

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 040018

JAN 07 2004

Please Read Application And Notes, If Any, Attached

This is to certify that Briggs Kristen M & Mitchell McGoon
has permission to Build 10'x16' deck with stairs
AT 49 Concord St L 130 H004001

CITY OF PORTLAND

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. A FOUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Bonke 1/7/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0018	Issue Date: JAN 07 2004	CBL: 130 H004001
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Location of Construction: 49 Concord St	Owner Name: Briggs Kristen M &	Owner Address: 49 Concord St CITY OF PORTLAND	Phone:
Business Name:	Contractor Name: Mitchell McGoon	Contractor Address: 286 Lawrence Road Pownal	Phone: 2078377730
Leasee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	Zone: R5

Past Use: Two Family	Proposed Use: Two Family w/deck	Permit Fee: \$48.00	Cost of Work: \$2,250.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: accessory deck BOCA 1999	

Proposed Project Description: Build 10'x16' deck with stairs	Signature: _____ Signature: JMB 1/7/04
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature: _____	Date: _____

Permit Taken By: jmb	Date Applied For: 01/07/2004	Zoning Approval
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<ol style="list-style-type: none"> 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>approved</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 1/7/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0018	Date Applied For: 01/07/2004	CBL: 130 H004001
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Location of Construction: 49 Concord St	Owner Name: Briggs Kristen M &	Owner Address: 49 Concord St	Phone:
Business Name:	Contractor Name: Mitchell McGoon	Contractor Address: 286 Lawrence Road Pownal	Phone: (207) 837-7730
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: Two Family w/deck	Proposed Project Description: Build 10'x16' deck with stairs
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Dept: Zoning	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 01/07/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 01/07/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>49 Concord St. Portland</u>		
Total Square Footage of Proposed Structure <u>160 sq. ft.</u>	Square Footage of Lot <u>11,865 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>130 H 4</u>	Owner: <u>Kristen Briggs</u>	Telephone: <u>713-8864</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>- same as above -</u>	Cost Of Work: \$ <u>2,250.⁰⁰</u> Fee: \$ <u>48.00</u>
Current use: <u>duplex - 2 family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>duplex</u>		
Project description: <u>10 x 16 deck w/stairs</u>		
Contractor's name, address & telephone: <u>Mitchell McGoan d/b/a Mitchell's Carpentry Service</u> <u>286 Lawrence Rd. Fernal, Me. 04069</u>		
Who should we contact when the permit is ready: <u>(above)</u>		
Mailing address: <u>(above)</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-688-2284</u> <u>837-7750</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Mitchell McGoan</u>	Date: <u>1-7-04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632 must~~ also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X Mitchell McGee
Signature of applicant/designee

1/7/04
Date

James Bowke
Signature of Inspections Official

1/7/04
Date

CBL: 130-H-4 Building Permit #:

04-0018



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 130 H004001
Location 49 CONCORD ST
Land Use TWO FAMILY

Owner Address BRIGGS KRISTEN M & PATRICIA E BRIGGS
 49 CONCORD ST
 PORTLAND ME 04103

Book/Page 18236/298
Legal 130-H-4
 CONCORD ST 49

 11865 SF

R-5
04-0018

Valuation Information

Land	Building	Total
\$34,860	\$114,980	\$149,840

Property Information

Year Built 1900	Style Old Style	Story Height 2	Sq. Ft. 3219	Total Acres 0.272		
Bedrooms 6	Full Baths 4	Half Baths	Total Rooms 14	Attic Part Finsh	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1920	Size 20X22	Grade C	Condition F
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Sales Information

Date	Type	Price	Book/Page
10/01/2002	LAND + BLDING	\$299,000	18236-298
03/18/1999	LAND + BLDING		14619-327
02/09/1998	LAND + BLDING	\$100,000	13590-290

