

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that ANDREW PIXLEY

Located At 19 CONCORD ST

Job ID: 2012-09-4889-ALTR

CBL: 130-H-014-001

has permission to Kitchen remodel & remove window
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-09-4889-ALTR

Located At: 19 CONCORD ST

CBL: 130- H-014-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
3. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
4. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
5. Note: Contractor will submit specification for engineered beam prior to construction.

Fire

All construction shall comply with City Code Chapter 10.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

A sprinkler system is recommended but not required based on the following:

Plans indicate the addition will not exceed _50_% of the total completed structure.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4889-ALTR	Date Applied: 9/5/2012 9/4/2012	CBL: 130- H-014-001	
Location of Construction: 19 CONCORD ST	Owner Name: ANDREW PIXLEY	Owner Address: 19 CONCORD ST PORTLAND, ME 04103	Phone: 712-5488
Business Name:	Contractor Name: Maker Design/Build	Contractor Address: 23 PITT ST PORTLAND MAINE 04101	Phone: (207) 329-8606
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: R-5
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to remodel existing kitchen and remove window as per plans	Cost of Work: \$15,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. Proulx</i>	Inspection: Use Group: R3 Type: SB IRC 2009 (1402C) Signature: <i>JR</i>
Proposed Project Description: Kitchen remodel & remove window		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Min ___ MM</p> <p>Date: <i>9/7/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 1075
Tender Amount: 170.00

Receipt Header:

Cashier Id: bsaucier
Receipt Date: 9/5/2012
Receipt Number: 47878

Receipt Details:

Referance ID:	7911	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	170.00	Charge Amount:	170.00
Job ID: Job ID: 2012-09-4889-ALTR - Kitchen remodel & remove window			
Additional Comments: 19 Concord St.			

Thank You for your Payment!



General Building Permit Application

Enteod 9/5/12



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-09-4889-ALTR

Location/Address of Construction: <u>19 CONCORD STREET PORTLAND ME.</u>		
Total Square Footage of Proposed Structure/Area <u>~ zero sq ft.</u>	Square Footage of Lot <u>3564</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>130 14 14</u>	Applicant: (must be owner, lessee or buyer) Name <u>ANDREW PIXLEY</u> Address <u>19 CONCORD ST</u> City, State & Zip <u>PORTLAND ME. 04103</u>	Telephone: <u>712-5488</u> <u>15000</u>
Lessee/DBA RECEIVED SEP 04 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$44,500</u> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <u>170</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>SAME</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>KITCHEN REMODEL + Remaining window</u>		
Contractor's name: <u>MAKER DESIGN/BUILD</u>		Email: <u>SALE@MAKER-DESIGNBUILD.COM</u>
Address: <u>23 PIT STREET</u>		
City, State & Zip: <u>PORTLAND ME. 04103</u>		Telephone: <u>329-8606</u>
Who should we contact when the permit is ready: <u>JASON RYAN</u>		Telephone: _____
Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9/4/12

This is not a permit; you may not commence ANY work until the permit is issued

L & L STRUCTURAL
ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

October 1, 2012

Jake Ryan
MAKER Design + Build
23 Pitt Street
Portland, Maine 04103

Subject: Residential Building – located at 19 Concord Street, Portland, Maine
Steel Beam

Dear Mr. Ryan,

As per your request we have reviewed the drawings prepared by MAKER Design + Builder that indicate a proposed steel beam in the second floor above the kitchen of the residential building located at 19 Concord Street, Portland, Maine. The drawing we reviewed is the proposed kitchen plan and Section A-A on drawing S1.00 dated September 4, 2012. The purpose of our review is limited to the analysis and design of a proposed steel beam in the second floor above the kitchen. In addition, we shall design and discuss the required supports for the steel beam. We are not reviewing the existing foundation, exterior wall framing, or the first floor, second floor and roof structure as part of our analysis. Our analysis utilized the 2009 IRC International Residential Building Code adopted by the City of Portland, Maine. In addition, our analysis considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association and the latest edition of the AISC Manual of Steel Construction.

