



COMMENTS

8-5-98 Spoke with contractor about job.

8-26-98 Met with contractor checked foundation wall, forms being pulled, 8" wall OK to backfill. masonry set backs OK

9-9-98 Checked framing on addition with Ron Norton Contractor OK to close in. masonry

12-11-98 all Building Items are taken care of, There are still outstanding electrical problems (TR) check on window heights currently 9 1/2" ?

11-6-00 WORK complete w/o call for final. close-out job

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 3 Aug. 98 ADDRESS: 63 Concord ST. (130-H-001)

REASON FOR PERMIT: To Construct 1 story addition

BUILDING OWNER: Melinda Longg

CONTRACTOR: Near Brook Bldgs. Restoration

PERMIT APPLICANT: \_\_\_\_\_

USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL


This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*2, \*2.5, \*8, \*10, \*23, \*24, \*26

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X 2. Before concrete for foundation is placed, approval from the ~~Development Review Coordinator and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- X 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
- 3. Precaution must be taken to protect concrete from freezing.
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- X 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
- 9. Headroom in habitable space is a minimum of 7'6".
- X 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
- 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension

shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)
- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- \* 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- \* 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 25. All requirements must be met before a final Certificate of Occupancy is issued.
- \* 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- 28. Please read and implement the attached Land Use-Zoning report requirements.
- 29. \_\_\_\_\_
- 30. \_\_\_\_\_
- 31. \_\_\_\_\_
- 32. \_\_\_\_\_



P. Samuel Hoffses, Building Inspector

cc: Lt. McDougall, PFD  
 Marge Schmuckal *Zoning Adm*

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 63 Concord Street

Tax Assessor's Chart, Block & Lot Number Chart# <u>130</u> Block# <u>H</u> Lot# <u>001</u>	Owner: <u>MELINDA LORING</u>	Telephone#:
Owner's Address: <u>63 Concord Street</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$27,000</u> - Fee <u>\$155</u>

Proposed Project Description:(Please be as specific as possible)

NEW 1 story addition to replace existing porch -

Contractor's Name, Address & Telephone: NEAR BROOK BLDG. RESTORATION P.O. BOX 517 GRAY MAINE 657-3736 Rec'd By: 04039-0517

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

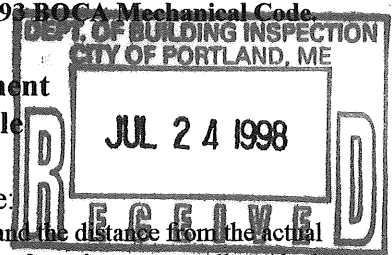
- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 B.O.C.A. Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks



**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Ruth E. [Signature] Date: 7/24/98

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Applicant: Ron Norton  
Address: 63 Concord St

Date: 8/3/98  
C-B-L: 130-H-1

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1905

Zone Location - R-5

Interior or corner lot - 61-71  
COR Norwood

Proposed Use/Work - New 1 Story Addition, to replace existing porch

Sewage Disposal - City

Lot Street Frontage -

Front Yard - 20' req - N/A - over 20'

Rear Yard - 20' req - N/A - over 20'

Side Yard - 14' req <sup>8' new</sup> <sub>Att</sub> → 14' + show to stairs  
↓  
existing Bldg