Picture and Sketch

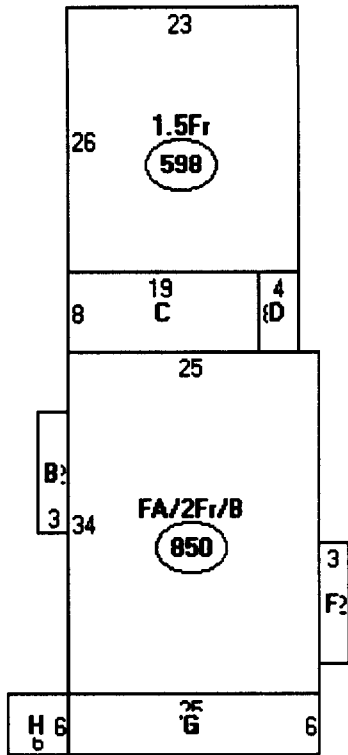
Picture

Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.





Descriptor/Area

- A: FA/2Fr/B
850 sqft
- B: FBAY
36 sqft
- C: 1Fr
152 sqft
- D: OFF
32 sqft
- E: 1.5Fr
598 sqft
- F: 2FBAY/B
36 sqft
- G: OFF
150 sqft
- H: WD
36 sqft

1890
1,440 garage

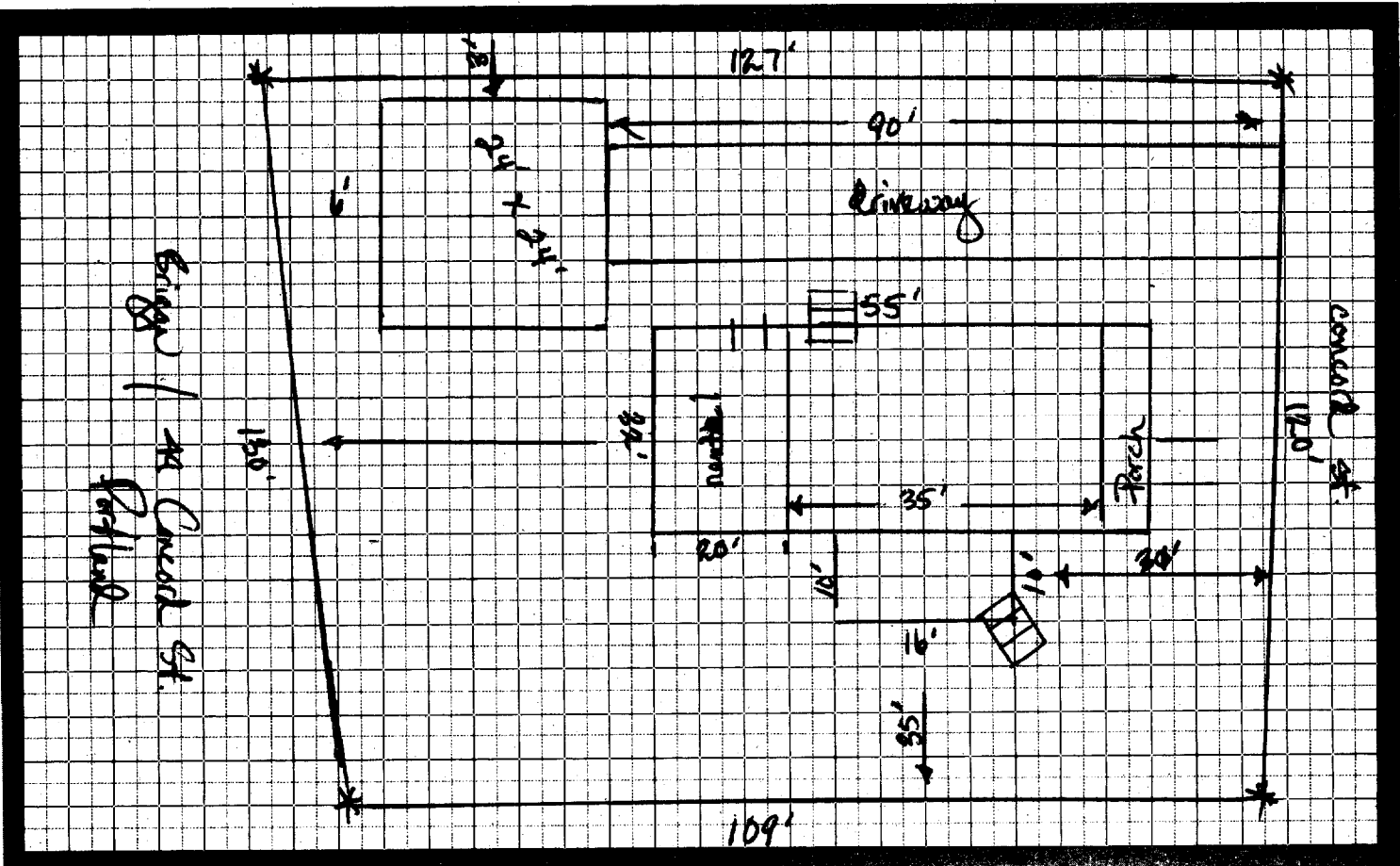
2,330
1,160 deck

2,490

Lot 11, 865 SF
X 40%

4,746

OK



Garage /
 1st Concord St.
 Portland

ALL Pins found ✓

RS zone

Front 20' Req 31' Shown
 Rear 20' Req 60' Shown
 Side 8' Req 35' Shown



APPLICATION FOR PERMIT

Class of Building or Type of Structure Single Third Class
Portland, Maine, Dec. 14, 1971

PERMIT
JAN 27 1972
0123
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 49 Concord Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address Mrs. Nina Crouch, 49 Concord St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Merle Jordan, 36 Concord St. Telephone 773-7414