The proposed steel beam spans approximately 14'-6" and shall be a W8x24 (ASTM A36) structural steel beam. The beam is intended to be installed within the existing second floor joist framing. Hence, the beam shall be packed with continuous 2-2x8's ripped to fit tight plus 1/4" plywood spacer both sides of beam bearing on the bottom flange and fastened with 2- 1/2" diameter A307 thru bolts @ 3'-0" on center (2 1/2" and 5 1/2" from top of steel). The beam shall be installed 1/4" beneath the existing floor sheathing to allow for shrinkage. The joists shall be temporary supported on both sides of the beam and plumb cut to within 1/8" from face of beam and supported from the side of the beam utilizing Simpson U26R hangers with 16d nails per the manufacturer's requirements. The beam shall be supported on both ends with 5- 2x4 post and block solid within the floor system. The post in the exterior wall shall be supported on the foundation utilizing solid vertical blocking within the 1st floor system below. The post in the exterior wall shall be supported on a newly installed 3 1/2" diameter concrete filled lally column in the basement which shall be supported on a 3'-0" square by 12" thick concrete footing with 5-#4 reinforcing bars each way 3" clear from the bottom of the footing.

The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading, and is in general compliance with our structural design concept.

If you have any questions, please do not hesitate to call.

Sincerely,

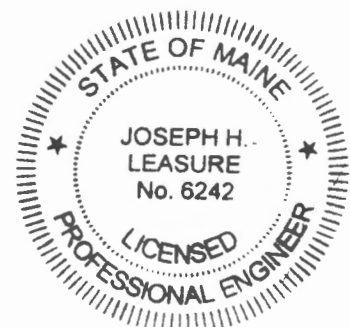
L&L Structural Engineering Services, Inc.

