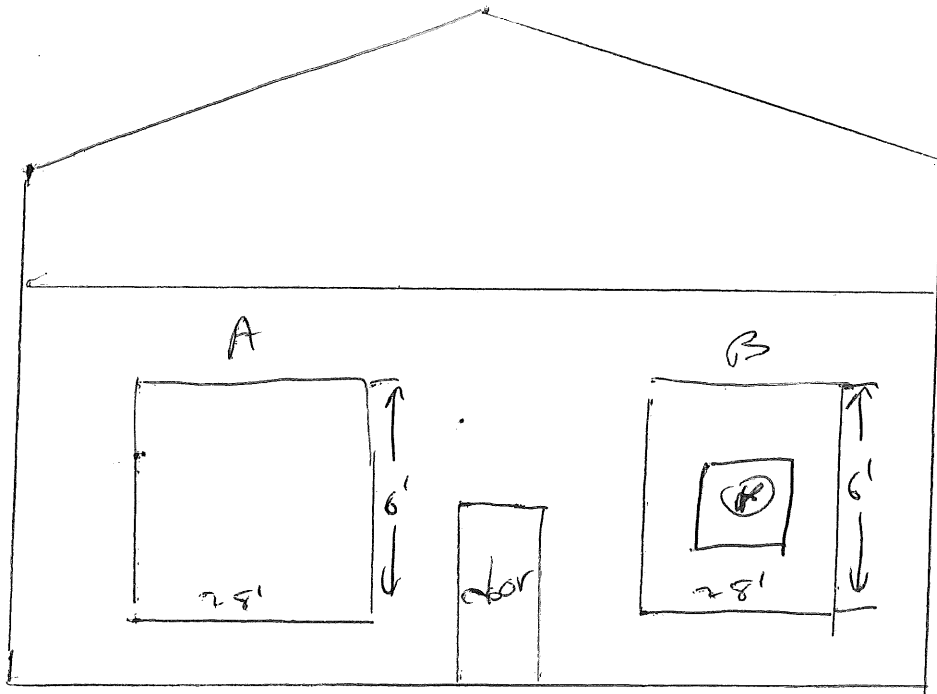
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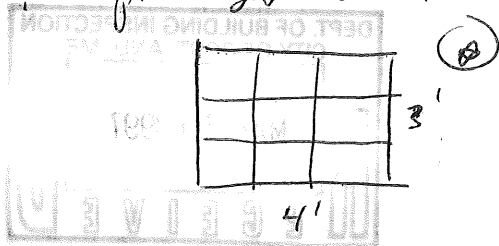
Inspector of Buildings

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 LICENSED PSYCHOLOGIST  
 14 Pleasant Ave.  
 Portland, Maine 04103  
 207-775-1221

Window Replacement - Plate Glass Replaced  $\bar{e}$  smaller window  
 Side B - will be exactly like SIDE ~~A~~ A -  
 Bldg permit for side A issued 5/16/97  
 est. cost - \$400



Replaced  $\bar{e}$  pane glass window



- 1.) All headers - doubled 2"x4"
- 2.) All corner supports - doubled 2"x4"
- 3.) Top supports - doubled 2"x4"