Architect _____ Specifications _____ Plans yes No. of sheets 3
Proposed use of building Dwelling No. families 2
Last use _____ No. families 1
Material frame _____ No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot garage
Estimated cost \$ 1800

General Description of New Work

To Change Use of garage to living quarters with alterations
(3)
To construct 8' dormer front of building and change garage door to regular door

Fee \$ 6.00
45.00 PA
1/10/72
heated floor

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-1 1/2" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 4'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

C.H. - 1/26/72 - Allen W. Geller

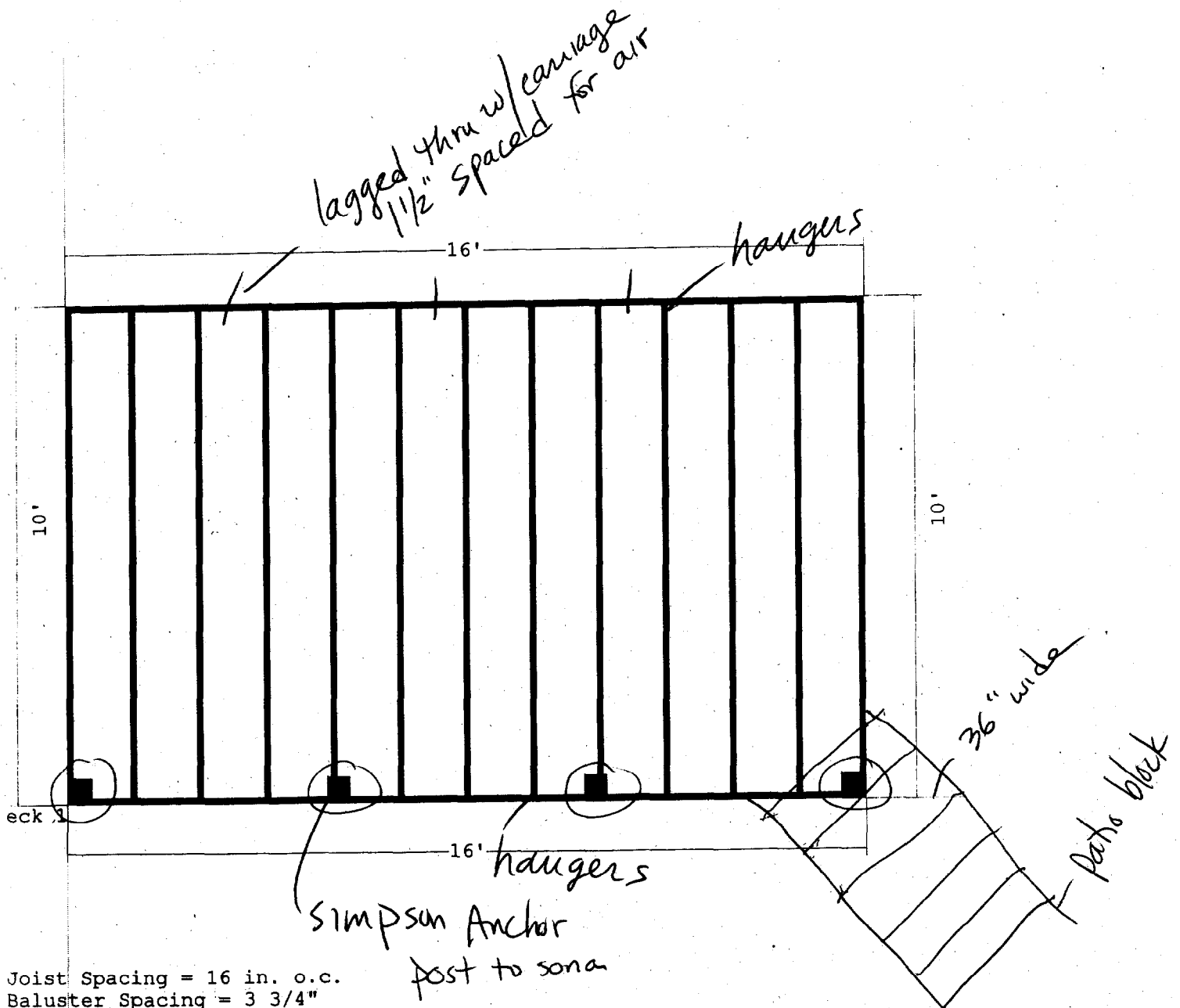
Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are _____