Projections -

Width of Lot -

Height - 1 story

Lot Area - 6,000<sup>sq</sup> 7,620<sup>sq</sup>

Lot Coverage/ Impervious Surface -

Area per Family -

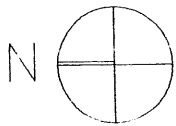
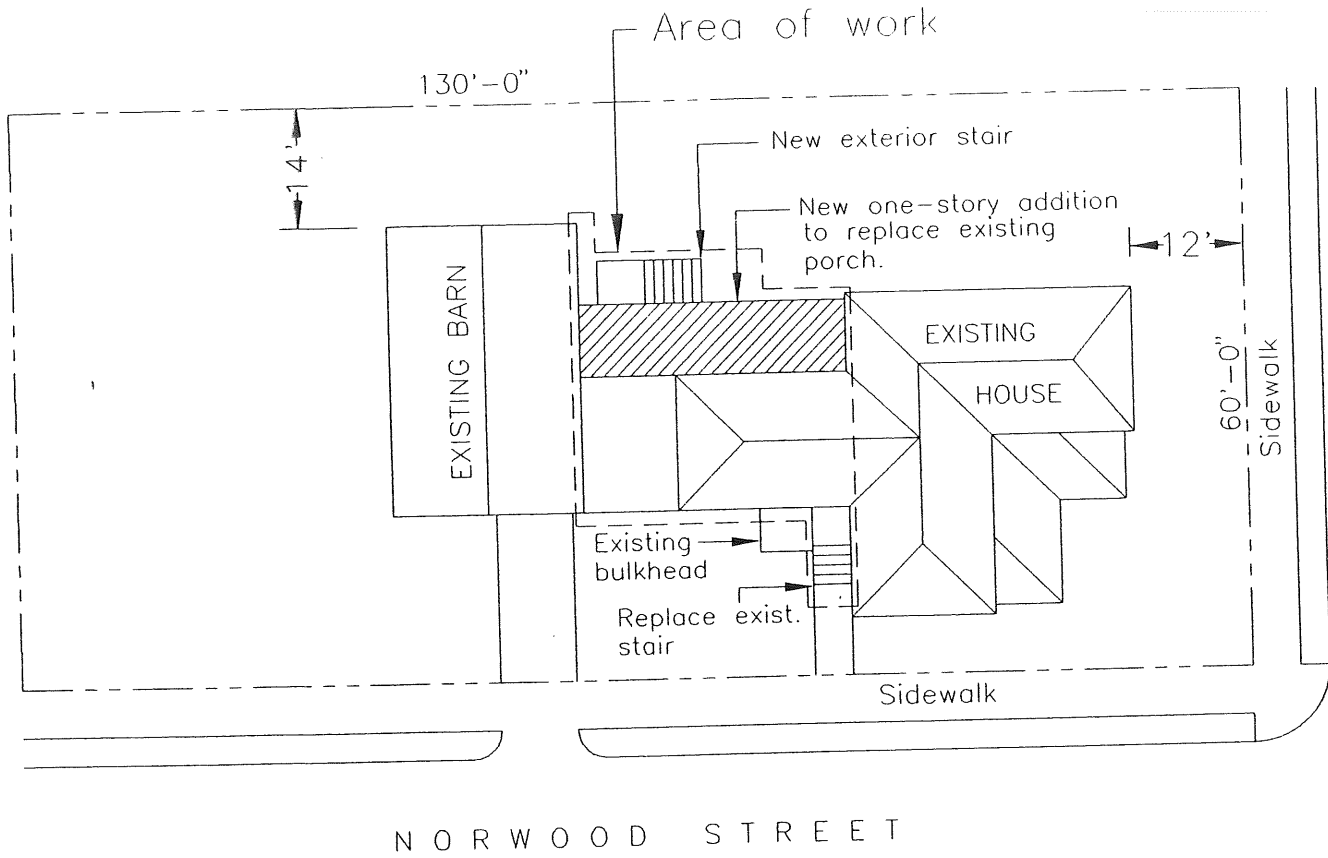
Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -



SITE PLAN

1" = 20'-0"

LORING RESIDENCE KITCHEN RENOVATION

5 JUNE 1998

TURK TRACEY & LARRY ARCHITECTS, LLC

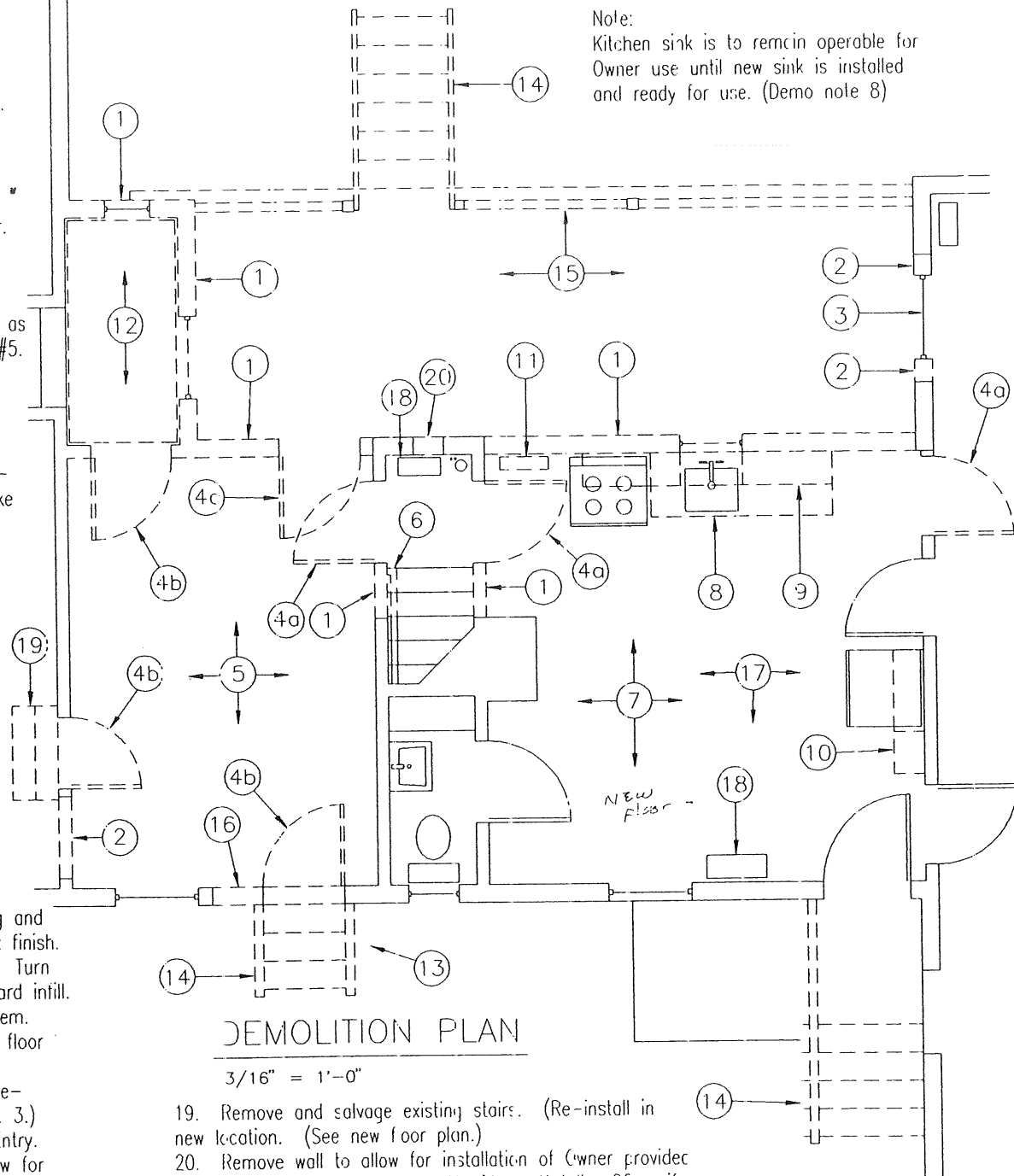


DEMOLITION KEY

1. Remove wall (including windows, doors, electrical, etc.) to extent shown.
2. Remove wall to make way for new cased opening or door.
3. Remove and salvage window for relocation to west elevation (see west elev. Salvage shutters for Owner.
- 4a. Remove and salvage door and frame. Turn door over to Owner.
- 4b. Remove door, frame & sill. Prep as req'd. Salvage lockset for new door #5.
- 4c. Remove and salvage door and frame for reuse as door no. 6 (see new floor plan).
5. Remove all surface mounted electrical conduit and fixtures throughout existing mudroom. (Existing smoke detector and motion detector to stay and be repositioned on new CWB.)
6. Remove handrail to extent shown. Salvage existing return and reattach just above new cut-out wall.
7. Remove existing quarry tile flooring and wood base. Prep for new pine floor.
8. Remove sink and base ccb. Extend plumbing to new sink location. (See new plan.)
9. Remove wall cabs. & valence.
10. Remove pantry/wall cab.
11. Remove & salvage radiator for reuse. Extend plumbing to new fin-tube radiators as required.
12. Remove existing built-up landing and floor framing. Prep for new frmg. & finish.
13. Remove & salvage ext. canopy. Turn over to owner. Prep for new clapboard infill.
14. Remove exterior wood stair system.
15. Remove existing porch including floor system, handrails, posts and roof.
16. Remove wall to make way for re-located window. (See demo note no. 3.)
17. Remove wall paper in existing Entry.
18. Remove existing radiator to allow for new finishes. Re-install after new finishes are in

Note:

Kitchen sink is to remain operable for Owner use until new sink is installed and ready for use. (Demo note 8)



DEMOLITION PLAN

3/16" = 1'-0"

19. Remove and salvage existing stairs. (Re-install in new location. (See new floor plan.)
20. Remove wall to allow for installation of Owner provided stained glass window. Approx. 1' wide x 4' tall. GC verify

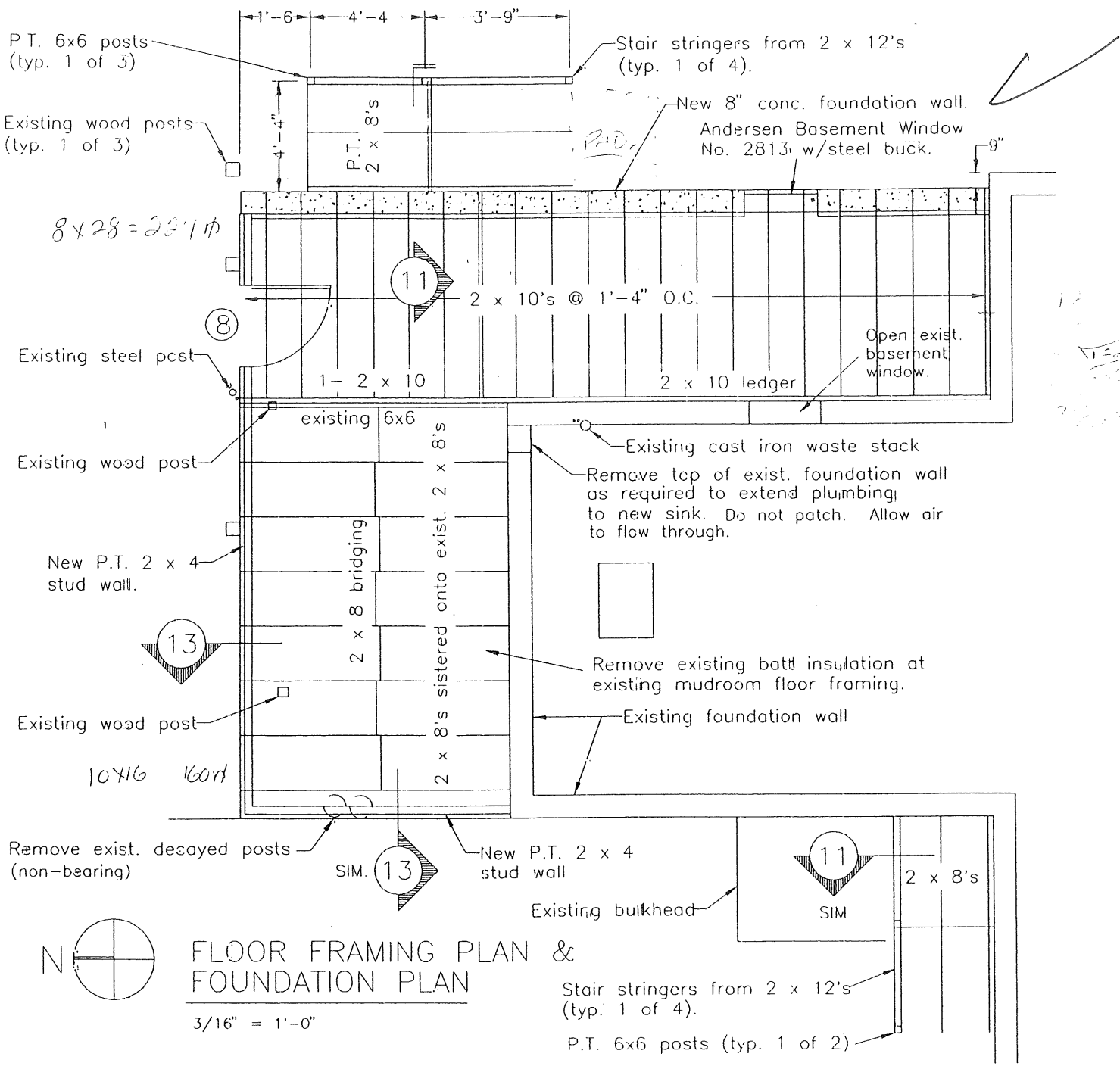
LORING RESIDENCE KITCHEN RENOVATION

5 JUNE 1998

TURK TRACEY & LARRY ARCHITECTS, LLC

2





P.T. 6x6 posts  
(typ. 1 of 3)

Existing wood posts  
(typ. 1 of 3)

Stair stringers from 2 x 12's  
(typ. 1 of 4).

New 8" conc. foundation wall.  
Andersen Basement Window  
No. 2813, w/steel buck.

8x28 = 224 #

11

2 x 10's @ 1'-4" O.C.

Open exist.  
basement  
window.

Existing steel post

1 - 2 x 10

2 x 10 ledger

Existing wood post

existing 6x6

Existing cast iron waste stack

Remove top of exist. foundation wall  
as required to extend plumbing  
to new sink. Do not patch. Allow air  
to flow through.

New P.T. 2 x 4  
stud wall.

2 x 8 bridging  
2 x 8's sistered onto exist. 2 x 8's

Remove existing batt insulation at  
existing mudroom floor framing.

Existing foundation wall

Existing wood post

10x16 160 #

Remove exist. decayed posts  
(non-bearing)

SIM. 13

New P.T. 2 x 4  
stud wall

Existing bulkhead

11  
SIM

2 x 8's



**FLOOR FRAMING PLAN &  
FOUNDATION PLAN**

3/16" = 1'-0"

Stair stringers from 2 x 12's  
(typ. 1 of 4).

P.T. 6x6 posts (typ. 1 of 2)

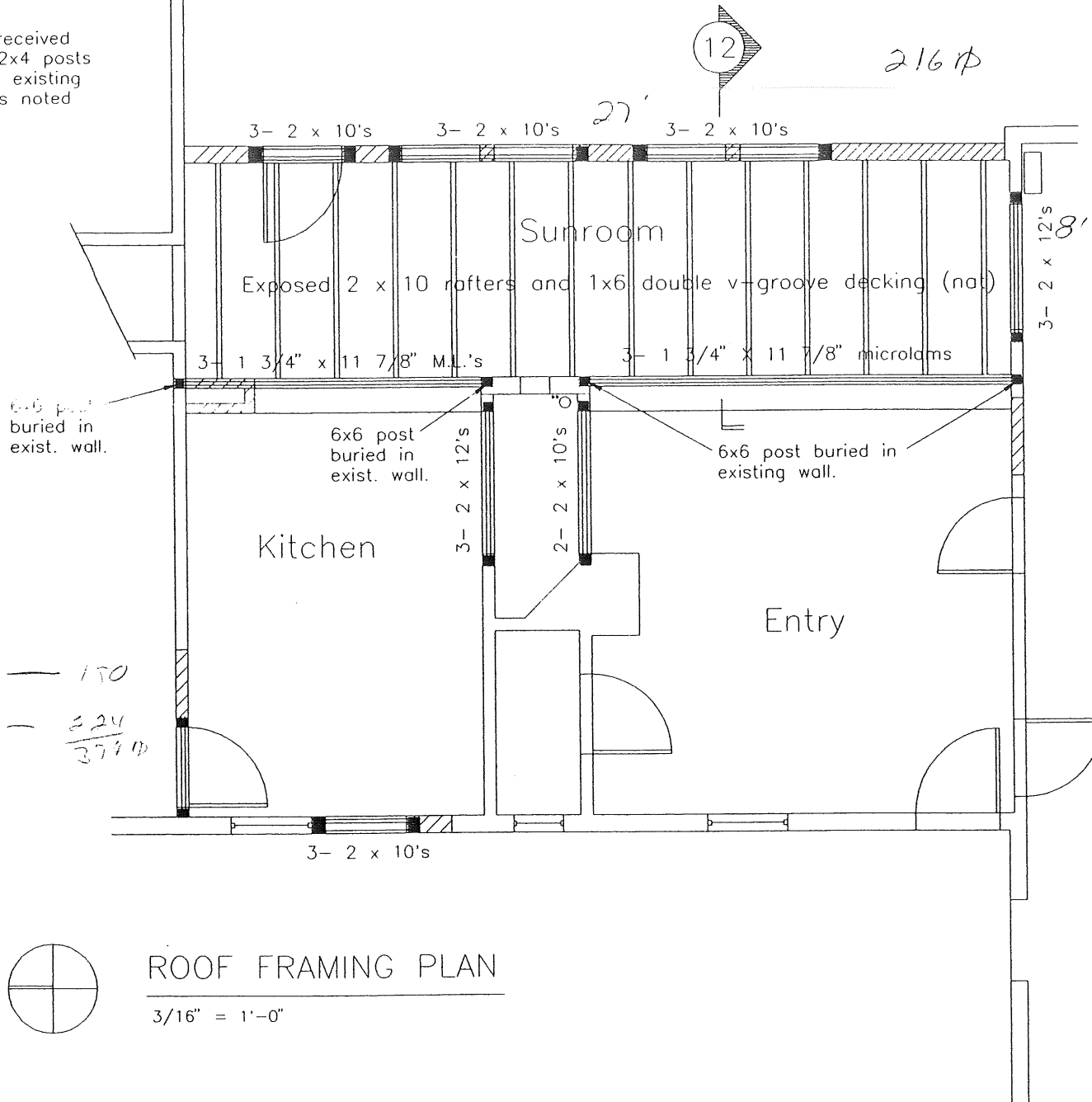
LORING RESIDENCE KITCHEN RENOVATION

5 JUNE 1998

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3

NOTE:  
 All headers to be received  
 with triple 2x6 or 2x4 posts  
 (to match width of existing  
 wall framing) unless noted  
 otherwise.



LORING RESIDENCE KITCHEN RENOVATION

5 JUNE 1998

TURK TRACEY & LARRY ARCHITECTS, LLC

4



Guard and handrail from  
P.T. 6 x 6 posts w/ handrail from shaped  
2x4 top and bottom and 1" square spindles  
@ 3" O.C. (cedar)

Deck from cedar 2x4 decking over  
P.T. 2x8's

Hold decking 3/4" away from clapboards  
Secure deck to new wall  
w/ 3/8" thru bolts @ 1'-0" O.C.

New wood double-  
hung window

5/4 x sill @ int.  
w/ 1x2 apron

Wood base from  
1x8 w/ Brosco  
moulding B660

Shaped 2x2 sill

P.T. 2x6 sill over  
sill sealer w/ 10" x 1/2"  
A.B. @ 2'-6" O.C.

5'-6" R.O. V.I.F.

1'-7"

TOP OF DECK  
ELEV. 0'-0"

TOP OF DECK  
ELEV. -0'-4"

Grille from P.T. 1x4's @ 4" O.C.  
w/ P.T. 2x4 surround

8 mil poly vapor  
barrier over 6"  
gravel.

Compacted fill

Tape v.  
barrier @  
top.

Compacted fill

grade

3" rocks for stability

2' of gravel @ bottom

Large stone @ bottom

2'-10"  
V.I.F.

4'-6"

4'-6"

4'-6"

6"

6"

SECTION @ REAR DECK

1/2" = 1'-0"

8" concrete foundation wall  
w/ inlaid P.T. 2x4's @ 2'-0" O.C.  
along outer eside to serve as nailers.  
2" rigid insulation @ inside.  
Dampproofing @ outside.

LORING RESIDENCE KITCHEN RENOVATION

5 JUNE 1998

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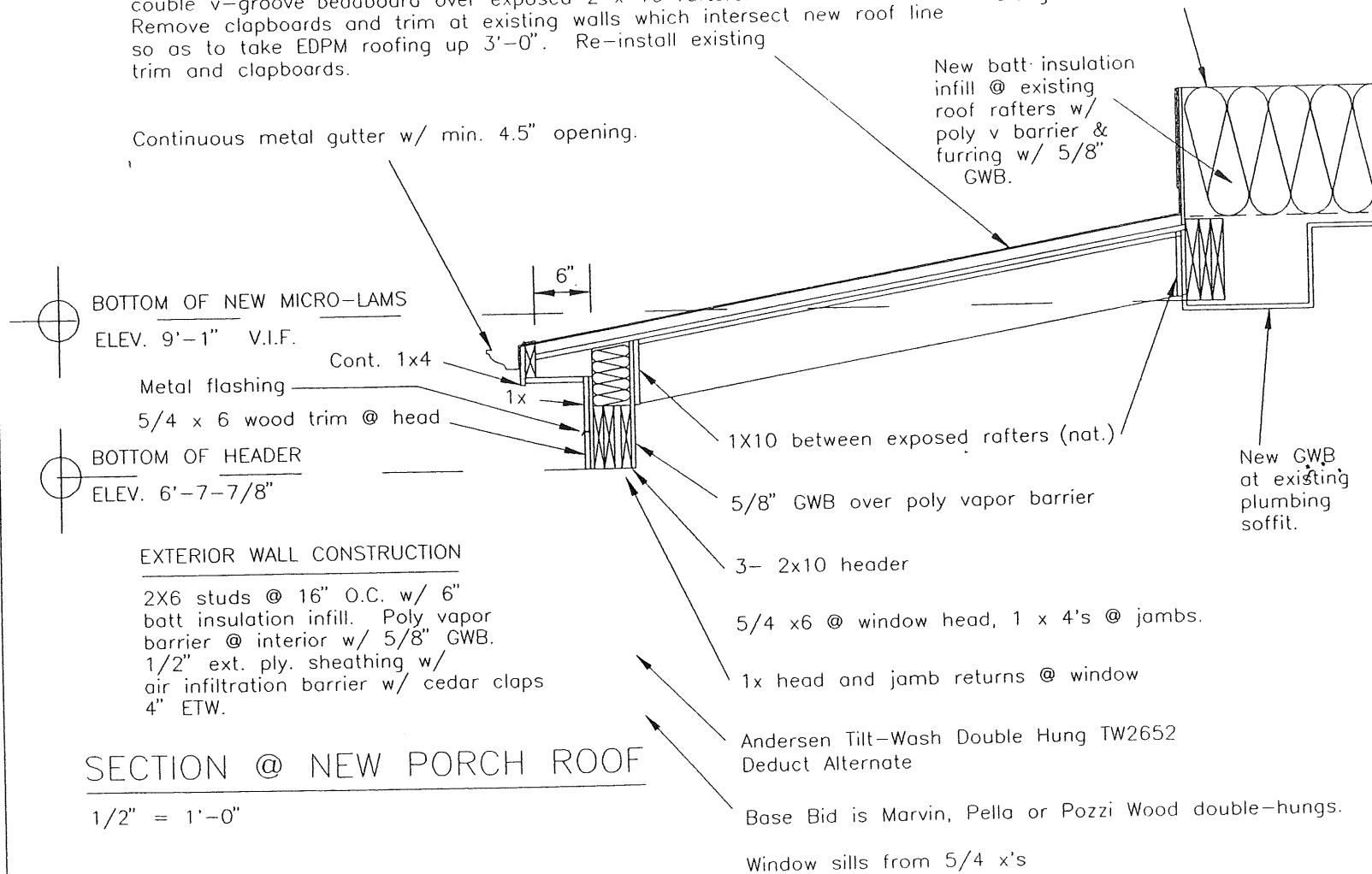
NEW ROOF NOTES

Remove existing porch roof in its entirety.  
 (see demo plan) New roof area in plan replicates old porch roof.  
 New roof assembly consists of EDPM roof membrane over  
 1-1/2" rigid insulation over 1/2" ext. ply sheathing over 1x6  
 couble v-groove beadboard over exposed 2 x 10 rafters.  
 Remove clapboards and trim at existing walls which intersect new roof line  
 so as to take EDPM roofing up 3'-0". Re-install existing  
 trim and clapboards.

EXISTING ROOF TO REMAIN

Shore up existing roof during  
 demolition and construction.  
 Let in 3 new 1-3/4" x 11-7/8"  
 micro-lams to carry existing roof  
 and new roof.  
 Lap existing EDPM roof membrane  
 over new membrane min. 1'-0"  
 along vertical face.

Continuous metal gutter w/ min. 4.5" opening.



BOTTOM OF NEW MICRO-LAMS  
 ELEV. 9'-1" V.I.F.

BOTTOM OF HEADER  
 ELEV. 6'-7-7/8"

EXTERIOR WALL CONSTRUCTION

2X6 studs @ 16" O.C. w/ 6"  
 batt insulation infill. Poly vapor  
 barrier @ interior w/ 5/8" GWB.  
 1/2" ext. ply. sheathing w/  
 air infiltration barrier w/ cedar claps  
 4" ETW.

SECTION @ NEW PORCH ROOF

1/2" = 1'-0"

LORING RESIDENCE KITCHEN RENOVATION

5 JUNE 1998

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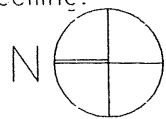
### Light Fixture Key

- A Existing pendant light fixture to remain.
- B Surface mounted pendant fixture.
- C Continuous undercabinet strip light fixture.
- D Exterior wall mounted fixture.
- E Wall sconce
- F Picture lamp. Position 6" above stained glass.
- G Recessed high intensity spot fixture.

Light Fixture Allowance = \$1,200

### Symbols

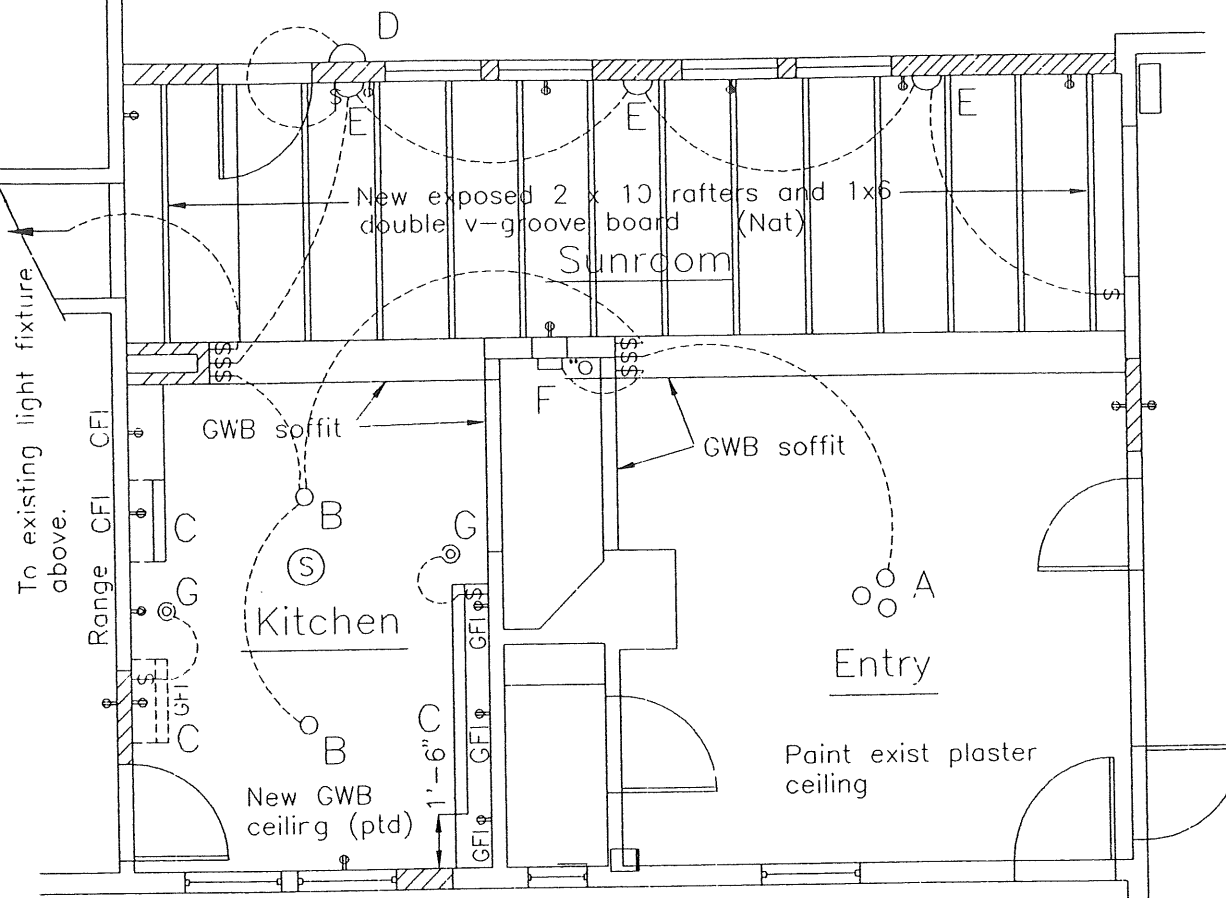
- ↗ New duplex outlet @ 18" AFF
- GFI Ⓢ New ground fault interruptor duplex outlet @ 44" AFF
- Ⓢ Re-install exist. smoke detector onto new ceiling.



### ELECTRICAL/CEILING PLAN

3/16" = 1'-0"

Note: Kitchen to receive new 5/8" GWB over furring over poly v barrier over new batt insul. infill between exist rafters.



Note: provide two porcelain keyless light fixtures in crawspace under Sunroom & Kitchen.  
Wire to switch near half door. See door no. 8 on Foundation Plan.