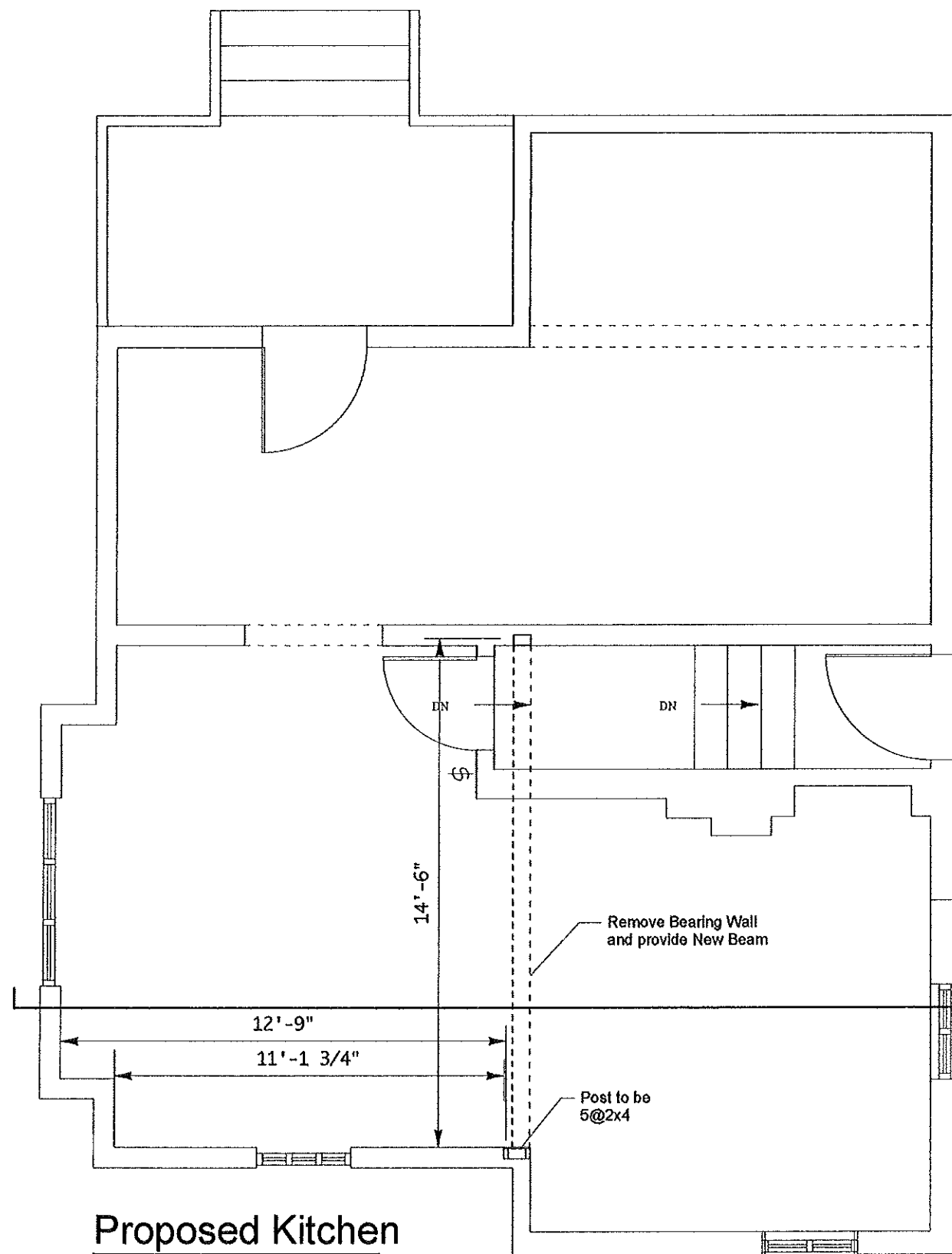
Joseph H. Leasure, P.E.
cc: File

RECEIVED

OCT 04 2012

Dept. of Building Inspections
City of Portland Maine

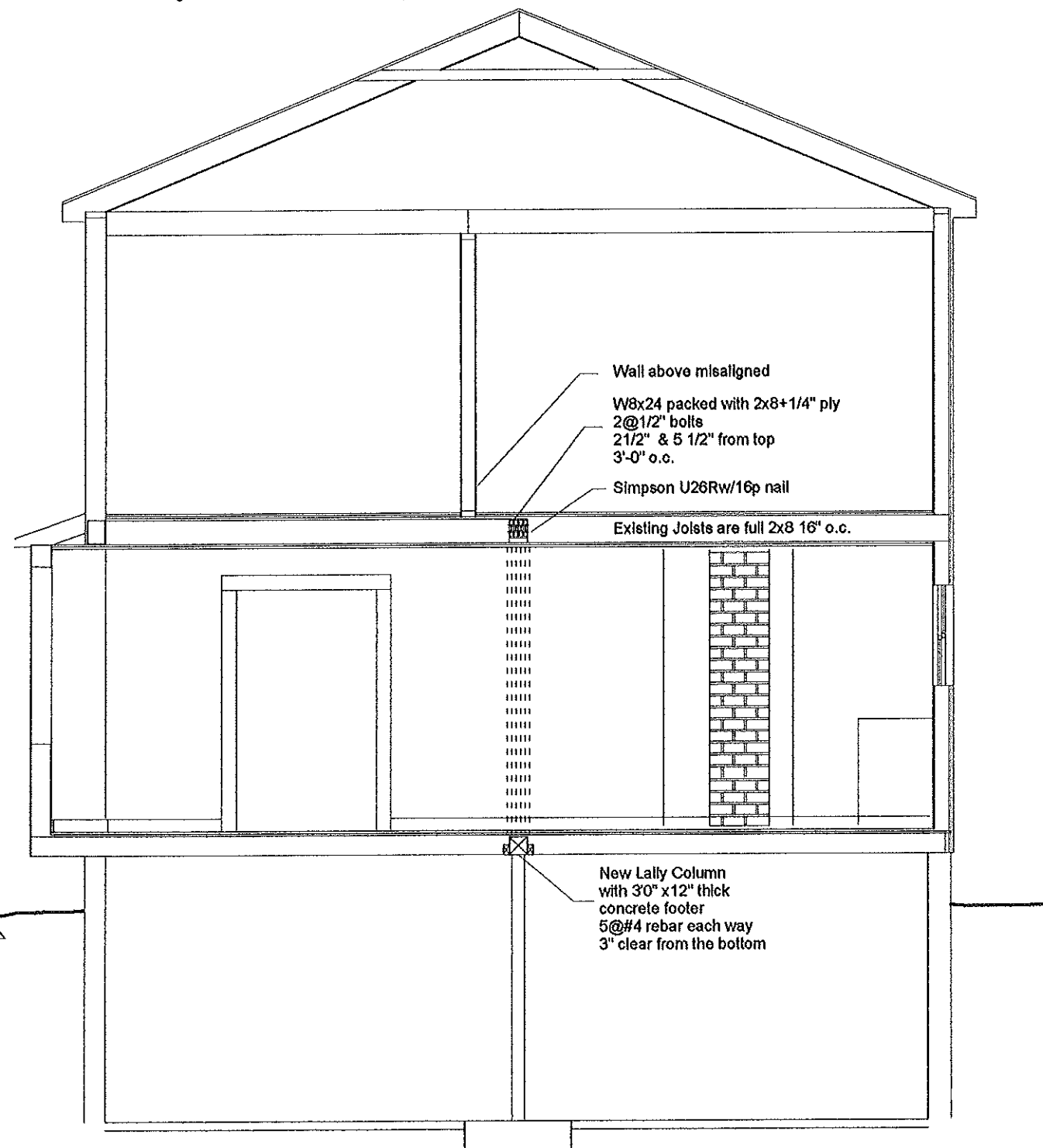




Proposed Kitchen

SCALE: 1/4" = 1'-0"

Span the beam 14'-6".
 The beam shall be a W8x24 steel beam.
 The beam shall be packed with 2 @12x8's ripped to fit tight plus 1/4" plywood spacer both sides of beam bearing on bottom flange and fastened with 2- 1/2" diameter A307 thru bolts @ 3'-0" on center (2 1/2" and 5 1/2" from top of steel). The beam shall be installed 1/4" beneath the existing floor sheathing to allow for shrinkage. The beam shall be supported on both ends with 5- 2x4 post and block solid within the floor system. The post in the exterior wall shall be supported on the foundation utilizing solid vertical blocking within the 1st floor system below. The post in the interior wall shall be supported on a newly installed 3 1/2" diameter concrete filled lally column in the basement which shall be supported on a 3'-0" square by 12" thick concrete footing with 5-#4 reinforcing bars each way 3" clear from the bottom of the footing.
Structural Review by L&L Structural Engineering



Proposed Section A-A

SCALE: 1/4" = 1'-0"

For Pricing Only:
 Not For Construction

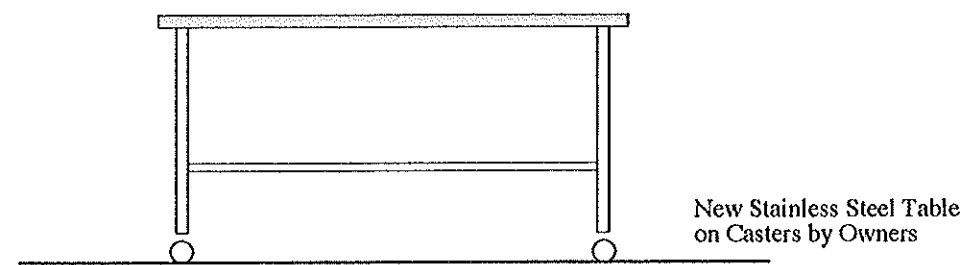
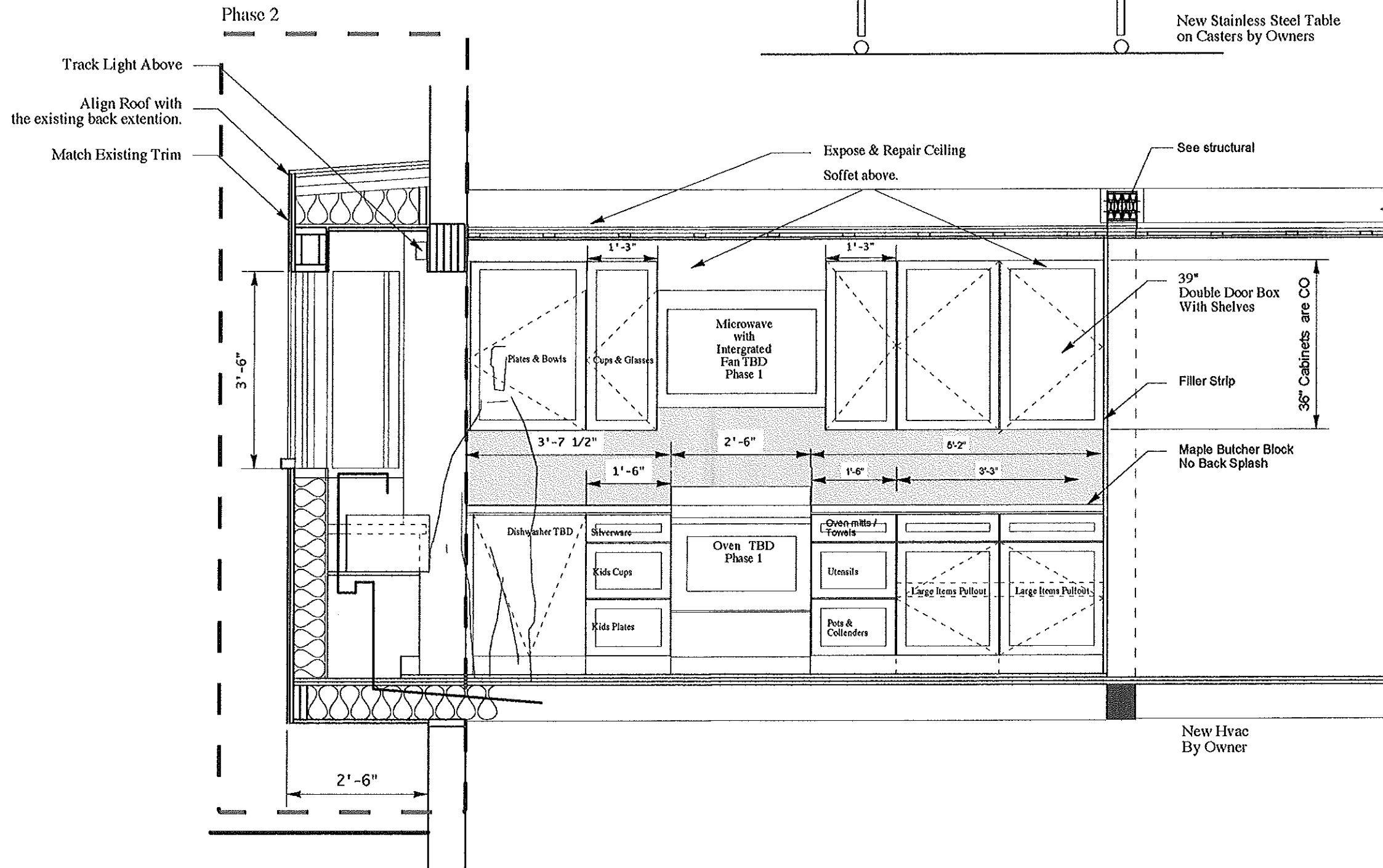
MAKER
 DESIGN / BUILD
 23 Pine Street
 Portland, Me. 04103

Wertheimer + Pixley
 19 Concord Street
 Portland Maine 04013

Proposed Structural
 Date: 9.4.2012

Scale: 1/4" = 1'-0"

S1.00



Note:
 Mirror tiles Phase 2
 Salvage vynal siding from garage to patch window.
 Consider range top and down draft & low back panel

1 North Kitchen Elev. (Phase 1)
 A1.02 SCALE: 1/2" = 1'-0"

For Pricing Only:
 Not For Construction

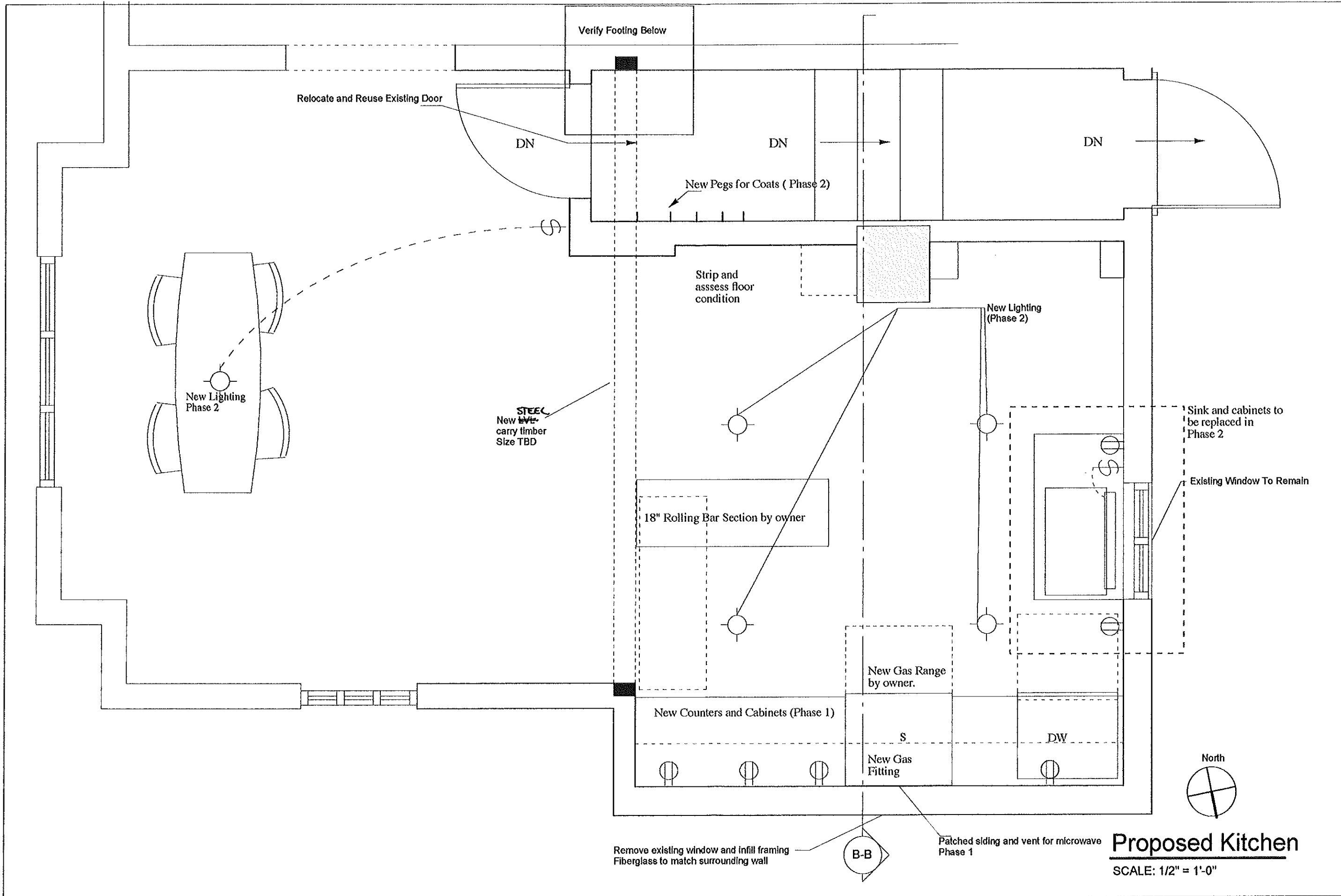
MAKER
 DESIGN / BUILD
 23 Pitt Street
 Portland, Me. 04103

Wertheimer + Pixley
 19 Concord Street
 Portland Maine 04013

Date: 8.8.2012

Kitchen Elevation
 Scale: 1/2" = 1'-0"

A3.01



For Pricing Only:
Not For Construction

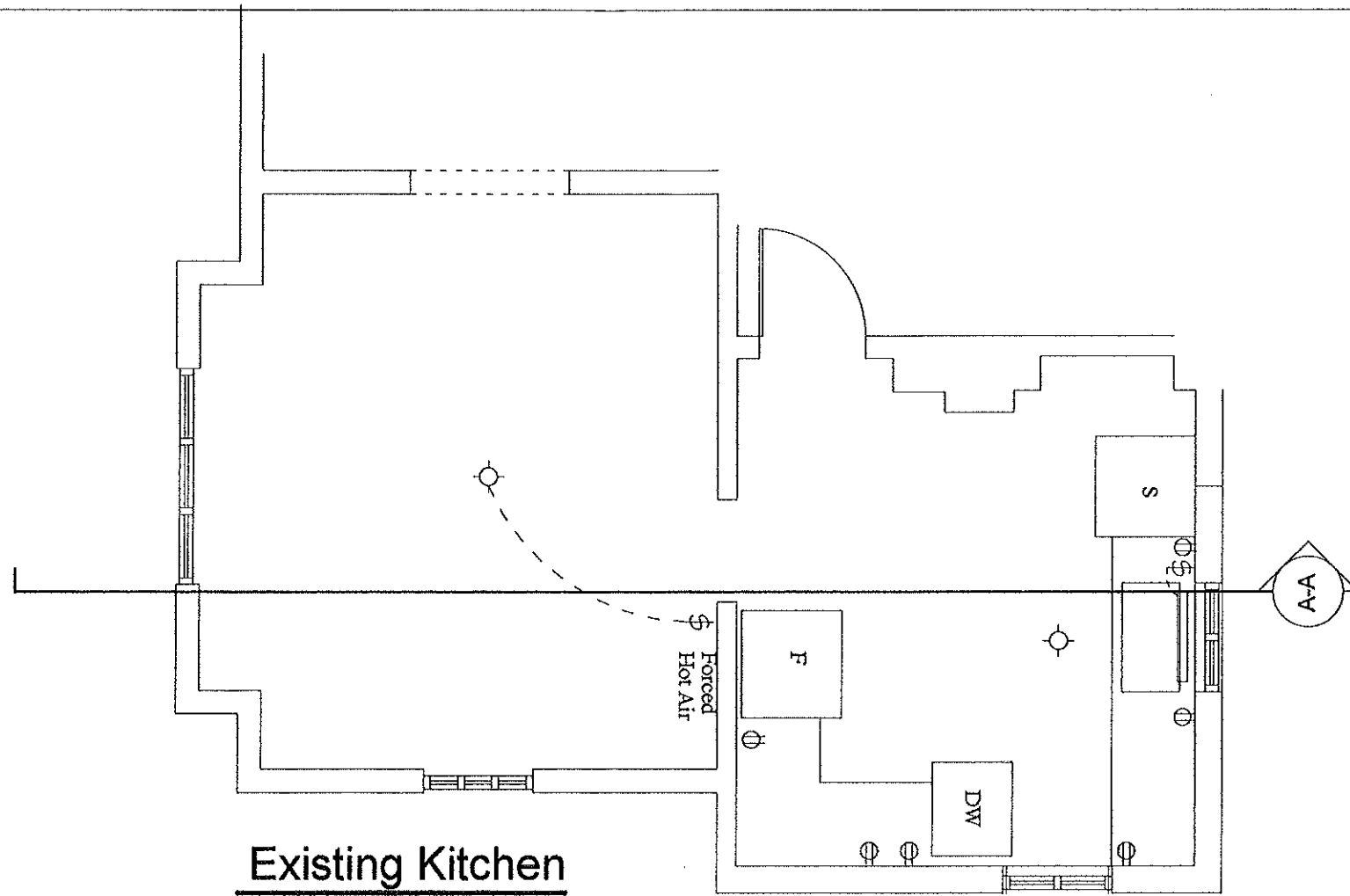
MAKER
DESIGN / BUILD
23 Pitt Street
Portland, Me. 04103

Wertheimer + Pixley
19 Concord Street
Portland Maine 04013

Proposed Floor Plan Phase 1
Scale: 1/2" = 1'-0"
Date: 8.22.2012

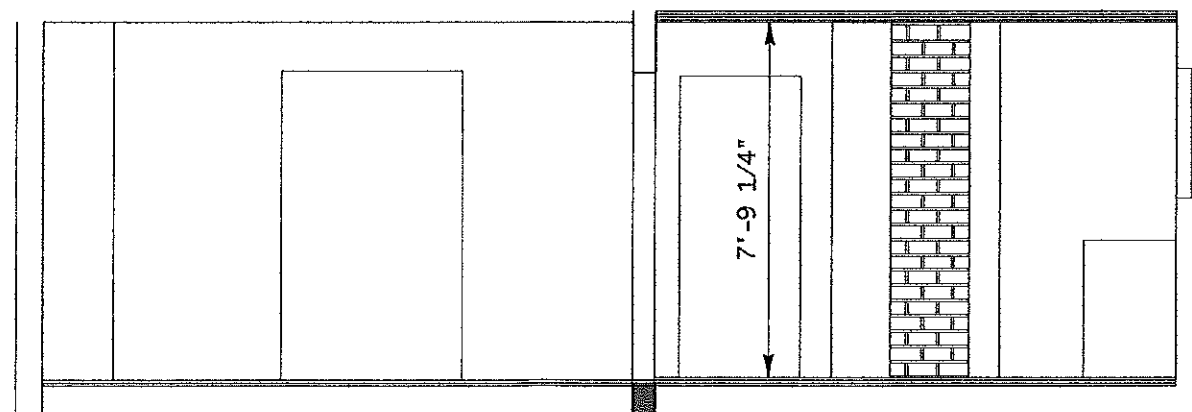
A1.01

Proposed Kitchen
SCALE: 1/2" = 1'-0"



Existing Kitchen

SCALE: 1/4" = 1'-0"



Existing Section

SCALE: 1/4" = 1'-0"

Program Requirements

- Kitchen / Dining
- Renovation in an Existing Structure.
- Strip and Refinish Existing Floor.
- Remove Drop Ceiling (Repair Plaster?)
- Provide Space for New Appliances.
- New Cabinet Layout w/ Possible Bar Section @ Dining Room.
- Provide New Dishwasher
- Move Air Handeling Ducts.
- Explore Removal and/or Additon of Windows.
- New Lighting
- Simple Styled

For Pricing Only:
Not For Construction

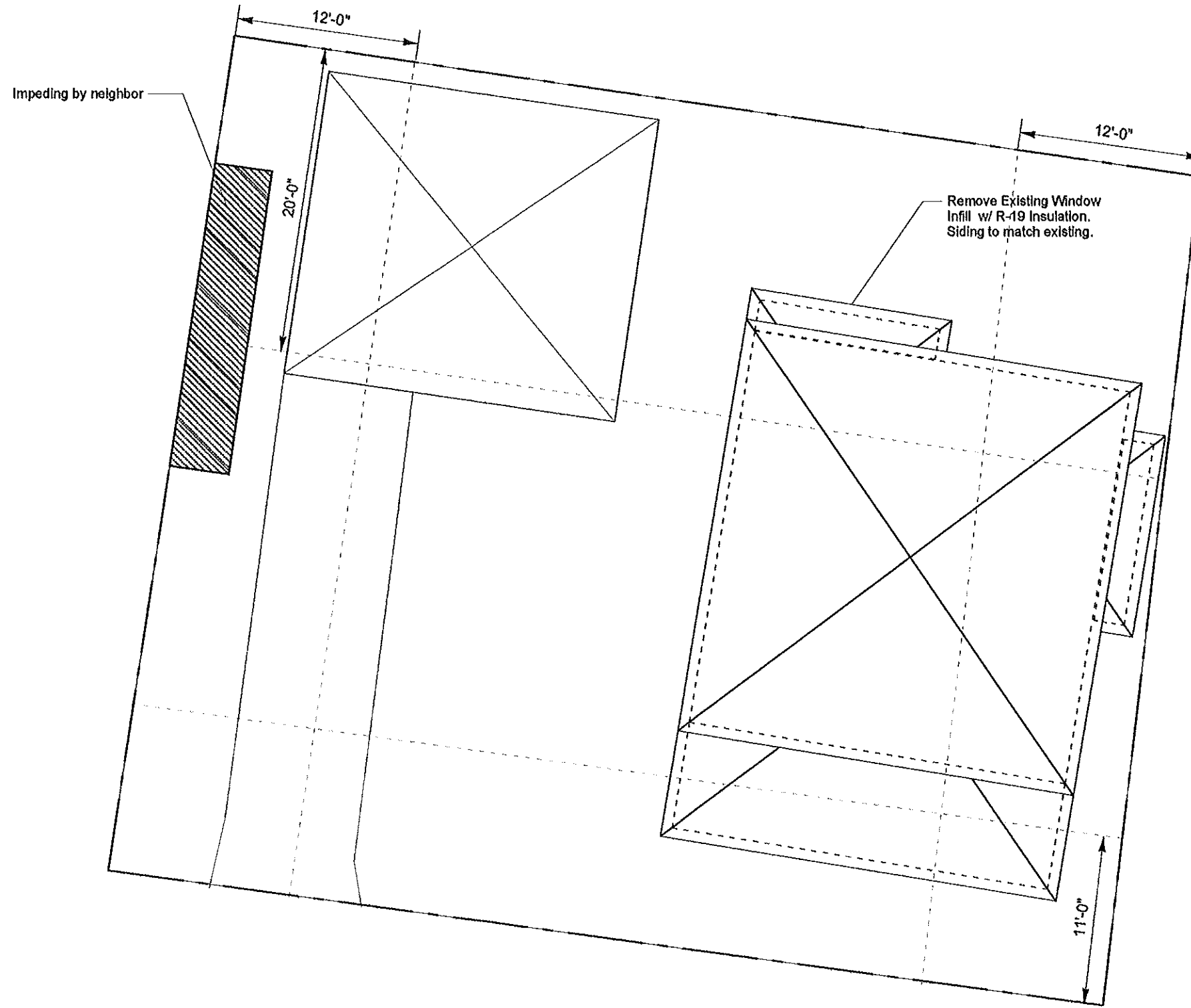
MAKER
DESIGN / BUILD
23 Pine Street
Portland, Me. 04103

Wertheimer + Pixley
19 Concord Street
Portland Maine 04013

Existing Conditions

Scale: 1/4"=1'-0"
Date: 6.27.2012

A0.01



Note:
 Map 130
 Block H
 Lot 14
 3,562 Sq ft

Plot Plan

Scale: 1/8" = 1'-0"

Date: 9.4.2012

Wertheimer + Pixley
 19 Concord Street
 Portland Maine 04013

MAKER
 DESIGN / BUILD
 23 Pine Street
 Portland Me. 04103

For Pricing Only:
 Not For Construction

L0.01