The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
Sun Aug 31 11:22:20 2003
The materials for this project will cost \$1038.68

EARLE BRIGGS
DECK 1
167844
Deck Dimensions for Deck 1

PT Framing
Correct deck & rails - composite



Joist Spacing = 16 in. o.c.
Baluster Spacing = 3 3/4"
Toe Spacing = 3 3/4"
Railing Height = 36"

The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
Sun Aug 31 11:22:43 2003
EARLE BRIGGS
DECK 1
167844

Construction Specifications

deck 1:

Construction Method = Beam Flush With Joist
Footing Type = Pier In-Ground
Live Load = 60
Dead Load = 10
Decking Spacing = 0 1/8"
Joist Spacing = 16"
Beam Spacing = 120"
Post Spacing = 62 5/32"
Decking = 5/4X6 Thompsonized Prem. Southern Pine Standard
Beams = 2X10 .40 Treated Southern Pine No. 2 — 2-2x10 Beam
Joists = 2X10 .40 Treated Southern Pine No. 2
Posts = 4X4 .40 Treated Southern Pine No. 2
Deck Height = 48"
Diagonal Bracing = No
Deck Skirt = No
Joist Overhang = 0"
Beam Overhang = 0"
Decking Deflection Factor = 360
Joist Deflection Factor = 360
Beam Deflection Factor = 360
Pref Decking Size =
Pref Joist Size = 2x10
Pref Beam Size = 2x10
Pref Post Size = 4x4

Rim

Railing 1:

Railing Height = 36"
Baluster Spacing = 3 3/4" ✓

Stair 3:

Step Width = 36"
Step Height = 48"
Step Rise = 6 21/32" ✓
Step Run = 11" — 10" net
Stringers = 2X12 .40 Treated Southern Pine No. 2
Risers = 5/4X6 Thompsonized Prem. Southern Pine Standard
Treads = 5/4X6 Thompsonized Prem. Southern Pine Standard

Railing 4:

Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 5:

Railing Height = 36"
Baluster Spacing = 3 3/4"

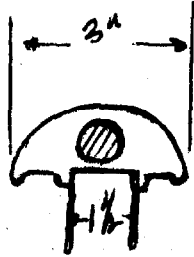
Railing 2:

Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 3:

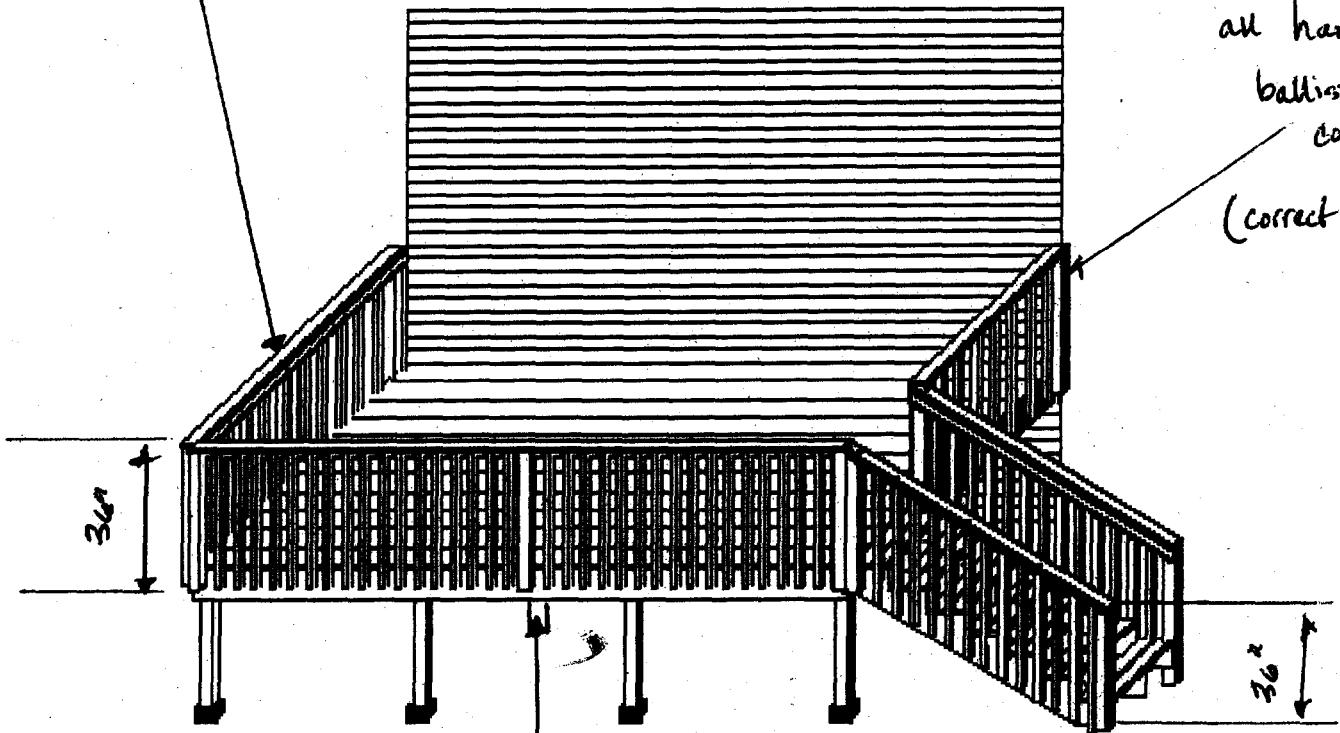
The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
Sun Aug 31 11:22:20 2003
The materials for this project will cost \$1038.68

EARLE BRIGGS
DECK 1
167844
3D View



handrail end
detail ✓

decking and
all handrail /
balustrade
composite
(correct deck)



balusters @ 3 3/4"

The Home Depot # 2401
 245 RIVERSIDE STREET, PORTLAND, ME 04103
 (207) 761-0600
 8/31/2003
 EARLE BRIGGS
 DECK 1
 167844

Materials for Deck:

Qty	UOM	SKU	Use	Description
95	EA	557285	Baluster	2X2-42IN. NO.1 SINGLE POINT BALUSTER
1	EA	161624	Beam	2X10-16FT. NO.2 PT SYP .40
22	EA	365287	Decking	5/4X6X16 PREM. THOMPSON DECKING .40
7	EA	326626	H Top Rail	5/4X6X8 PREM. THOMPSON DECKING .40
1	EA	161624	Joist	2X10-16FT. NO.2 PT SYP .40
13	EA	161532	Joist	2X10-12FT. NO.2 PT SYP .40
1	EA	161624	Ledger	2X10-16FT. NO.2 PT SYP .40
1	EA	162841	Post	4X4X12 PT .40 CCA Y/P NO. 2
1	EA	162825	Post	4X4X8 PT .40 CCA Y/P#2-JLQ NOTE
6	EA	162825	Railing Post	4X4X8 PT .40 CCA Y/P#2-JLQ NOTE
3	EA	589410	Stair Stringer	2X12X8 PT SYP #2 .40CCA
4	EA	351792	Tread	5/4X6X10 PREM. THOMPSON DECKING .40
1	EA	326626	Tread	5/4X6X8 PREM. THOMPSON DECKING .40
1	EA	675199	V Top Rail	2X4X8 #1PT Y/P .40 - JLQ NOTES
26	EA	462047	2x10 Joist Hanger	2X10 JOIST HANGER
4	EA	164365	4x4 Post Foot Brkt	4X4 ADJUSTABLE POST BASE
4	EA	654299	Anchor Bolt	CARRIAGE BOLT 1/2X6
4	EA	538892	Anchor Nut	HEX NUT GALV 1/2
4	EA	538981	Anchor Washer	FLAT CUT WASHER GALV 1/2
1	EA	735002	BalusterScrewGreen	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW
8	EA	544208	Beam Bolt 4x4	CARRIAGE BOLT-GALV. 1/2 X 8
8	EA	538892	Beam Nut	HEX NUT GALV 1/2
8	EA	538981	Beam Washer	FLAT CUT WASHER GALV 1/2
8	EA	169765	ConcPierIn-Ground	80 LB CONCRETE - JLQ NOTES
2	EA	735003	Deck Screws3inGreen	GREEN 5LB 3IN DECKMATE DECK SCRW
2	EA	174668	Flashing	1 5/8X1 5/8X8FT ALUM DECK FLASHING
3	PK	462810	Hanger Nails 2x10	10D JOIST HANGER NAILS
1	EA	192708	Joist Framing Nails	16D 3-1/2" HOT GALV COMMON 5 LB
13	EA	538981	Lag Bolt Washer	FLAT CUT WASHER GALV 1/2
13	EA	928607	Ledger-Bolt	LAG SCREW GALV 1/2 X 6
24	EA	544208	Rail Post-Bolt	CARRIAGE BOLT-GALV. 1/2 X 8
24	EA	538892	Rail Post-Nut	HEX NUT GALV 1/2
24	EA	538981	Rail Post-Washer	FLAT CUT WASHER GALV 1/2
1	EA	735002	Step Screw Green	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW

The total cost of in stock materials is \$1038.68 plus tax.
 This estimate was created on 8/31/2003 and is valid for 3 business days.

Parameters from UBC.cod parameter file.
 Parameters used for Deck 1: 60 psf live load, 48 inch footing depth.

WARNING:

THIS IS NOT A FINAL DESIGN PLAN. VARIATIONS IN BUILDING CODES, SPECIFIC ARCHITECTURAL CONSIDERATIONS, OR SITE CONDITIONS MAY REQUIRE CHANGES TO THIS DESIGN. YOU ARE RESPONSIBLE FOR THE FINAL STRUCTURE, CODE VERIFICATION, MATERIAL USAGE, AND STRUCTURAL SAFETY OF THIS DESIGN. BE SURE TO CHECK AND VERIFY THE DESIGN WITH YOUR LOCAL ARCHITECT AND BUILDING INSPECTOR.

THE COMPANY ASSUMES ABSOLUTELY NO RESPONSIBILITY FOR THE CORRECT USE OF THIS PROGRAM.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Jan. 7 20 04

Received from Mitchell M^cGoan

Location of Work 49 Concord

Cost of Construction \$ 2,250.00

Permit Fee \$ 48.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 130-H-4

Check #: cash

Total Collected \$ 48.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy