

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that JPH PROPERTIES INC

Located At 199 WOODFORD ST

Job ID: 2011-07-1598-ALTCOMM

CBL: 130 - - F - 006 - 001 - - - -

has permission to Build a 16'x19' addition in rear for a 13'x14' body cooler provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

*[Signature]* 7/26/11  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-07-1598-ALTCOMM</b>	Date Applied: 7/1/2011	CBL: 130 - - F - 006 - 001 - - - - -	
Location of Construction: <b>199 WOODFORD ST</b>	Owner Name: <b>JPH PROPERTIES INC</b>	Owner Address: <b>199 WOODFORDS ST PORTLAND, ME 04103</b>	Phone: 207-775-3763
Business Name:	Contractor Name: Langford & Low	Contractor Address: 248 Warren Ave., Portland, ME 041014	Phone: 207-797-5141
Lessee/Buyer's Name:	Phone:	Permit Type: <b>BLDG - Building</b>	Zone: <b>B-2</b>
Past Use: Funeral Home	Proposed Use: Funeral Home – build a 16' x 19' addition on rear for a 13' x 14' cooler for bodies	Cost of Work: <b>43000.00</b>	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <i>w/conditions</i> <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <b>A-3</b> Type: <b>IBC-2009</b> Signature: <i>[Signature]</i>
Proposed Project Description: <b>16' x 19' addition for body cooler / Funeral Home</b>		Pedestrian Activities District (P.A.D.)  <i>7/26/11</i>	
Permit Taken By:		<b>Zoning Approval</b>	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2011-218</i> <i>Admin. [Signature]</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition</i> <i>7/26/11 [Signature]</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASB</i>

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footing/Setback inspection prior to pour
  2. Rebar inspection prior to pour
  3. Close In Electric, Plumbing , Framing prior to insulation or drywall
  4. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-07-1598-ALTCOMM

Located At: 199 WOODFORD

CBL: 130 - - F - 006 - 001 - - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This permit is being issued with the condition that the maximum allowable noise level referenced under section 14-187(b) is maintained at all times, and if the noise level exceeds what is required that the applicant will take the necessary action to meet the requirement.

### **Fire**

1. All construction shall comply with City Code Chapter 10.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.



B2

2011 07 1598

7/5/11

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>199 WOODFORD STREET</u>		
Total Square Footage of Proposed Structure/Area <u>300 SF</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>130</u> Block# <u>F</u> Lot# <u>006</u>	Applicant *must be owner, Lessee or Buyer* Name <u>JONES RICH HUTCHINS</u> Address <u>FUNERAL HOME</u> <u>199 WOODFORD ST.</u> City, State & Zip <u>PORTLAND</u>	Telephone: <u>207.797.7979</u> <u>775.3763</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b> <u>JUL - 1 2011</u> <b>Dept. of Building Inspections</b> <b>City of Portland, Maine</b>	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>43,000</u> C of O Fee: \$ Total Fee: \$ <u>450.00</u> <u>50.00</u>
Current legal use (i.e. single family) <u>EXISTING FUNERAL HOME</u> <u>500.00</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>FUNERAL HOME - BODY COOLER ADDITION</u> Is property part of a subdivision? <u>N/A</u> If yes, please name Project description: <u>EXISTING FUNERAL HOME PROPOSES 16'X19' ADDITION FOR BODY COOLER (RECTANGULAR SHAPED)</u>		
Contractor's name: <u>LANGFORD AND LOW</u> Address: <u>248 WARREN AVENUE, PO BOX 662</u> City, State & Zip: <u>PORTLAND, ME 04104</u> Telephone: <u>207.797.5141</u> Who should we contact when the permit is ready: <u>GABBY RUSSELL</u> Telephone: <u>207.240.6403</u> Mailing address: <u>248 PO BOX 662, PORTLAND ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 7/1/11

This is not a permit; you may not commence ANY work until the permit is issue

# Map



<b>Interstate</b> □	<b>Stream</b> —	<b>County Streets</b> — A15 — A21 — A31	<b>ME Towns</b> □ Land □ Water Body
<b>Streets</b> □	<b>Wetland</b> □ swamp	<b>Photos 2006 (islands)</b> ■ Red: Band_1 ■ Green: Band_2	<b>Ocean</b> □
<b>Buildings</b> □ Building □ Out Building	<b>Lake/Pond</b> □ under_road □ waterbody		
<b>Parcels</b> □			



*... Russell is also serv...  
 ... margin requested - but this unit*



**...RXLXZ  
 Hybrid Flex Inverter System Heat Pump**

Job Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Submitted to: \_\_\_\_\_  
 Submitted by: \_\_\_\_\_  
 Reference: \_\_\_\_\_

Approval: \_\_\_\_\_ *Can check all zoning req*  
 Date: \_\_\_\_\_  
 Construction: \_\_\_\_\_  
 Unit #: \_\_\_\_\_  
 Drawing #: \_\_\_\_\_

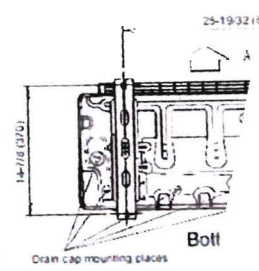
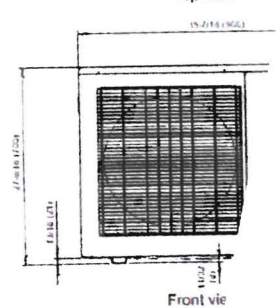
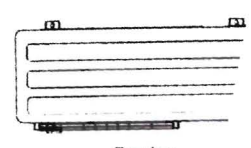
	General Data (at 230V)	
<b>Power</b>	208-230VAC-1ph-60Hz	
Min. Circuit Ampacity		14.1A
Fuse Size, Max.		30A
MCA		20.1A
<b>Compressor</b>	Inverter driven variable speed DC Twin Rotary	
No. used		1
Output		1,300W
Lubrican Oil		POE
<b>Fan type</b>	Propeller	
Motor Output		100W
CFM	Cooling/Heating (High)	2,119 / 2,237
<b>Refrigerant</b>	410A	
Outdoor unit charge		7.6lbs 4oz.(3,300g)
Control		Electronic Expansion Valve
O.D. Discharge	(in)	1/4"(Flare)
O.D Suction	(in)	3/8"(Flare)
<b>Dimensions</b>	H x W x D	
Uncrated	(in)	32-11/16 x 35-7/16 x 13
	(mm)	(830 x 900 x 330)
Crated	(in)	38-3/16 x 41-11/32 x 17-17/32
	(mm)	(970 x 1,050 x 445)
<b>Weight</b>	Outdoor	
Net		149lbs(68kg)
Gross Shipping		165lbs (75kg)
<b>Cooling Capacity</b>	34,400(11,000~36,000)BTU/h	
Rated Power Input		4.07kW
Max. Power Input		4.24kW
<b>Outdoor Sound Rating</b>		53dB
<b>Heating Capacity</b>	36,400 (11,000-42,000)BTU/h	
Rated Power Input		3.21kW
Max. Power Input		3.78kW
<b>Outdoor Sound Rating</b>		55dB
<b>Piping Lengths</b>	164ft	
Pre-charge length		230ft
Max. Piping Length (Total)		82ft
Max. length (each)		66ft
Min. length (total)		16ft
Min. length (each)		
Max. Pipe Height Difference		49ft
Between condenser and each indoor unit		33ft
Between indoor units		(Flared)
<b>Connection method</b>		
<b>Operating Range</b>	32°F~115°F DB	
Cooling		14°F~75°F DB
Heating		

	Non-Ducted	Ducted & Non-Ducted	Ducted
SEER	16	15.25	14.5
HSPF	9.4	9.05	8.7
EER	8.8	8.45	8.1

Fujitsu General America, Inc.  
 Fairfield, NJ 07004  
 Toll Free: 1-888-888-3424  
 Fax: (973) 836-0447  
 www.fujitsugeneral.com

Fujitsu products are subject to continuous improvements. Fujitsu reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.

Note: Specifications are based on the following conditions.  
 Power source of specifications . 230V  
 Cooling: Indoor temperature of 80°F(26.67°C)DB / 67°F(19.44°C)WB, and outdoor temperature of 95°F(35°C)DB  
 Heating: Indoor temperature of 70°F(21.11°C)DB / 60°F(15.56°C)WB, and outdoor temperature of 47°F(8.33°C)F  
 Pipe length : 24ft. 7in.(7.5m),Height difference 0 ft.(0m) [Outdoor unit - Indoor unit]



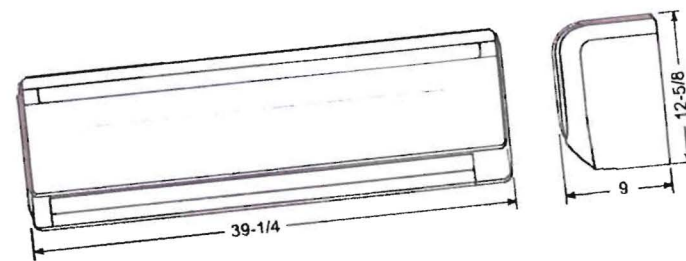




Model Data: ASU18RLF

Job Name: \_\_\_\_\_ Location: \_\_\_\_\_  
 Purchaser: \_\_\_\_\_  
 Engineer: \_\_\_\_\_ For:  Reference  Approval  Construction  
 Submitted To: \_\_\_\_\_  
 Submitted By: \_\_\_\_\_ Model No.: \_\_\_\_\_  
 Unit Designation: \_\_\_\_\_ Schedule No. \_\_\_\_\_

### OUTLINE AND DIMENSIONS



<b>Capacities:</b>	
Cooling	18,000 BTU/h
Outdoor Design Temp. $F^{\circ}$ DB/WB	95/75
Heating	20,000 BTU/h
Outdoor Design Temperature $F^{\circ}$ DB/WB	47/43
HSPF	9.3
Ducted	9.8
Non-Ducted	9.5
Mixed	
SEER	14.7
Ducted	17.0
Non-Ducted	15.8
Mixed	
EER Cooling	8.7
Ducted	9.25
Non-Ducted	8.97
Mixed	
Voltage/Frequency/Phase	208-230/60/1
<b>Indoor Unit:</b>	
Noise Level Cooling $db(A) - H/M/L/Q$	43/37/33/31
Noise Level Heating $db(A) - H/M/L/Q$	44/37/33/31
Weight	31 lbs.
<b>Refrigerant Piping*:</b>	
Discharge Vapor Line (O.D.)	1/4 in.
Suction (O.D.)	1/2 in.

### Standard Features:

- Seven year compressor warranty
- Five year parts warranty
- Digital wireless remote control
- Auto Louver: Up/Down
- Apple Catechin / Ion Deodorizing Filters
- Sleep Timer
- Auto Restart/ Reset
- 24 hour timer
- Quiet Mode
- Dry mode
- Refrigerant R410A

Notes: \_\_\_\_\_

\*Piping lengths vary by outdoor unit. See outdoor unit submittal sheet for detailed specifications.



ssell  
Tricoche, Michael [mtricoche@matthewsintl.com]  
Thursday, July 07, 2011 10:20 AM  
Gabby Russell  
Cooler Information  
3 BODY BOX NEW 2008.pdf

Gaby,  
Attached is a drawing of a 3 body cooler. As you can see the compressor is at the top of the cooler and is enclosed, therefore reducing to a minimum any noise that may be generated. If the cooler is larger in size (a walk in cooler) the compressor could be located in the inside of the cooler. The coolers are to placed indoors not outdoors. I hope the drawing and the explanation can help you. If you have any other questions, just let us know.

**Michael A. Tricoche**  
Engineer  
Matthews International, Cremation Division  
2045 Sprint Blvd.  
Apopka, FL 32703  
Ph: 407-886-5533 x149  
Toll Free: 800-327-2831  
Fax: 407-886-5990  
[mtricoche@matw.com](mailto:mtricoche@matw.com)

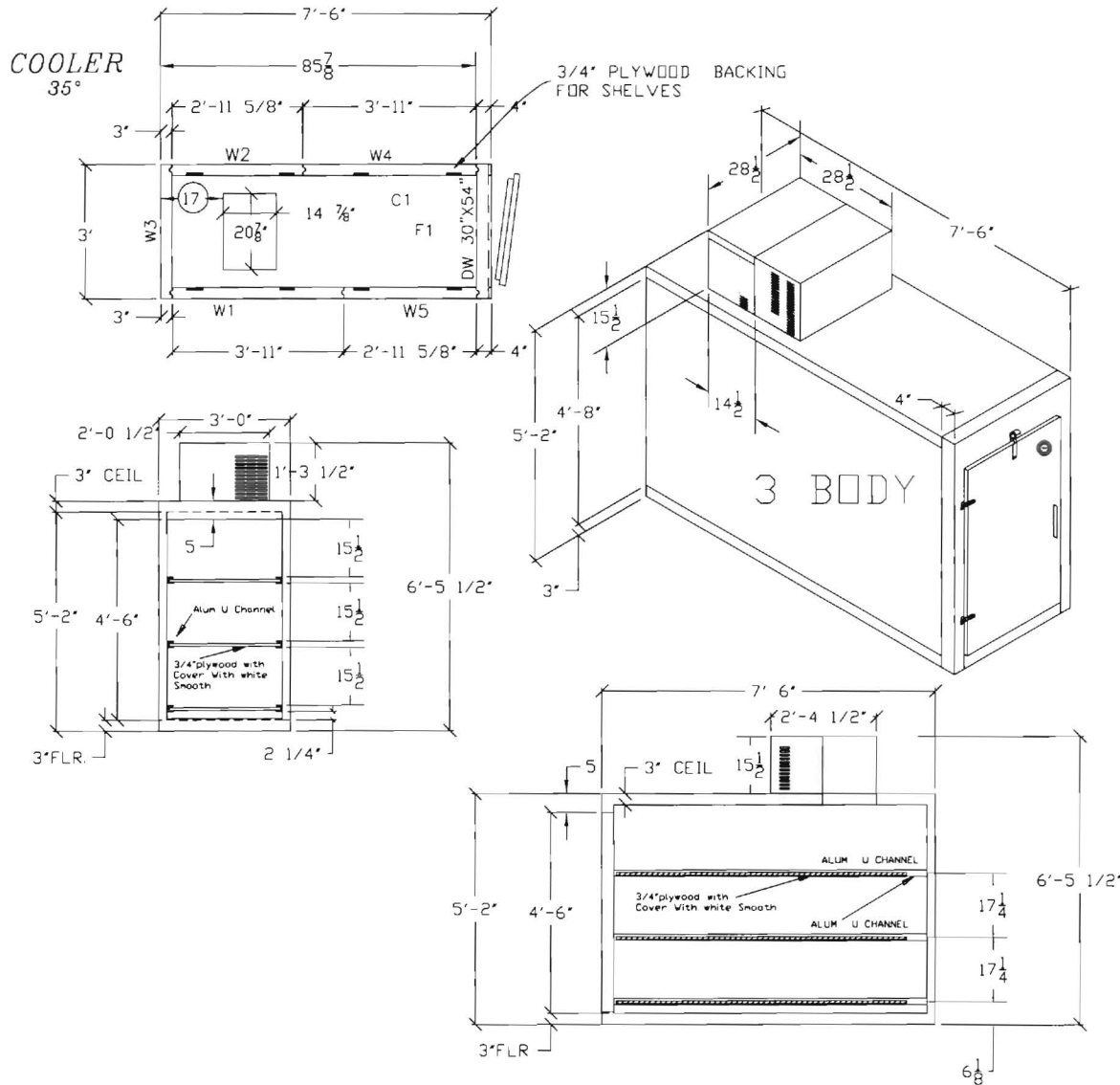
web: [www.matthewscremation.com](http://www.matthewscremation.com)  
web pet: [www.faithfulforeverpets.com](http://www.faithfulforeverpets.com)  
articles & resources: [www.matthewscremation.com/industry/matthewsuniversity.asp](http://www.matthewscremation.com/industry/matthewsuniversity.asp)

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**SPECIFICATIONS**

OVERALL SIZE: Width 3'0" x length 7'6" x height 5'2"

**INSTALLATION**

INSIDE INSTALLATION

**CONSTRUCTION**

STANDARD CONSTRUCTION

**INSULATION**

Thickness 3" FLOOR ONLY

Type: Polystyrene Flame Spread 15

**FLOOR**

14 GA. GALV STEEL

**INTERIOR FINISH**

26 GA GALVALUME

**EXTERIOR FINISH**

26 GA GALVALUME

**WALK-IN DOORS**

(OVERLAP MOUNTED DOOR)

- EDGEMOUNT HANDLE
- EDGEMOUNT HINGES
- RUBBER GASKET
- THERMOMETER

**ACCESSORIES**

- 3/4" PLYWOOD SHELVES W/SMOOTH WHITE ALUM.
- ON & OFF SWITCH
- ANGLE BRACKETS FOR SHELVES

**REFRIGERATION**

COOLER 1/4 H.P. MED. TEMP. 115 V 1 PH.

COND. 10.2 AMPS. TOTAL

TOP MOUNT PR03 PTND24H2A

AIR COOLED

PLEASE NOTE  
IMPORTANT

NOTICE TO GENERAL CONTRACTOR AND SUB-CONTRACTOR FOR QUARRY TILE OR CONCRETE WEARING FLOORS. THE METAL FACINGS MAY BE SUSCEPTIBLE TO STAINING DUE TO EXCESSIVE MOISTURE CREATED BY HYDRATION OF CONCRETE-TYPE MATERIALS. IT IS ESSENTIAL THAT EACH ROOM BE PROPERLY VENTILATED. SPECIAL PRECAUTIONS MUST BE TAKEN WHEN USING MURIATIC ACID DUE TO EFFECTS OF ACID FUMES ON ALUMINUM AND STAINLESS STEEL.

IN ADDITION, METAL SURFACES MUST BE PROTECTED FROM LIME AND OTHER CHEMICALS FOUND IN CONCRETE BY PRODUCTS. PETROLEUM BASED PROTECTION MUST BE APPLIED BETWEEN CONCRETE AND THE METAL SURFACES. (LIQUID TAR, BRUSHED OR SPRAYED ABOVE THE CONCRETE CONTACT LINE. HEAVY EPOXY PAINT, 8 MIL POLYETHYLENE H.D. BLACK DOUBLE LAYERED, 30 LB. ASPHALT IMPREGNATED ROOFING PAPER)

FLOOR MUST BE LEVEL SMOOTH AND CLEAR OF OBSTRUCTIONS TO ACCEPT WALK-IN PANELS. ALSO, THERE MUST BE A MINIMUM OF 2" CLEARANCE AROUND ALL SIDES OF THE WALK-IN FOR PROPER CIRCULATION.

Corners	Ceilings 1	Floors 1	Sills
Doors 1	Walls 5	transoms	Total 8
scale 3/8"=1'0"	Date 00/00/08		Drawn By GUILLERMO
P.O. #	Approved CARLOS		Job No.
3" & 4" N.S.F COOLER WITH FLOOR			BODY BOX
MATTHEWS INTERNATIONAL CORP			Drawing No.
			BODY BOX

NOTES

# RECEIPT

DATE 7-1-11

NO. 021511

RECEIVED FROM Langford + Lew

ADDRESS 199 Woodford St.

\$ 50.00

FOR Admin. Achk.

	ACCOUNT	HOW PAID
AMT. OF ACCOUNT		CASH
AMT. PAID		CHECK <u>430000</u>
BALANCE DUE		MONEY ORDER

BY Jmf



# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: JONES RICH + HUTCHINS - FUNERAL HOME - BODY COOLER ADDITION

PROJECT ADDRESS: 199 WOODFORD ST. CHART/BLOCK/LOT: 130-F-6

APPLICATION FEE: 50 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

EXISTING FUNERAL HOME PROPOSING ADDITION (300 SF) FOR BODY COOLER

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: JONES, RICH, HUTCHINS  
Address: 199 WOODFORD ST.  
PORTLAND ME 04103  
Work #: 207.775.3763  
Cell #: —  
Fax #: —  
Home #: —  
E-mail: —

#### CONSULTANT/AGENT

Name: LANGFORD AND LOW - GABBY RUSSELL  
Address: 248 WARREN AVE.  
PORTLAND ME 04103  
Work #: 207.797.5141  
Cell #: 207.240.6403  
Fax #: 207.797.0919  
Home #: —  
E-mail: GRUSSELL@LANGFORDANDLOW.COM

### Criteria for an Administrative Authorizations: (see section 14-523(4) on pg .2 of this appl.)

### Applicant's Assessment Planning Division Y(yes), N(no), N/A

- |   |                   |       |
|---|-------------------|-------|
| a) Is the proposal within existing structures?                    | <u>No</u>         | _____ |
| b) Are there any new buildings, additions, or demolitions?        | <u>YES</u>        | _____ |
| c) Is the footprint increase less than 500 sq. ft.?               | <u>YES</u>        | _____ |
| d) Are there any new curb cuts, driveways or parking areas?       | <u>No</u>         | _____ |
| e) Are the curbs and sidewalks in sound condition?                | <u>YES</u>        | _____ |
| f) Do the curbs and sidewalks comply with ADA?                    | <u>N/A</u>        | _____ |
| g) Is there any additional parking?                               | <u>No</u>         | _____ |
| h) Is there an increase in traffic?                               | <u>No</u>         | _____ |
| i) Are there any known stormwater problems?                       | <u>No</u>         | _____ |
| j) Does sufficient property screening exist?                      | _____             | _____ |
| k) Are there adequate utilities?                                  | <u>YES</u>        | _____ |
| l) Are there any zoning violations?                               | <u>No/UNKNOWN</u> | _____ |
| m) Is an emergency generator located to minimize noise?           | <u>N/A</u>        | _____ |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>No</u>         | _____ |

Signature of Applicant: [Signature] Date: 7/11/11

note: Building Permit includes a condition that sound must meet or otherwise. J

**Planning Division Use Only**

Authorization Granted

Partial Exemption

Exemption Denied

*Acan Fraser*

*7-13-2011*

**Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

**Criteria for an Administrative Authorizations:**  
(See Section 14-523 (4) on page 2 of this application)

**Applicant's Assessment**  
Y(yes), N(no), N/A

**Planning Division**  
Use Only

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	Yes	Yes
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	n/a	n/a
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?		
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	n/a	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The request for an administrative authorization for 199 Woodford Street was granted by Jean Fraser, Planner on July 13, 2011 with the following condition and standard condition of approval:

1. That sound must meet the ordinance.

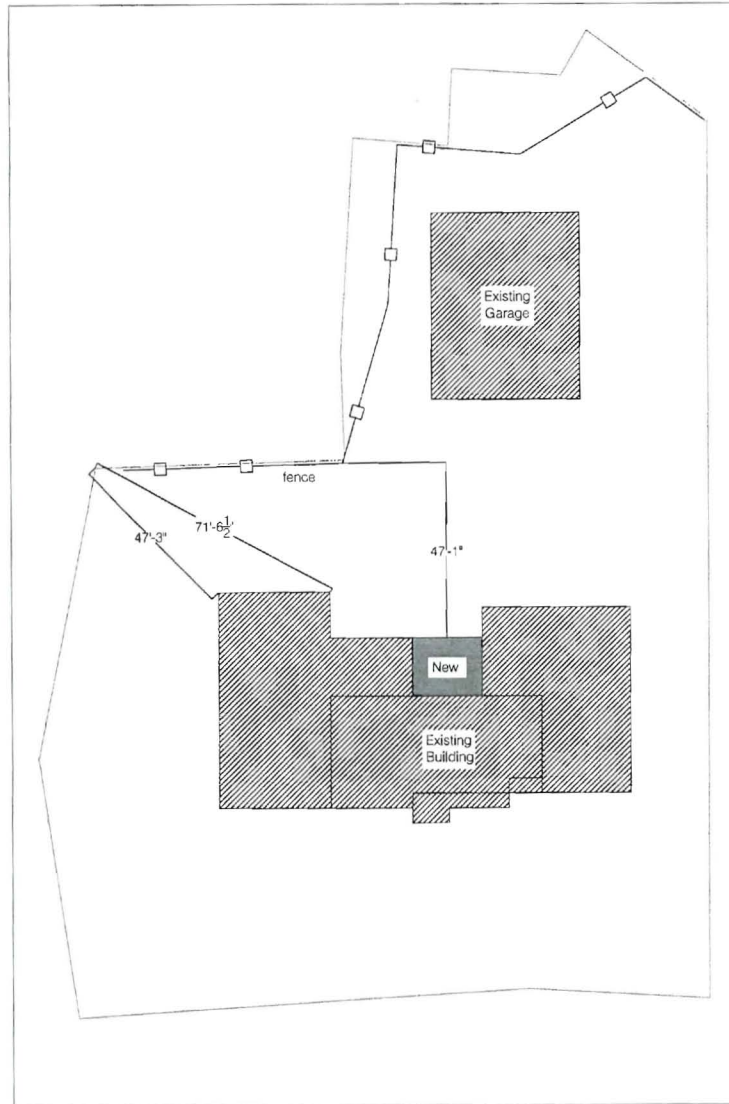
Standard Condition of Approval

The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Rm. 315, City Hall (874-8703) prior to the start of any construction.

1

Plot Plan

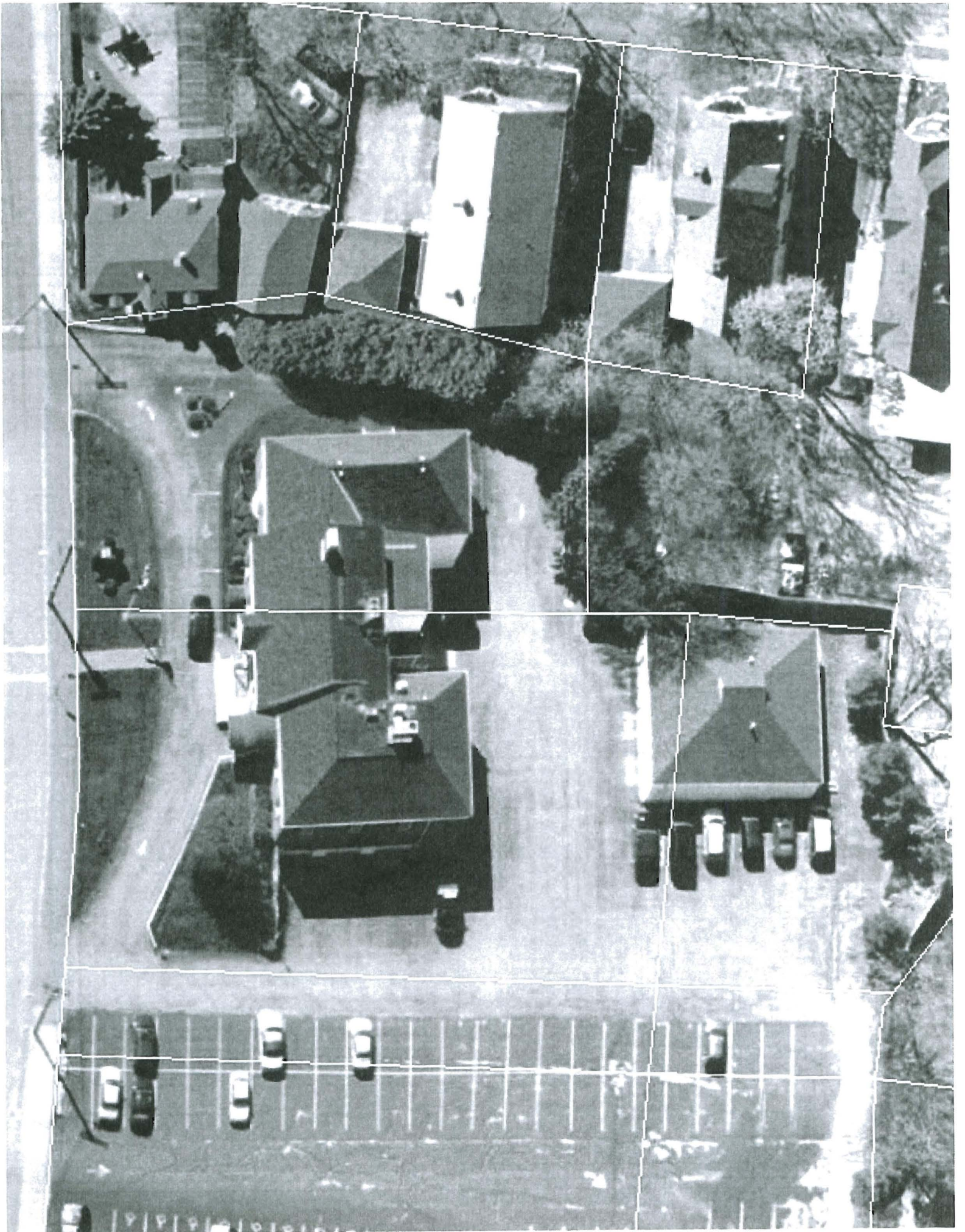
Scale: 1/32" = 1'



Note:  
 Dimensions are approximate on site plan  
 Any gutters or downspouts removed will be relocated and tie into existing drainage system

<b>LANGFORD</b> LOW GENERAL CONTRACTOR	
DRAWN BY: GABRIELLE RUSSELL, LEED AP PROJECT DESIGNER / PROJECT COORDINATOR LANGFORD AND LOW MASTER OF ARCHITECTURE, TULANE UNIVERSITY BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY	
REVIEWED BY: JDE	
JOB NUMBER 1126	
<small>FIELD DIMENSIONS, ELEVATIONS, TOLERANCES AND FINISHES ARE APPROXIMATE. FIELD DIMENSIONS AND FINISHES SHALL BE CONFIRMED BY CONSTRUCTION SURVEYING AND FIELD VERIFICATION.</small>	
DRAWING STATUS <input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input checked="" type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS STRUCTURAL: MECHANICAL: ELECTRICAL: INTERIOR: ROOF: DESIGN	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION Jones-Rich-Hutchins Funeral Home 199 Woodford Street PORTLAND, ME 04103	
DRAWING TITLE <b>Site Plan</b>	
DATE <b>July 13, 2011</b>	
REVISIONS NO. REVISION & DATE NO. REVISION & DATE NO. REVISION & DATE	
SCALE <b>AS NOTED</b>	
SHEET NUMBER <b>A0.2</b>	





Hybrid Flex Inverter System

*Copied to zoning - is OK - they have conditioned the building*  
 Halcyon HFI FUJITSU permit

**AOU36RLXFZ**  
**Hybrid Flex Inverter System Heat Pump**

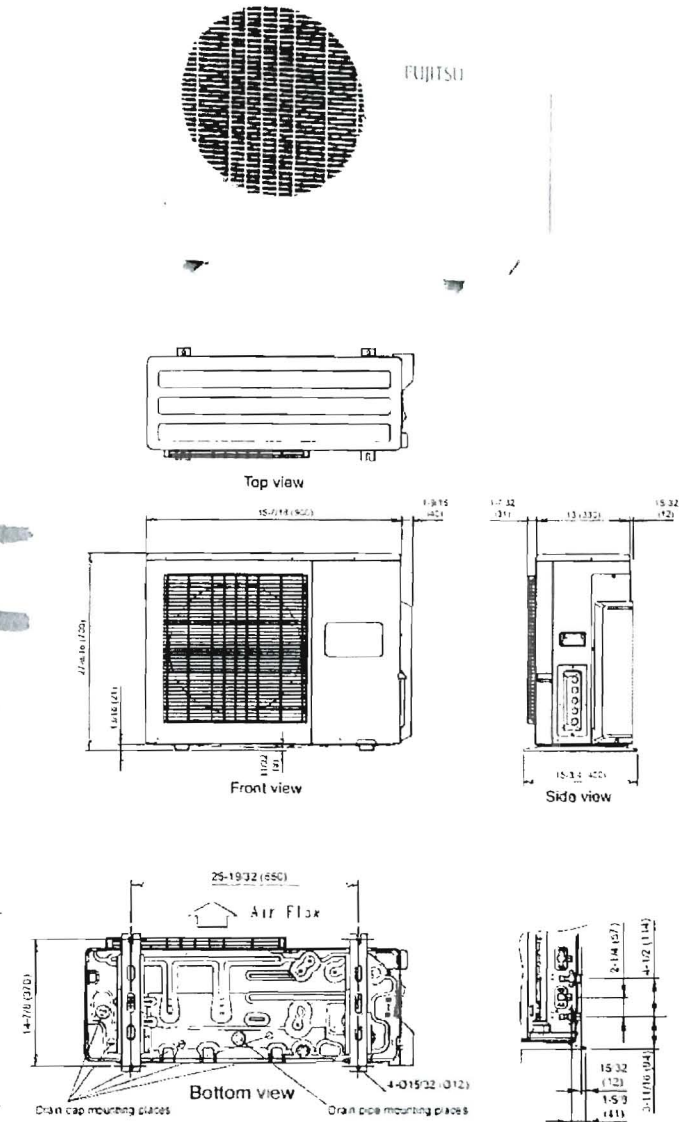
Job Name: \_\_\_\_\_ Approval: \_\_\_\_\_  
 Location: \_\_\_\_\_ Date: \_\_\_\_\_  
 Engineer: \_\_\_\_\_ Construction: \_\_\_\_\_  
 Submitted to: \_\_\_\_\_ Unit #: \_\_\_\_\_  
 Submitted by: \_\_\_\_\_ Drawing #: \_\_\_\_\_  
 Reference: \_\_\_\_\_

		General Data (at 230V)	
<b>Power</b>		208-230VAC-1ph-60Hz	
Min. Circuit Ampacity		14.1A	
Fuse Size, Max.		30A	
MCA		20.1A	
<b>Compressor</b>	Inverter driven variable speed DC Twin Rotary		
No. used		1	
Output		1,300W	
Lubricant Oil		POE	
<b>Fan type</b>	Propeller		
Motor Output		100W	
CFM	Cooling/Heating (High)	2,119 / 2,237	
<b>Refrigerant</b>		410A	
Outdoor unit charge		7.6lbs 4oz.(3,300g)	
Control		Electronic Expansion Valve	
O.D. Discharge	(in)	1/4"(Flare)	
O.D. Suction	(in)	3/8"(Flare)	
<b>Dimensions</b>		H x W x D	
Uncrated	(in)	32-11/16 x 35-7/16 x 13	
	(mm)	(830 x 900 x 330)	
Crated	(in)	38-3/16 x 41-11/32 x 17-17/32	
	(mm)	(970 x 1,050 x 445)	
<b>Weight</b>		Outdoor	
Net		149lbs(68kg)	
Gross Shipping		165lbs (75kg)	
<b>Cooling Capacity</b>		34,400(11,000~36,000)BTU/h	
Rated Power Input		4.07kW	
Max. Power Input		4.24kW	
<b>Outdoor Sound Rating</b>		53dB	
<b>Heating Capacity</b>		36,400 (11,000-42,000)BTU/h	
Rated Power Input		3.21kW	
Max. Power Input		3.78kW	
<b>Outdoor Sound Rating</b>		55dB	
<b>Piping Lengths</b>			
Pre-charge length		164ft	
Max. Piping Length (Total)		230ft	
Max. length (each)		82ft	
Min. length (total)		66ft	
Min. length (each)		16ft	
Max. Pipe Height Difference		49ft	
Between condenser and each indoor unit		49ft	
Between indoor units		33ft	
Connection method		(Flared)	
<b>Operating Range</b>			
Cooling		32°F~115°F DB	
Heating		14°F~75°F DB	

	Non-Ducted	Ducted & Non-Ducted	Ducted
SEER	16	15.25	14.5
HSPF	9.4	9.05	8.7
EER	8.8	8.45	8.1

Fujitsu General America, Inc.  
 Fairfield, NJ 07004  
 Toll Free: 1-888-888-3424  
 Fax: (973) 836-0447  
 www.fujitsugeneral.com

Fujitsu products are subject to continuous improvements. Fujitsu reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.



Note: Specifications are based on the following conditions.

Power source of specifications : 230V

Cooling: Indoor temperature of 80°F(26.67°C)DB / 67°F(19.44°C)WB, and outdoor temperature of 95°F(35°C)DB/75°F(23.89°C)WB.

Heating: Indoor temperature of 70°F(21.11°C)DB / 60°F(15.56°C)WB, and outdoor temperature of 47°F(8.33°C)DB/43°F(6.11°C)WB.

Pipe length : 24ft. 7in.(7.5m),Height difference 0 ft.(0m) [Outdoor unit - Indoor unit]



# Submittal Data: ASU18RLF



Job Name: \_\_\_\_\_ Location: \_\_\_\_\_  
 Purchaser: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Submitted To: \_\_\_\_\_ For:  Reference  Approval  Construction  
 Submitted By: \_\_\_\_\_  
 Unit Designation: \_\_\_\_\_ Schedule No. \_\_\_\_\_ Model No.: \_\_\_\_\_

### Capacities:

Cooling	18,000 BTU/h
Outdoor Design Temp. <i>F° DB/WB</i>	95/75
Heating	20,000 BTU/h
Outdoor Design Temperature <i>F° DB/WB</i>	47/43
<b>HSPF</b>	
Ducted	9.3
Non-Ducted	9.8
Mixed	9.5
<b>SEER</b>	
Ducted	14.7
Non-Ducted	17.0
Mixed	15.8
<b>EER Cooling</b>	
Ducted	8.7
Non-Ducted	9.25
Mixed	8.97
Voltage/Frequency/Phase	208-230/60/1

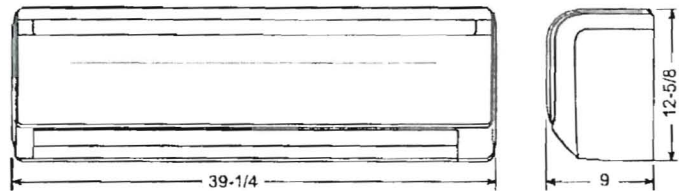
### Indoor Unit:

Noise Level Cooling <i>db (A) - H/ M/ L/ Q</i>	43/37/33/31
Noise Level Heating <i>db (A) - H/ M/ L/ Q</i>	44/37/33/31
Weight	31 lbs.

### Refrigerant Piping:\*

Discharge Vapor Line (O.D.)	1/4 in.
Suction (O.D.)	1/2 in.

### OUTLINE AND DIMENSIONS



### Standard Features:

- Seven year compressor warranty
- Five year parts warranty
- Digital wireless remote control
- Auto Louver: Up/Down
- Apple Catechin / Ion Deodorizing Filters
- Sleep Timer
- Auto Restart/ Reset
- 24 hour timer
- Quiet Mode
- Dry mode
- Refrigerant R410A

### Notes:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

\*Piping lengths vary by outdoor unit. See outdoor unit submittal sheet for detailed specifications.



## Gabby Russell

---

**From:** Tricoche, Michael [mtricoche@matthewsintl.com]  
**Sent:** Thursday, July 07, 2011 10:20 AM  
**To:** Gabby Russell  
**Subject:** Cooler Information  
**Attachments:** 3 BODY BOX NEW 2008.pdf

Gaby,

Attached is a drawing of a 3 body cooler. As you can see the compressor is at the top of the cooler and is enclosed, therefore reducing to a minimum any noise that may be generated. If the cooler is larger in size (a walk in cooler) the compressor could be located in the inside of the cooler. The coolers are to placed indoors not outdoors. I hope the drawing and the explanation can help you. If you have any other questions, just let us know.

---

### *Michael A. Tricoche*

Engineer  
Matthews International, Cremation Division  
2045 Sprint Blvd.  
Apopka, FL 32703  
Ph: 407-886-5533 x149  
Toll Free: 800-327-2831  
Fax: 407-886-5990  
[mtricoche@matw.com](mailto:mtricoche@matw.com)

web: [www.matthewscremation.com](http://www.matthewscremation.com)

web pet: [www.faithfulforeverpets.com](http://www.faithfulforeverpets.com)

articles & resources: [www.matthewscremation.com/industry/matthewsuniversity.asp](http://www.matthewscremation.com/industry/matthewsuniversity.asp)

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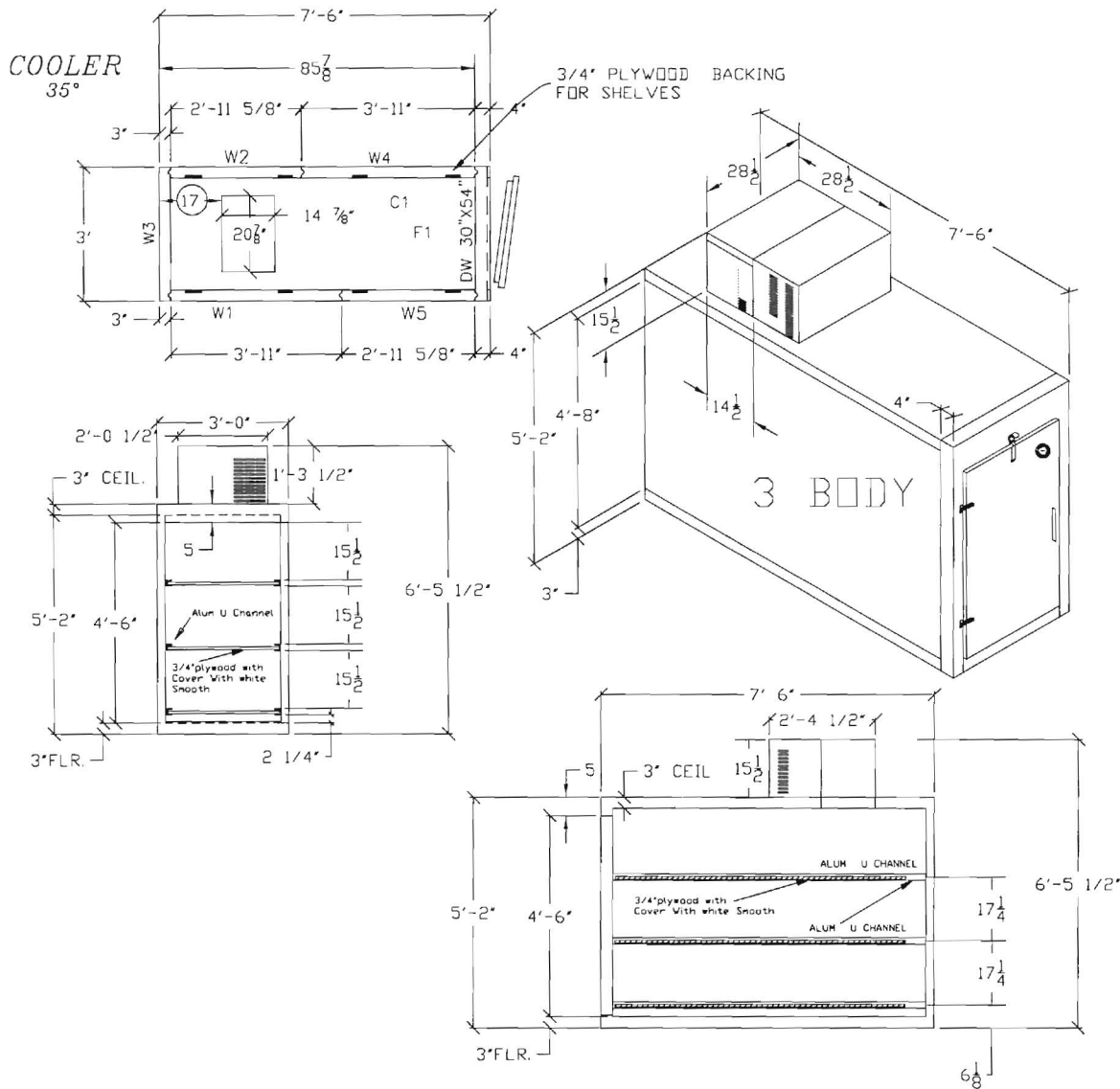


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SPECIFICATIONS

OVERALL SIZE: Width 3'0" x length 7'6" x Height 5'2"

INSTALLATION

INSIDE INSTALLATION

CONSTRUCTION

STANDARD CONSTRUCTION

INSULATION Thickness 3" FLOOR ONLY

Type: Polystyrene Flome Spread 15

FLOOR 14 GA. GALV STEEL

INTERIOR FINISH 26 GA GALVALUME

EXTERIOR FINISH 26 GA GALVALUME

WALK-IN DOORS

- (OVERLAP MOUNTED DOOR)
- EDGEMOUNT HANDLE
- EDGEMOUNT HINGES
- RUBBER GASKET
- THERMOMETER

ACCESSORIES

- 3/4" PLYWOOD SHELVES W/SMOOTH WHITE ALUM.
- ON & OFF SWITCH
- ANGLE BRACKETS FOR SHELVES

REFRIGERATION

COOLER 1/4 H.P. MED. TEMP 115 V 1 PH.  
 COND. 10.2 AMPS. TOTAL  
 TOP MOUNT PRD3 PTND24H2A  
 AIR COOLED

PLEASE NOTE  
 IMPORTANT

NOTICE TO GENERAL CONTRACTOR AND SUB-CONTRACTOR, FOR QUARRY TILE OR CONCRETE WEARING FLOORS, THE METAL FACINGS MAY BE SUSCEPTIBLE TO STAINING DUE TO EXCESSIVE MOISTURE CREATED BY HYDRATION OF CONCRETE-TYPE MATERIALS. IT IS ESSENTIAL THAT EACH ROOM BE PROPERLY VENTILATED. SPECIAL PRECAUTIONS MUST BE TAKEN WHEN USING MURIATIC ACID DUE TO EFFECTS OF ACID FUMES ON ALUMINUM AND STAINLESS STEEL.

IN ADDITION, METAL SURFACES MUST BE PROTECTED FROM LIME AND OTHER CHEMICALS FOUND IN CONCRETE BY-PRODUCTS. PETROLEUM BASED PROTECTION MUST BE APPLIED BETWEEN CONCRETE AND THE METAL SURFACES. (LIQUID TAR, BRUSHED OR SPRAYED ABOVE THE CONCRETE CONTACT LINE, HEAVY EPOXY PAINT, 8 MIL POLYETHYLENE H.D. BLACK DOUBLE LAYERED, 30 LB. ASPHALT IMPREGNATED ROOFING PAPER).

Corners	Ceilings	1	Floors	1	Sills
Doors	1	Walls	5	transoms	Total 8
scale	3/8" = 1'0"			Drawn By GUILLERMO	
Date	00/00/08	P.O #			Approved CARLOS
3" & 4" N.S.F COOLER WITH FLOOR					Job No. BODY BOX
MATTHEWS INTERNATIONAL CORP					Drawing No. BODY BOX

FLOOR MUST BE LEVEL SMOOTH AND CLEAR OF OBSTRUCTIONS TO ACCEPT WALK-IN PANELS. ALSO, THERE MUST BE A MINIMUM OF 2" CLEARANCE AROUND ALL SIDES OF THE WALK-IN FOR PROPER CIRCULATION.

## Jean Fraser - 199 Woodford Street - Body cooler addition

**From:** Jean Fraser  
**To:** Russell, Gabby  
**Date:** 7/12/2011 10:50 AM  
**Subject:** 199 Woodford Street - Body cooler addition

Gabby,

I am writing to confirm our conversation of last week and to ensure that you have my e-mail address.


In order to complete the review of this Administrative Authorization application we need the following (can be sent to me by pdf):

1. site plan showing the cooler, scaleable, showing lot boundaries; and
2. clarification of storm drain links; and
3. sound generation information from the manufacturer.

We have a meeting tomorrow morning (Wed) where I would like to discuss this application (and hopefully approve it) so it would be good to have the info by the end of today if possible.

thank you  
Jean

*Jean Fraser, Planner  
City of Portland  
874 8728*

An aerial photograph of a residential neighborhood. The image shows several houses with gabled roofs, a large tree in the center, and a parking lot at the bottom. A white rectangular note is pasted over the middle of the image, containing handwritten text. The text is written in black ink on a white background. The date '7-8-11' is at the top of the note. Below it are three numbered items: 1) 'discussed Marge - needs site plan + sound into', 2) 'Spoke Gabby Russell will send these Mon.', and 3) 'get aerial w/ lot lines (SF)'.

7-8-11

1) discussed Marge -  
needs site plan + sound  
into

2) Spoke Gabby Russell  
will send these Mon.

3) get aerial w/ lot  
lines (SF).



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

July 1 2011

Received from Longford, Inc.

Location of Work 109 West Park St

Cost of Construction \$ \_\_\_\_\_ Building Fee: 450.00

Permit Fee \$ \_\_\_\_\_ Site Fee: 50.00

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 500.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 130 F006

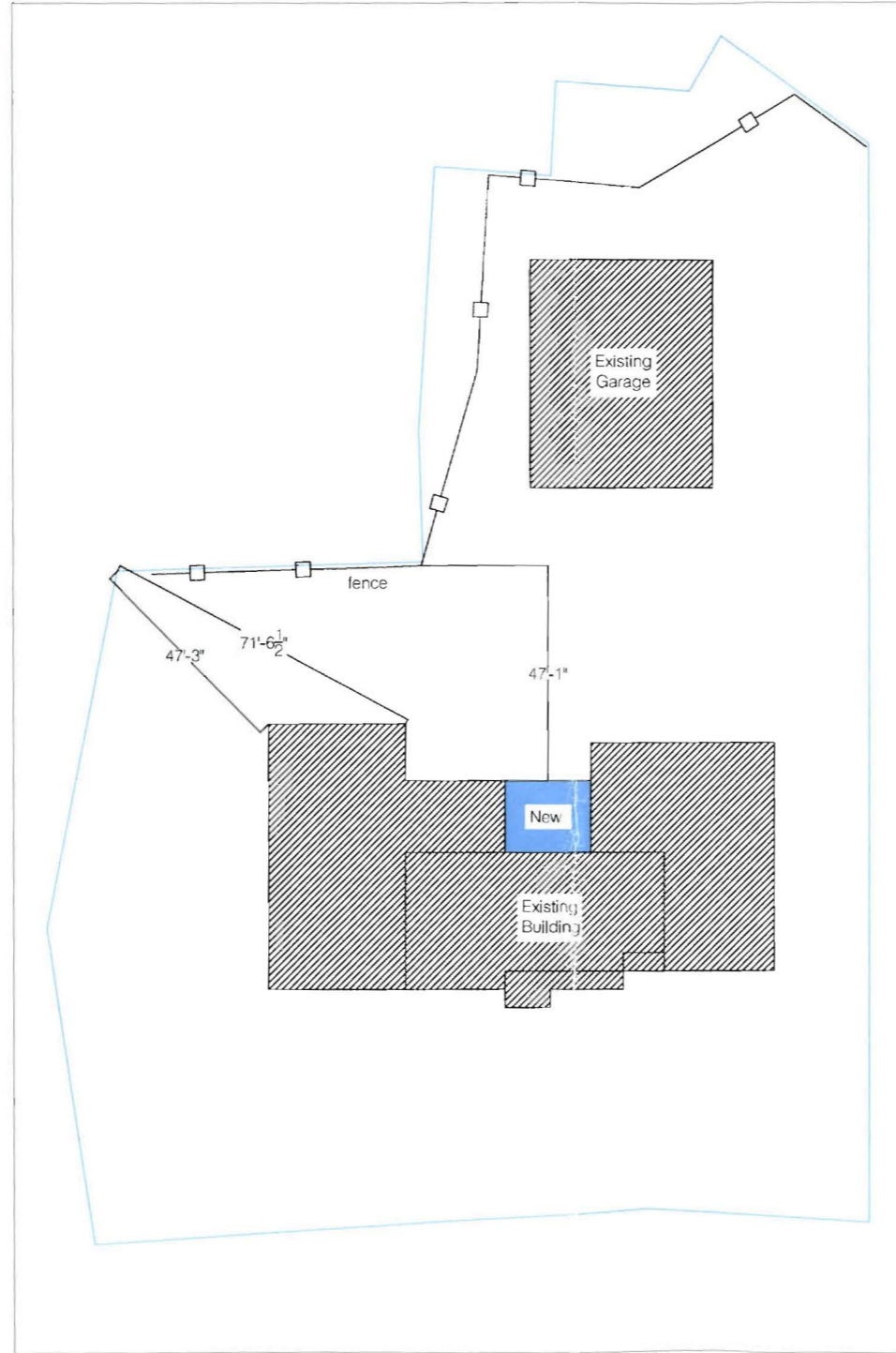
Check #: 43060 Total Collected \$ 500.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy





Note:  
Dimensions are approximate on site plan  
Any gutters or downspouts removed will be relocated and tie into existing drainage system

**RECEIVED**  
JUL 13 2011  
Dept. of Building Inspections  
City of Portland Maine

<b>LANGFORD AND LOW</b> GENERAL CONTRACTOR	
DRAWN BY: GABRIELLE RUSSELL, LEED AP PROJECT DESIGNER / PROJECT COORDINATOR LANGFORD AND LOW MASTER OF ARCHITECTURE, TULANE UNIVERSITY BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY	
REVIEWED BY: JDE	
JOB NUMBER 1126	
DRAWING STATUS <input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input checked="" type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS STRUCTURAL: MECHANICAL: ELECTRICAL: MECHANICAL: CODE: SOIL:	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION Jones-Rich-Hutchins Funeral Home 199 Woodford Street PORTLAND, ME 04103	
DRAWING TITLE <b>Site Plan</b>	
DATE July 13, 2011	
REVISIONS REVISION # DATE DESCRIPTION REVISION # DATE DESCRIPTION REVISION # DATE DESCRIPTION	
SCALE <b>AS NOTED</b>	
SHEET NUMBER <b>A0.2</b>	

# JONES, RICH, AND HUTCHINS FUNERAL HOME - BODY COOLER

199 Woodford Street, Portland, Maine 04103

**LANGFORD AND LOW**  
GENERAL CONTRACTOR

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

REVIEWED BY  
JDE

JOB NUMBER  
1126

DESIGN DRAWINGS, ELECTRONIC FILES AND RELATED INFORMATION ARE PROPERTY OF LANGFORD AND LOW, INC. AND SHALL NOT BE REPLICATED OR COPIED WITHOUT THE OWNERS WRITTEN CONSENT.

DRAWING STATUS

- OFFICE REVIEW
- CLIENT REVIEW
- PERMIT SET
- BID / ESTIMATING SET
- CONTRACT DRAWINGS
- CONSTRUCTION SET

CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
EDGE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE

**Cover Sheet**

DATE

**June 30, 2011**

REVISIONS

REVISION #  
DATE  
DESCRIPTION

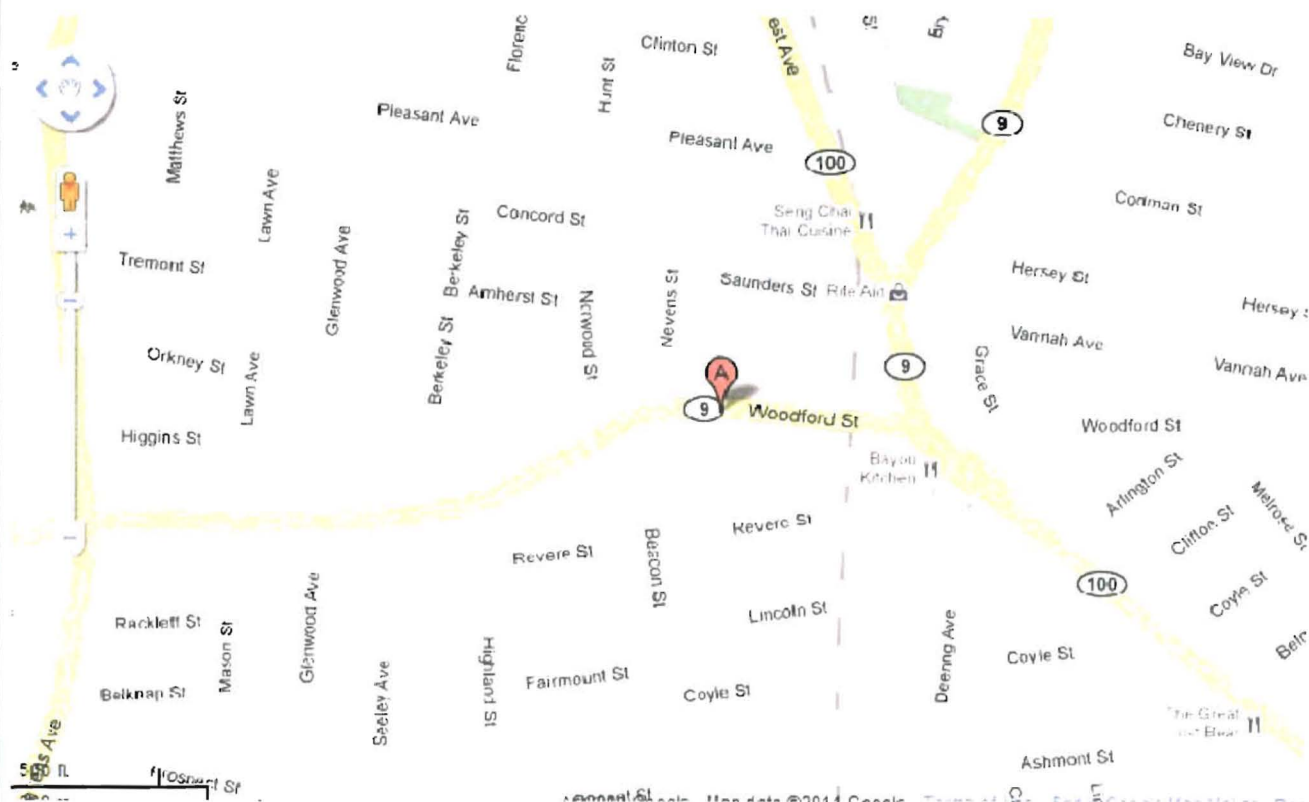
SCALE

**AS NOTED**

SHEET NUMBER

**A0.0**

PROJECT LOCATION MAP:



LIST OF DRAWINGS:

- A 0.0 COVER SHEET
- A 0.1 Abbreviations, Legends, + general notes
- A 1.1 Demo Plan
- A 1.2 First Floor Plan
- A 1.3 First Floor Renovation Plan
- A 1.4 Sections / Details






















PROJECT TEAM:

- Design: Langford and Low
- Construction Management: Langford and Low
- Construction: Langford and Low

RELEVANT INFO:

- 1st floor at grade at Woodford Street
- Basement at grade in back of building
- Fully Sprinklered - Dry System
- Use: Assembly, Business Offices, body preparation area












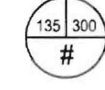
**GENERAL SYMBOLS:**

- ROOM NAME**  
 = ROOM TAG  
 = DOOR TAG  
 = WINDOW TAG  
 = WALL / PARTITION TYPE  
 = CENTER LINE  
 = REVISION TAG  
 = BREAK LINE  
 = NORTH ARROW  
**MATCH LINE**  
 = MATCH LINE  
 = DETAIL TAG  
 = SECTION TAG  
 = ELEVATION TAG  
 = NOTE TAG (same page)  
 = EQUIPMENT TAG  
 = DIMENSION LINE  
 = ELEVATION LINE  
 = DRAWING TITLE / SCALE  
 = COLUMN LINE/GRID TAG  
 = HIDDEN, FUTURE, OR EXISTING CONSTRUCTION  
 = OVERHEAD (dashed)  
 = INDICATES DIRECTION OF PITCH









**ABBREVIATIONS:**

- AFF = ABOVE FINISHED FLOOR  
 EIFS = EXTERIOR INSULATION & FINISH SYSTEM  
 GWB = GYPSUM WALL BOARD  
 OSB = ORIENTED STRAND BOARD  
 WWM = WELDED WIRE MESH  
 PSI = POUNDS PER SQUARE INCH  
 SF = SQUARE FOOT  
 SY = SQUARE YARD  
 LF = LINEAR FOOT  
 WP = WEATHERPROOF  
 GFI = GROUND FAULT INTERRUPT  
 IS = ISOLATED GROUND  
 S = SWITCH  
 XP = EXPLOSION PROOF  
 H = HUMIDITY  
 P = PRESSURE  
 T = TEMPERATURE  
 PTD = PAINTED  
 RH =  
 LH =  
 RHR =  
 LRH =

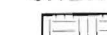


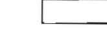




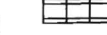


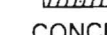
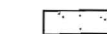


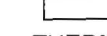


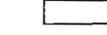

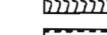














**LIFE SAFETY SYMBOLS:**

-  = SMOKE DETECTOR - INTERCONNECTED  
 = HORN / STROBE UNIT  
 = VISUAL STROBE UNIT  
 = EMERGENCY LIGHT (2 lamp) INTERCONNECTED  
 = EMERGENCY LIGHT (1 lamp) INTERCONNECTED W/ BATTERY BACK-UP  
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 = QUAD. RECEPTACLE (indicate Ground Fault Interrupt, Isolated Ground, WeatherProof)  
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 = DATA OUTLET (CAT 6)  
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 = ELECTRIC THERMOSTAT

**HATCH LEGEND:**

- SITWORK**  
 = EARTH  
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 = GRAVEL FILL (COARSE)  
 = FINE POROUS FILL  
**MASONRY**  
 = BRICK  
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 = ORNAMENTAL METAL  
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 = PLYWOOD (ROUGH)  
 = PLYWOOD (FOR ARCH. WOODWORK)  
 = PARTICAL BOARD (ROUGH)  
 = PARTICAL BOARD (FOR ARCH. WOODWORK)  
 = OSB

DRAWN BY:  
 GABRIELLE RUSSELL, LEED AP  
 PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
 MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
 BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

REVIEWED BY  
**JOE**

JOB NUMBER  
 1126

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DRAWING STATUS  
 OFFICE REVIEW  
 CLIENT REVIEW  
 PERMIT SET  
 BID / ESTIMATING SET  
 CONTRACT DRAWINGS  
 CONSTRUCTION SET

CONSULTANTS  
 STRUCTURAL:  
 MECHANICAL:  
 ELECTRICAL:  
 LANDSCAPE:  
 CODE:  
 DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
 Jones-Rich-Hutchins  
 Funeral Home  
 199 Woodford Street  
 PORTLAND, ME 04103

DRAWING TITLE  
**Legend, symbols, etc**

DATE  
**June 30, 2011**

REVISIONS  
 REVISION #  
 DATE  
 DESCRIPTION  
 REVISION #  
 DATE  
 DESCRIPTION  
 REVISION #  
 DATE  
 DESCRIPTION

SCALE  
**AS NOTED**

SHEET NUMBER  
**A0.1**

B-2

front yard - N/A

rear yard - 10' - **OK**

Side yard - N/A between existing  
part of building.

impermeable surface - 80%

existing asphalt

Site Analysis



**LANGFORD AND LOW**  
GENERAL CONTRACTOR

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
LANGFORD AND LOW  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

REVIEWED BY  
JDE

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MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE  
**SITE PHOTO**

DATE  
**June 30, 2011**

REVISIONS

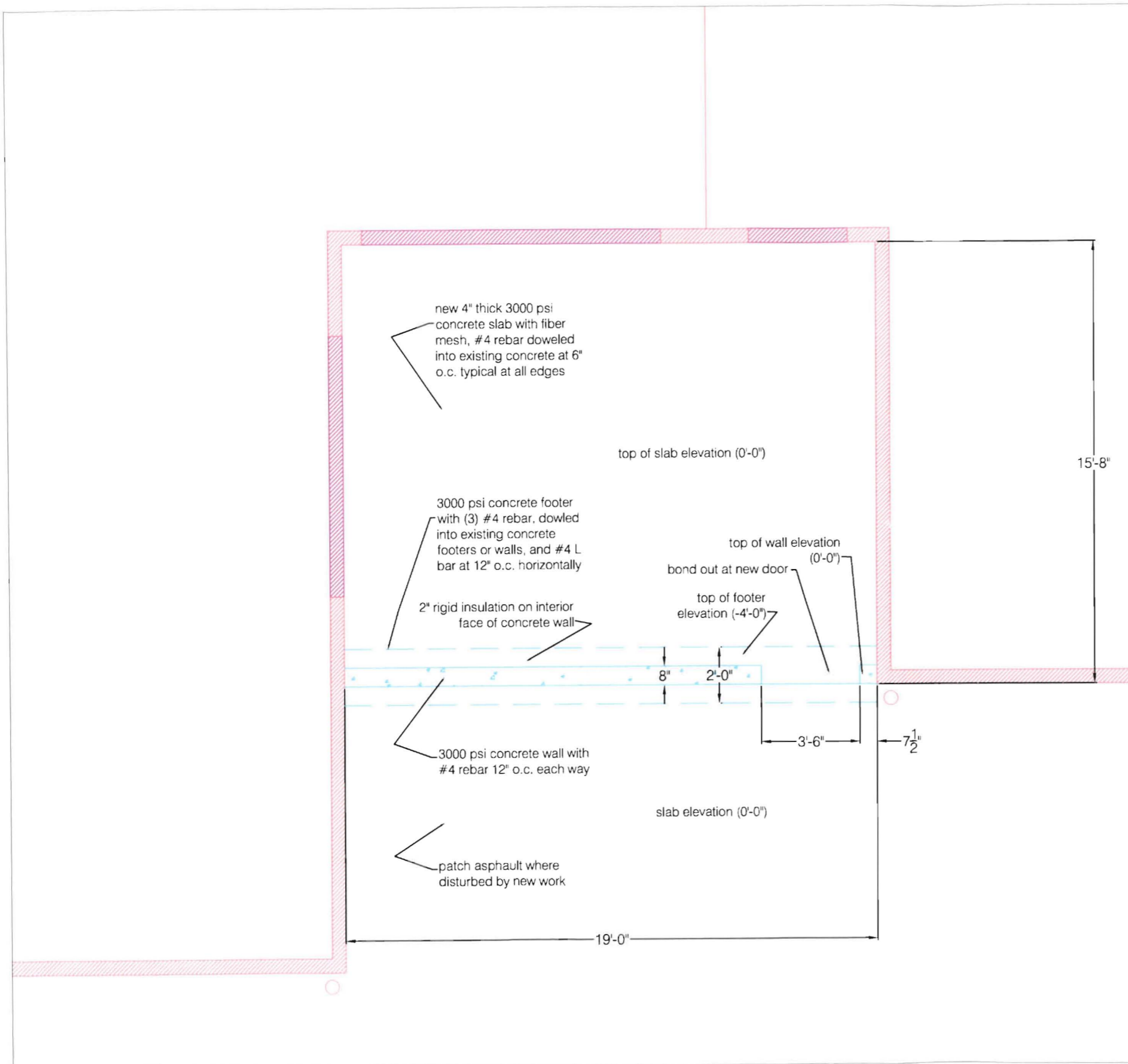
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DATE:  
DESCRIPTION

REVISION #  
DATE:  
DESCRIPTION

REVISION #  
DATE:  
DESCRIPTION

SCALE  
**NOT TO SCALE**

SHEET NUMBER  
**A0.2**



**1** Foundation Plan  
Scale: 1/4"=1'

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
LANGFORD AND LOW  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

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- CLIENT REVIEW
- PERMIT SET
- BID / ESTIMATING SET
- CONTRACT DRAWINGS
- CONSTRUCTION SET

CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE  
**New Foundation Plan**

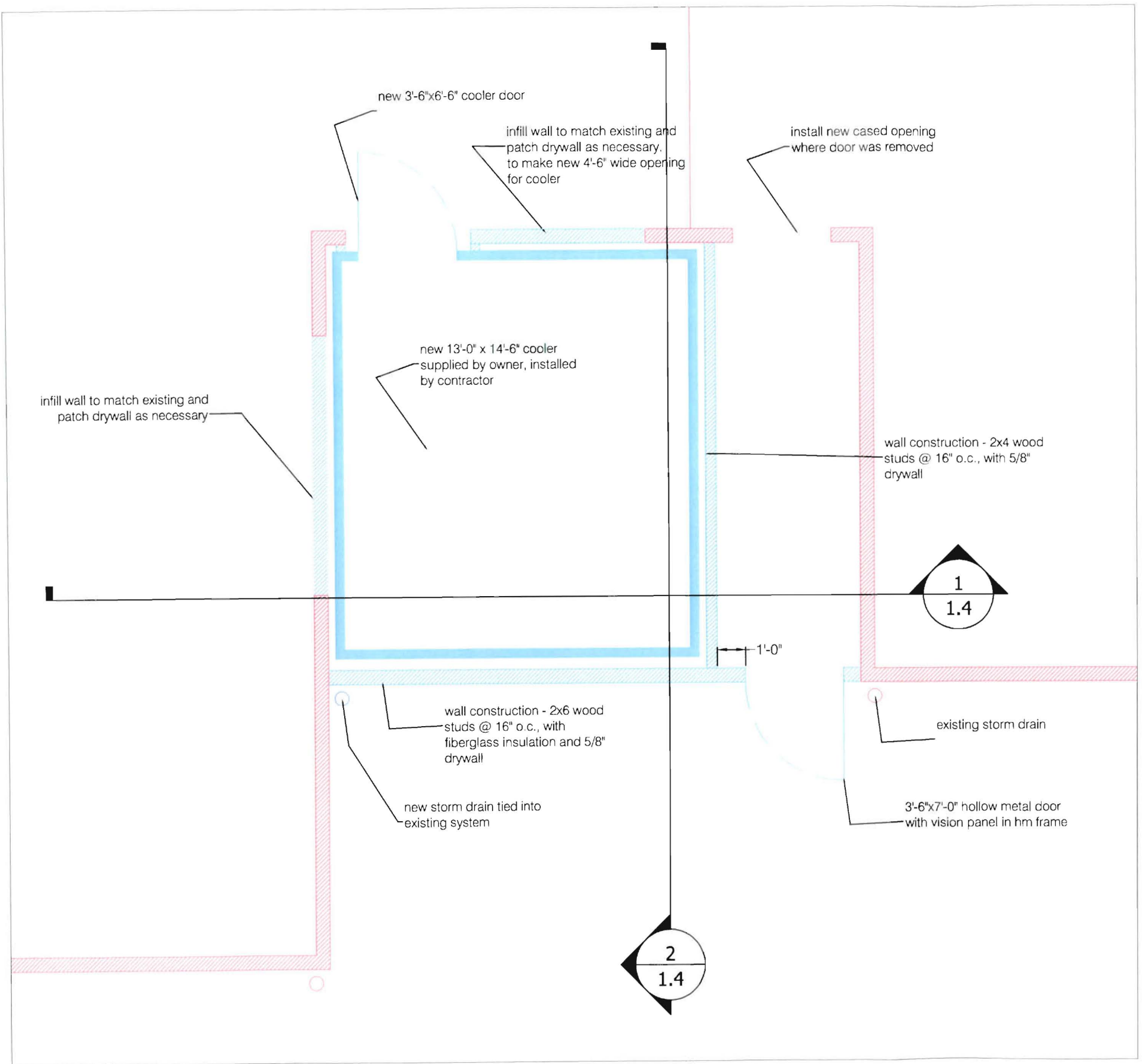
DATE  
**June 30, 2011**

REVISIONS

REVISION #	DATE	DESCRIPTION

SCALE  
**AS NOTED**

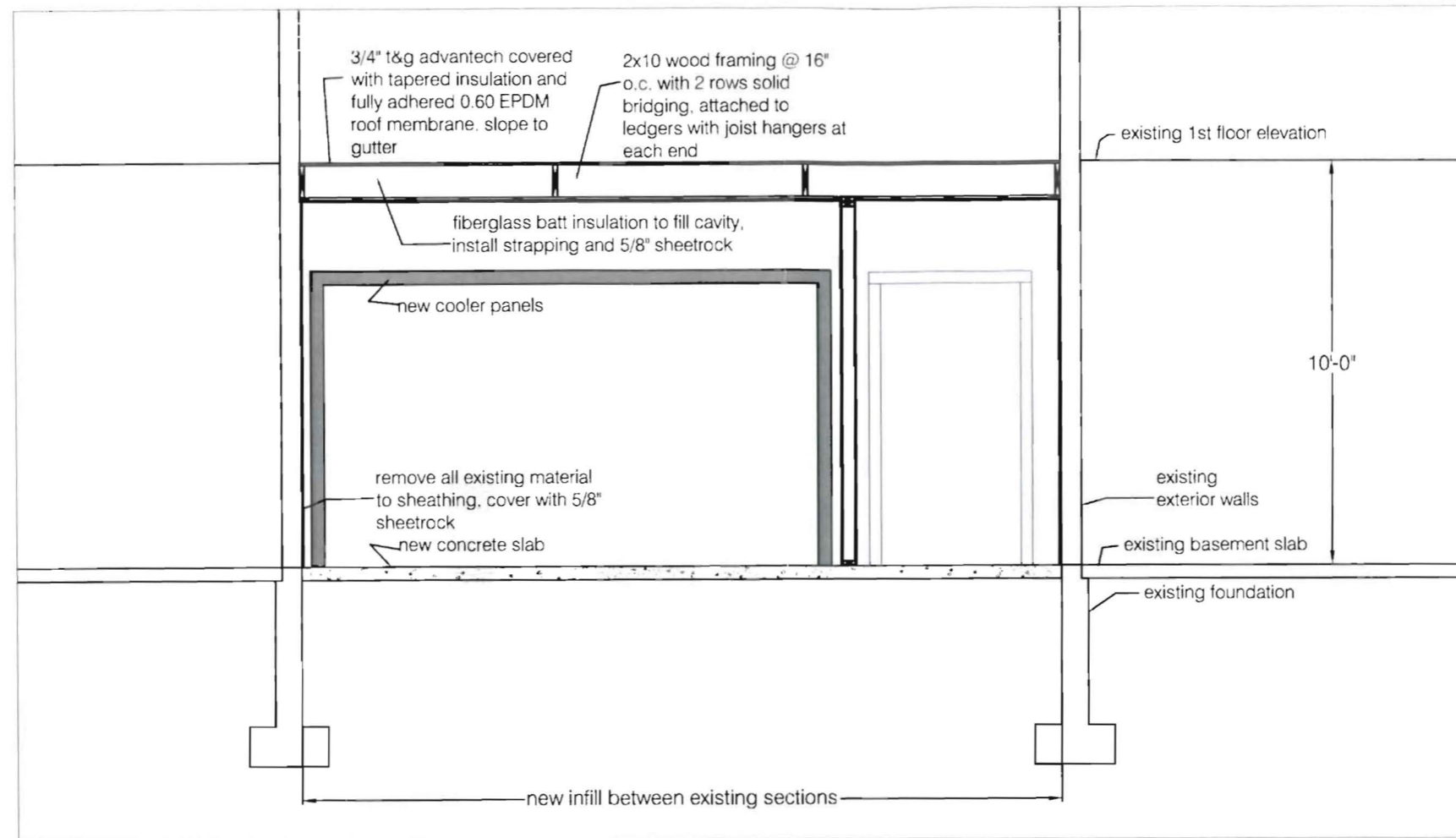
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**A1.2**



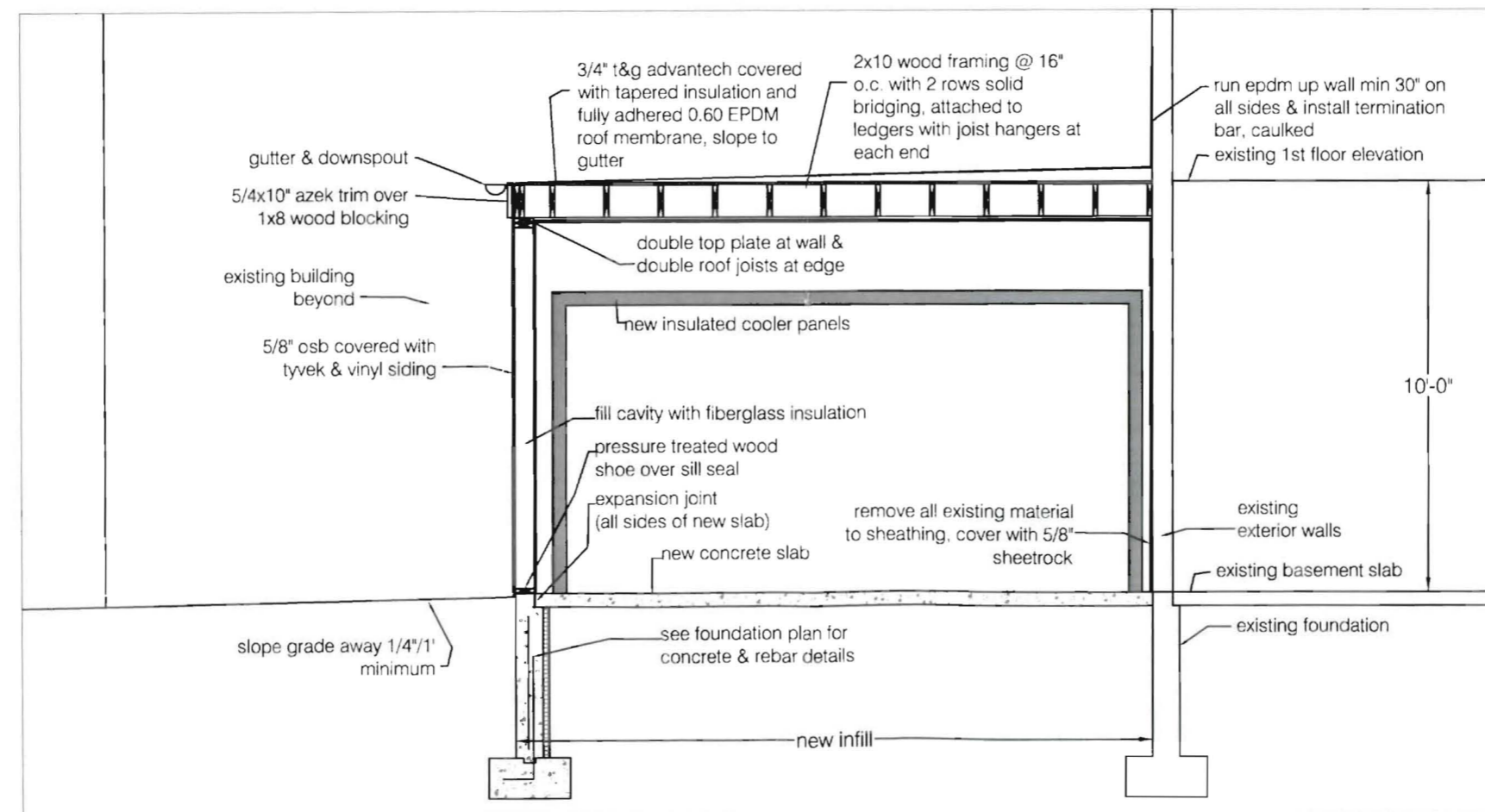
**1** 1st Floor Renovation Plan  
Scale: 1/4"=1'

<b>LANGFORD AND LOW</b> <b>GENERAL CONTRACTOR</b>	
DRAWN BY: GABRIELLE RUSSELL, LEED AP PROJECT DESIGNER / PROJECT COORDINATOR <b>LANGFORD AND LOW</b> MASTER OF ARCHITECTURE, TULANE UNIVERSITY BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY	
REVIEWED BY <b>JDE</b>	
JOB NUMBER <b>1126</b>	
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DRAWING STATUS <input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input checked="" type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS STRUCTURAL: MECHANICAL: ELECTRICAL: LANDSCAPE: CODE: DESIGN:	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION <b>Jones-Rich-Hutchins</b> <b>Funeral Home</b> <b>199 Woodford Street</b> <b>PORTLAND, ME 04103</b>	
DRAWING TITLE <b>First Floor Renovation Plan</b>	
DATE <b>June 30, 2011</b>	
REVISIONS REVISION # DATE DESCRIPTION REVISION # DATE DESCRIPTION REVISION # DATE DESCRIPTION	
SCALE <b>AS NOTED</b>	
SHEET NUMBER <b>A1.3</b>	

**1** Section  
Scale: 1/4"=1'



**2** Section  
Scale: 1/4"=1'



**LANGFORD AND LOW**  
GENERAL CONTRACTOR

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

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- PERMIT SET
- BID / ESTIMATING SET
- CONTRACT DRAWINGS
- CONSTRUCTION SET

CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE  
**Sections**

DATE  
**June 30, 2011**

REVISIONS

NO. REVISION # DATE DESCRIPTION

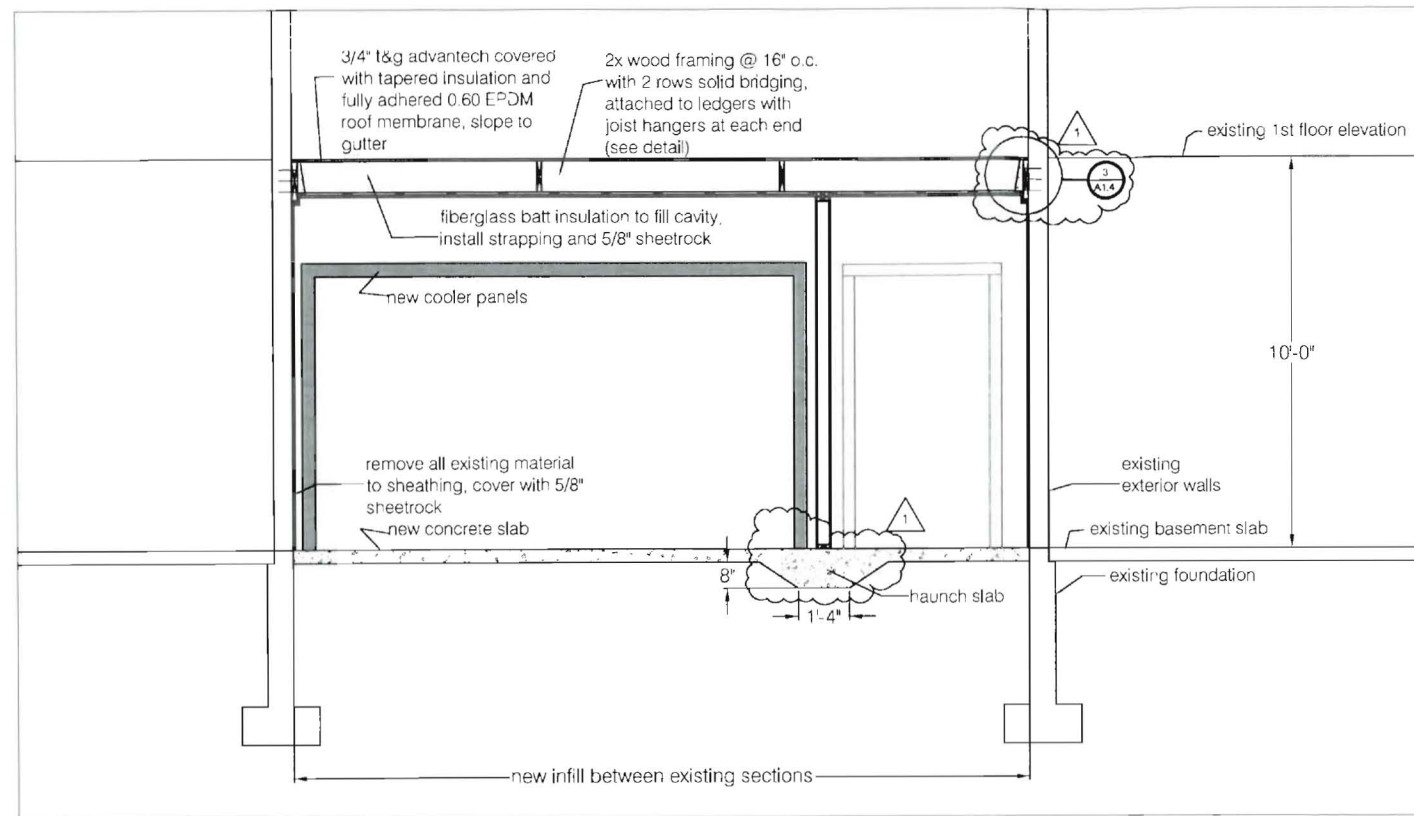
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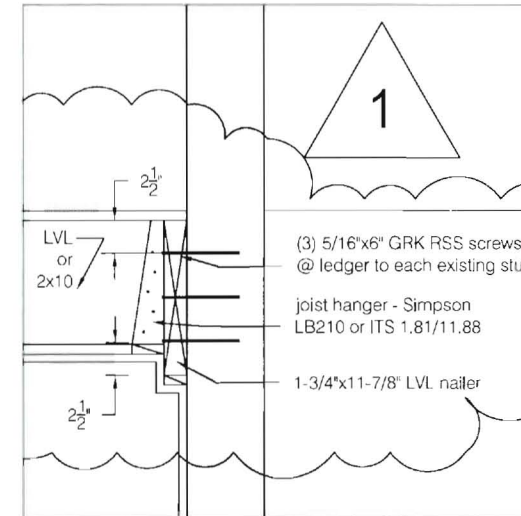
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**AS NOTED**

SHEET NUMBER  
**A1.4**

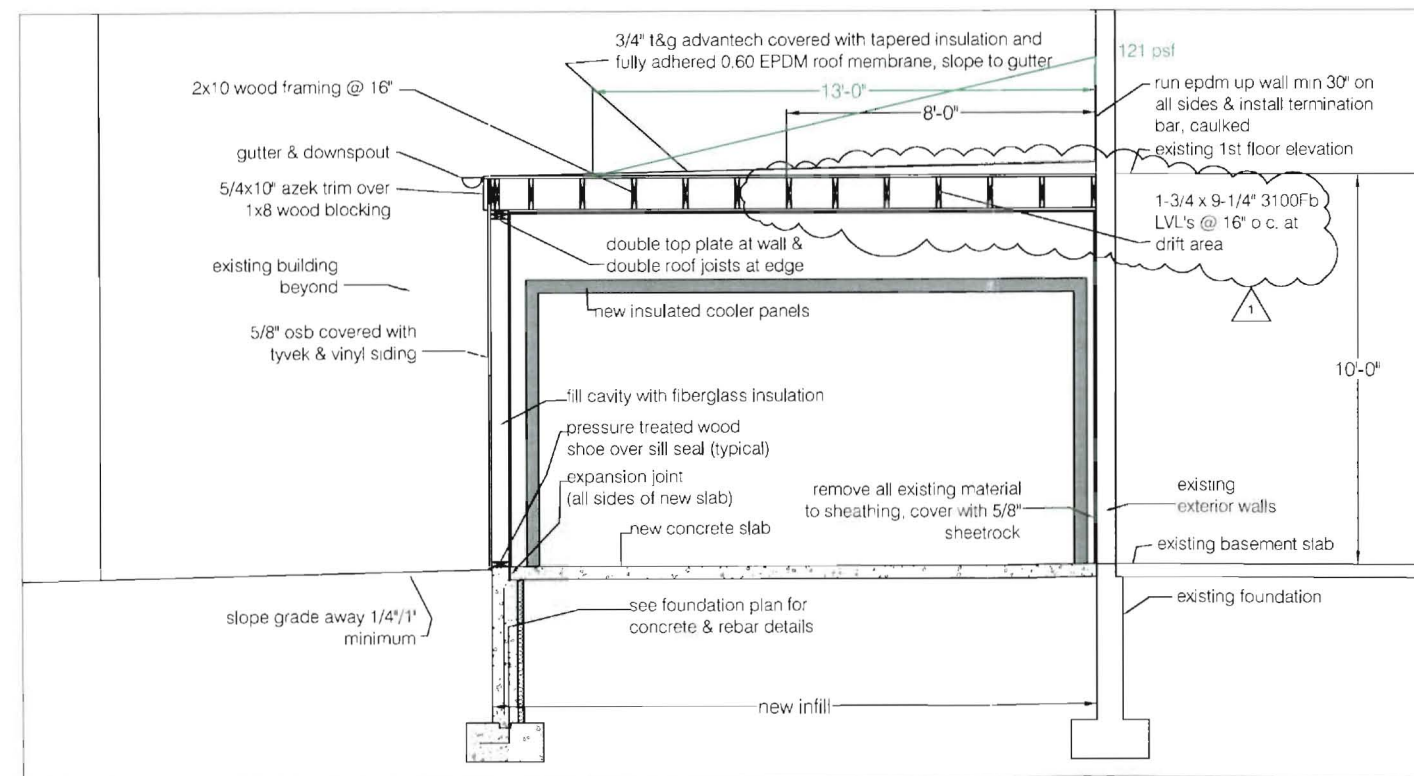
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**3** Section  
Scale: 1"=1'



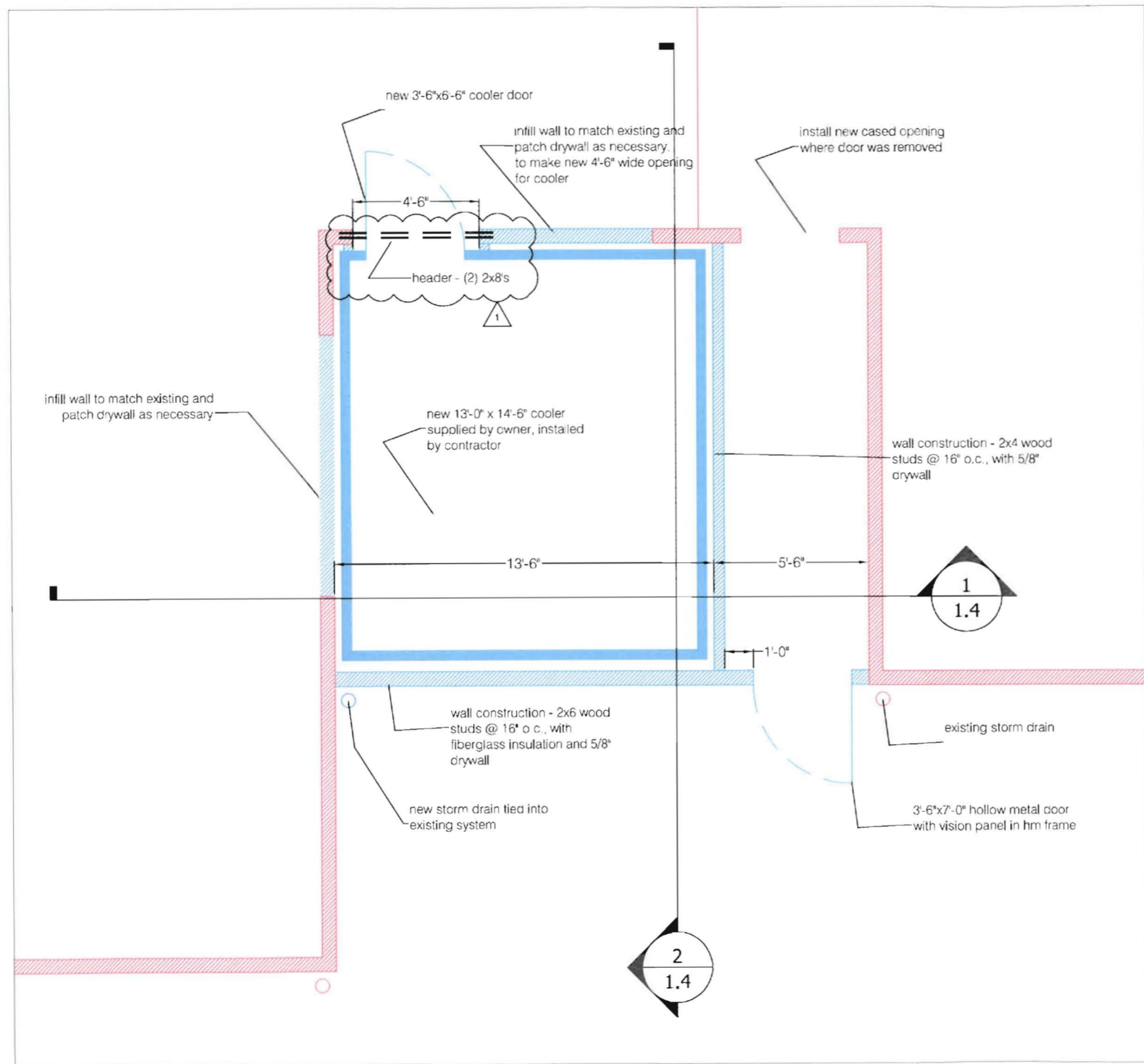
**2** Section  
Scale: 1/4"=1'



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REVIEWED BY JDE	
JOB NUMBER 1126	
DRAWING STATUS	
<input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input checked="" type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION Jones-Rich-Hutchins Funeral Home 199 Woodford Street PORTLAND, ME 04103	
DRAWING TITLE <b>Sections</b>	
DATE <b>June 30, 2011</b>	
REVISIONS	
SCALE <b>AS NOTED</b>	
SHEET NUMBER <b>A1.4</b>	





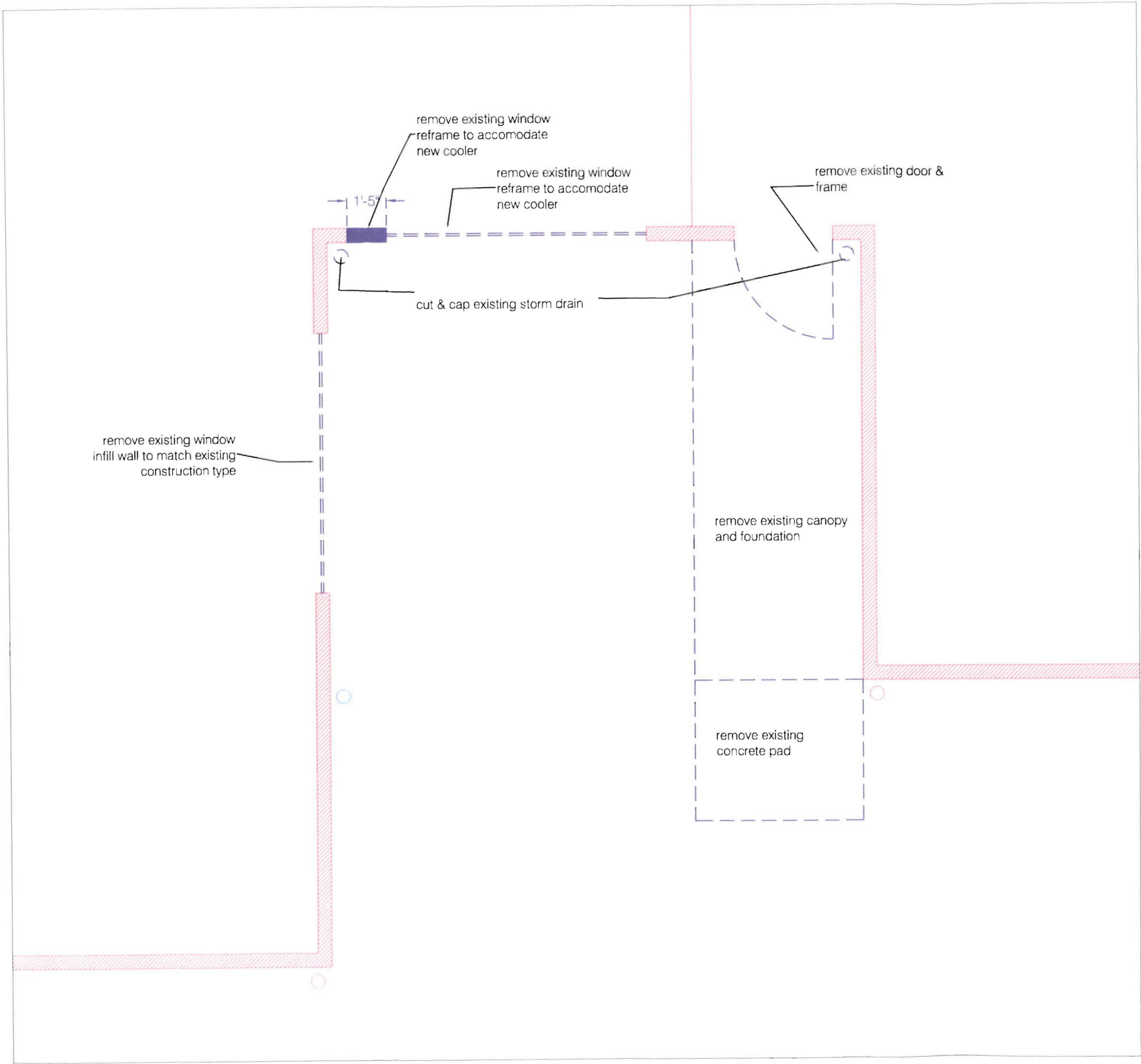
1 1st Floor Renovation Plan  
Scale: 1/4"=1'

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JUL 26 2011

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City of Portland Maine

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REVIEWED BY: JDE
JOB NUMBER: 1126
GENERAL CONTRACTOR'S RESPONSIBILITY FOR THE QUALITY OF THE WORKMANSHIP SHALL BE LIMITED TO THE QUALITY OF THE WORKMANSHIP ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORKMANSHIP ONLY.
DRAWING STATUS: <input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET
CONSULTANTS: STRUCTURAL: MECHANICAL: ELECTRICAL: LANDSCAPE: SOIL: DRINK:
REGISTERED PROFESSIONAL'S SEAL
PROJECT NAME & LOCATION: Jones-Rich-Hutchins Funeral Home 199 Woodford Street PORTLAND, ME 04103
DRAWING TITLE: <b>First Floor Renovation Plan</b>
DATE: <b>June 30, 2011</b>
REVISIONS: NO. DATE DESCRIPTION 1 10/11 10/11 10/11
SCALE: <b>AS NOTED</b>
SHEET NUMBER: <b>A1.3</b>



1

**Demo Plan**

Scale: 1/4"=1'

<b>LANGFORD AND LOW</b> GENERAL CONTRACTOR	
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DRAWING STATUS	
<input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input checked="" type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS	
STRUCTURAL: MECHANICAL: ELECTRICAL: LANDSCAPE: EROSION: DESIGN:	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION Jones-Rich-Hutchins Funeral Home 199 Woodford Street PORTLAND, ME 04103	
DRAWING TITLE <b>Existing Plan &amp; Demolition</b>	
DATE <b>June 30, 2011</b>	
REVISIONS	
REVISION # DATE DESCRIPTION  REVISION # DATE DESCRIPTION  REVISION # DATE DESCRIPTION	
SCALE <b>AS NOTED</b>	
SHEET NUMBER <b>A1.1</b>	

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MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
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CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE

**Cover Sheet**

DATE

**June 30, 2011**

REVISIONS

REVISION #  
DATE  
DESCRIPTION  
  
REVISION #  
DATE  
DESCRIPTION  
  
REVISION #  
DATE  
DESCRIPTION

SCALE

**AS NOTED**

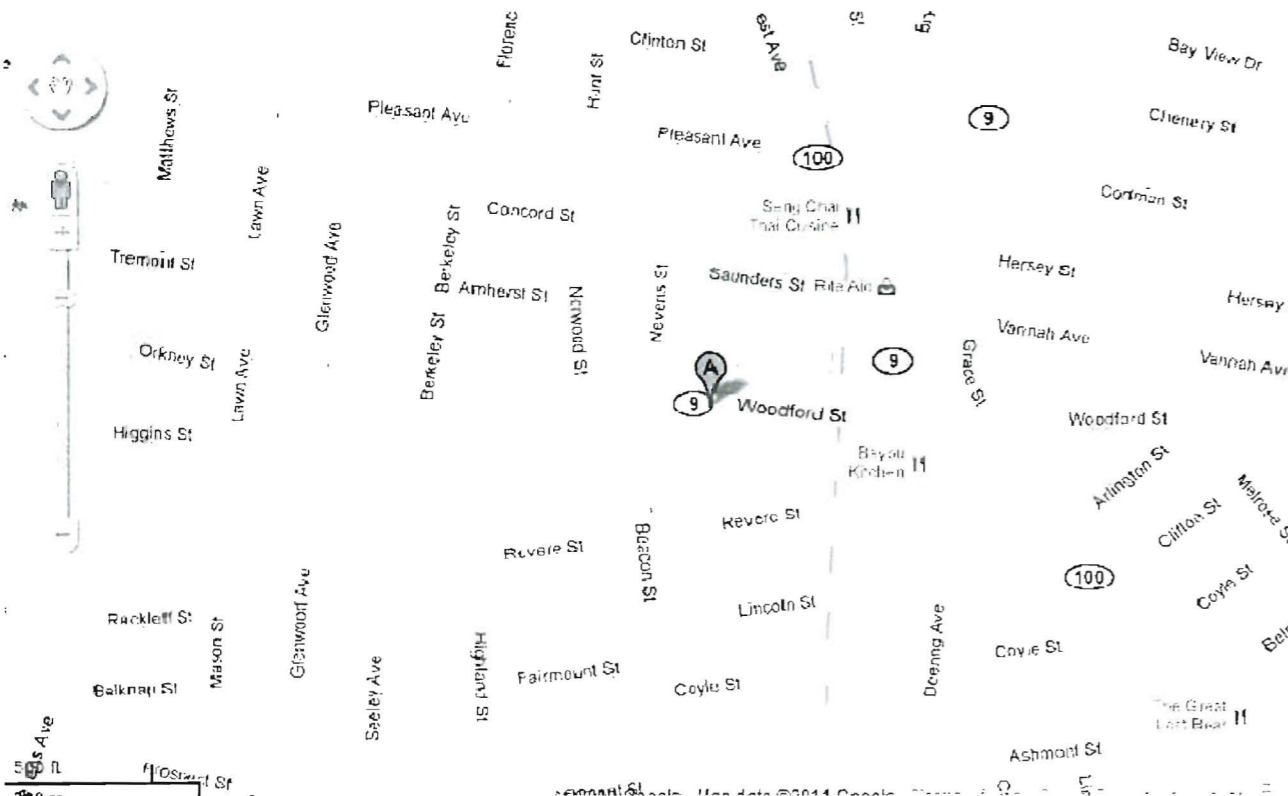
SHEET NUMBER

**A0.0**

# JONES, RICH, AND HUTCHINS FUNERAL HOME - BODY COOLER

## 199 Woodford Street, Portland, Maine 04103

PROJECT LOCATION MAP:



LIST OF DRAWINGS:

- A 0.0 COVER SHEET
- A 0.1 Abbreviations, Legends, + general notes
- A 1.1 Demo Plan
- A 1.2 First Floor Plan
- A 1.3 First Floor Renovation Plan
- A 1.4 Sections / Details

PROJECT TEAM:

- Design: Langford and Low
- Construction Management: Langford and Low
- Construction: Langford and Low

RELEVANT INFO:

- 1st floor at grade at Woodford Street
- Basement at grade in back of building
- Fully Sprinklered - Dry System
- Use: Assembly, Business Offices, body preparation area

**GENERAL SYMBOLS:**

- = ROOM TAG
- = DOOR TAG
- = WINDOW TAG
- = WALL / PARTITION TYPE
- = CENTER LINE
- = REVISION TAG
- = BREAK LINE
- = NORTH ARROW
- MATCH LINE**  
con't on SHEET #  
 = MATCH LINE
- = DETAIL TAG
- = SECTION TAG
- = ELEVATION TAG
- = NOTE TAG (same page)
- = EQUIPMENT TAG
- = DIMENSION LINE
- = ELEVATION LINE
- = DRAWING TITLE / SCALE
- = COLUMN LINE/GRID TAG
- = HIDDEN, FUTURE, OR EXISTING CONSTRUCTION
- = OVERHEAD (dashed)
- = INDICATES DIRECTION OF PITCH

**ABBREVIATIONS:**

- AFF = ABOVE FINISHED FLOOR
- EIFS = EXTERIOR INSULATION & FINISH SYSTEM
- GWB = GYPSUM WALL BOARD
- OSB = ORIENTED STRAND BOARD
- WWM = WELDED WIRE MESH
- PSI = POUNDS PER SQUARE INCH
- SF = SQUARE FOOT
- SY = SQUARE YARD
- LF = LINEAR FOOT
- WP = WEATHERPROOF
- GFI = GROUND FAULT INTERRUPT
- IS = ISOLATED GROUND
- S = SWITCH
- XP = EXPLOSION PROOF
- H = HUMIDITY
- P = PRESSURE
- T = TEMPERATURE
- PTD = PAINTED
- RH =
- LH =
- RHR =
- LRH =

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  - = ROCK
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  - = BRICK
  - = GLAZED BRICK
  - = CMU
  - = GLAZED CMU
  - = GLASS UNIT MASONRY
  - = CUT STONE
  - = FIRE BRICK
  - = CAST STONE
- CONCRETE**
  - = CAST-IN-PLACE CONCRETE
  - = PRECAST CONCRETE
  - = CEMENTITIOUS TOPPINGS
  - = GROUT
- THERMAL & MOISTURE PROTECTION**
  - = BATT / FIBROUS INSULATION
  - = FOAM INSULATION
  - = RIGID INSULATION BOARD
  - = LOOSE FILL INSULATION
  - = EIFS
  - = FIBROUS FIRE SAFING
- METAL**
  - = STEEL
  - = ALUMINUM
  - = ORNAMENTAL METAL
  - = WELDING
- GLAZING**
  - = GLASS
  - = PLASTIC
- WOOD**
  - = CONTINUOUS ROUGH WOOD FRAMING
  - = WOOD BLOCKING
  - = PLYWOOD (ROUGH)
  - = PLYWOOD (FOR ARCH. WOODWORK)
  - = PARTICAL BOARD (ROUGH)
  - = PARTICAL BOARD (FOR ARCH WOODWORK)
  - = OSB

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
LANGFORD AND LOW  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

REVIEWED BY  
JDE

JOB NUMBER  
1126

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CONSULTANTS

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MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE  
**Legend, symbols, etc**

DATE  
**June 30, 2011**

REVISIONS

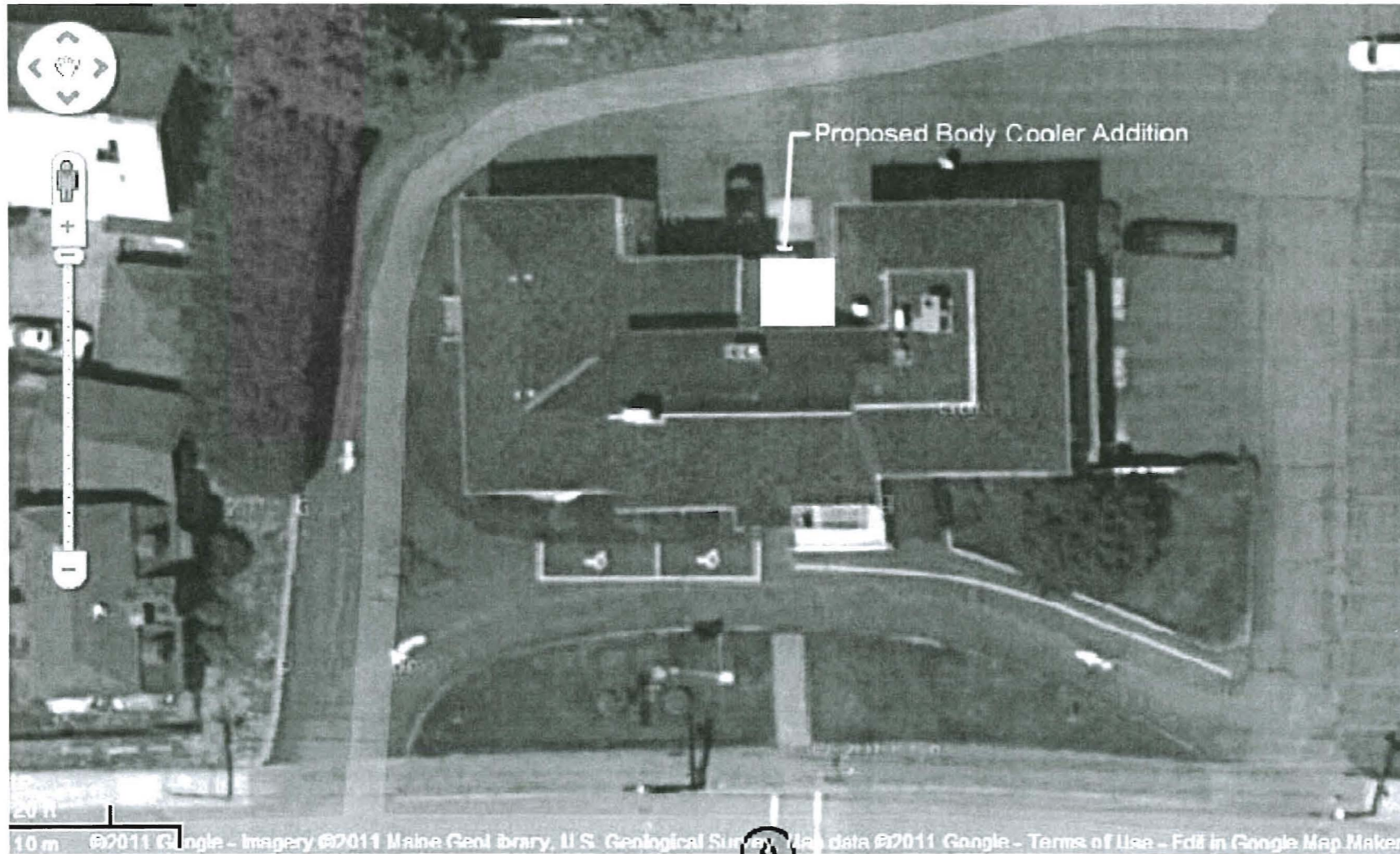
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DATE:  
DESCRIPTION:

REVISION #  
DATE:  
DESCRIPTION:

SCALE  
**AS NOTED**

SHEET NUMBER  
**A0.1**



**LANGFORD AND LOW**  
**GENERAL CONTRACTOR**

**DRAWN BY:**  
 GABRIELLE RUSSELL, LEED AP  
 PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
 MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
 BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

**REVIEWED BY:**  
 JDE

**JOB NUMBER:**  
 1126

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**DRAWING STATUS**

- OFFICE REVIEW
- CLIENT REVIEW
- PERMIT SET
- BID / ESTIMATING SET
- CONTRACT DRAWINGS
- CONSTRUCTION SET

**CONSULTANTS**

STRUCTURAL:  
 MECHANICAL:  
 ELECTRICAL:  
 LANDSCAPE:  
 CODE:  
 DESIGN:

**REGISTERED PROFESSIONAL'S SEAL**

**PROJECT NAME & LOCATION**  
 Jones-Rich-Hutchins  
 Funeral Home  
 199 Woodford Street  
 PORTLAND, ME 04103

**DRAWING TITLE**  
**SITE PHOTO**

**DATE**  
 June 30, 2011

**REVISIONS**

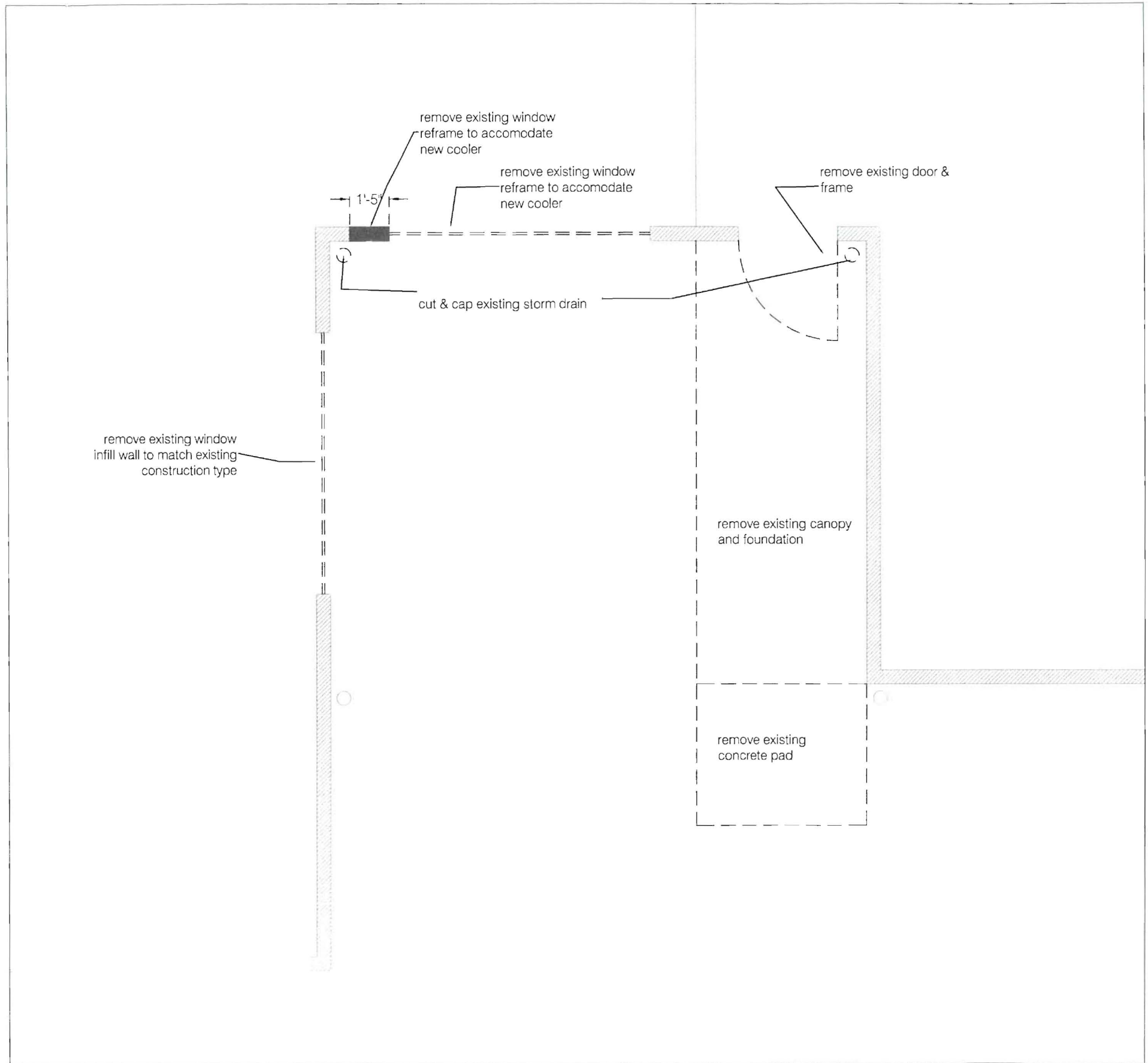
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REVISION #  
 DATE  
 DESCRIPTION

REVISION #  
 DATE  
 DESCRIPTION

**SCALE**  
**NOT TO SCALE**

**SHEET NUMBER**  
**A0.2**



**1** Demo Plan  
Scale: 1/4"=1'

**LANGFORD AND LOW**  
GENERAL CONTRACTOR

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

REVIEWED BY  
JDE

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DRAWING STATUS

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CONSULTANTS

STRUCTURAL  
MECHANICAL  
ELECTRICAL  
LANDSCAPE  
CODEL  
DESIGN

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE

**Existing Plan & Demolition**

DATE

**June 30, 2011**

REVISIONS

REVISION #  
DATE  
DESCRIPTION

REVISION #  
DATE  
DESCRIPTION

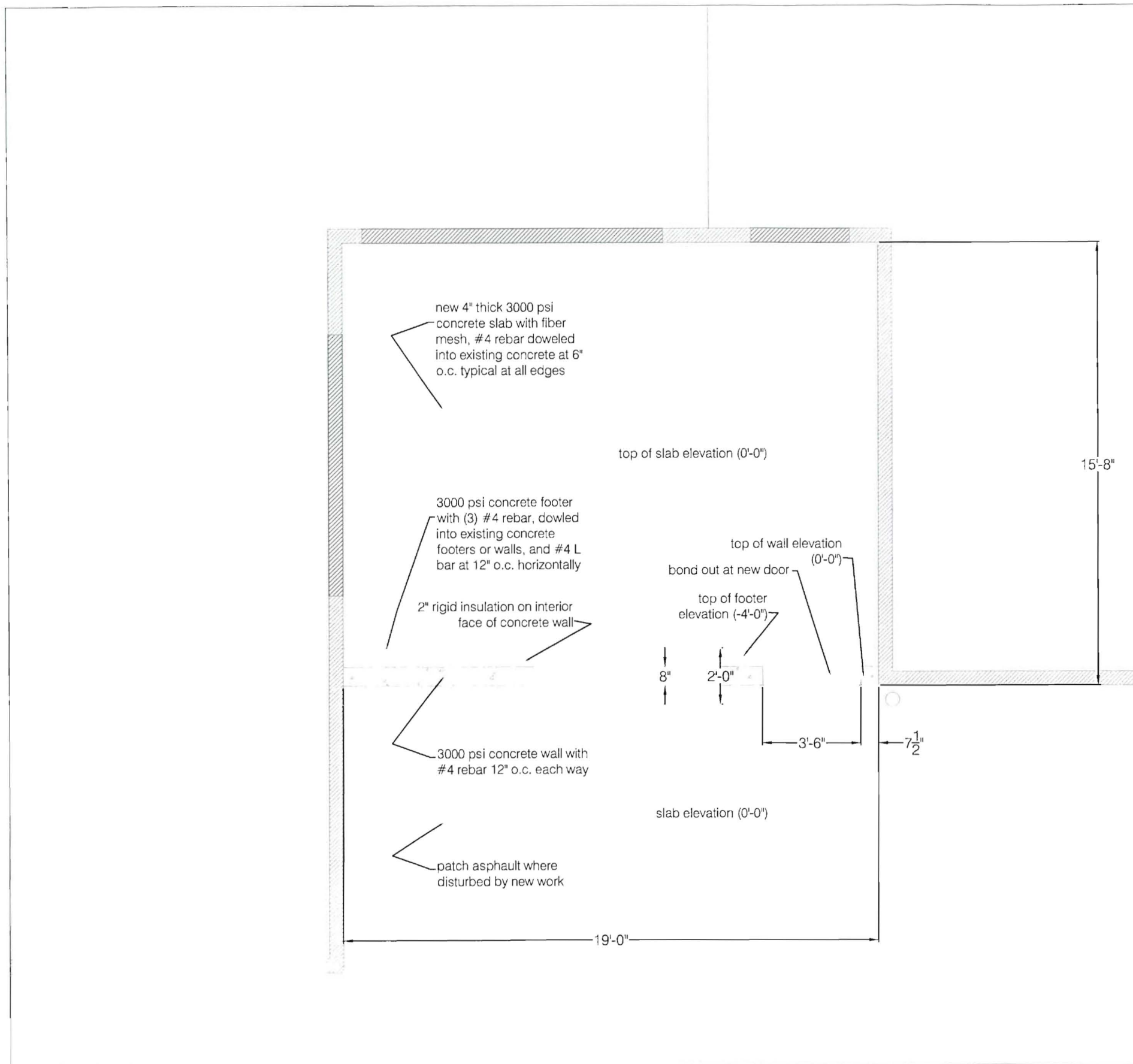
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DATE  
DESCRIPTION

SCALE

**AS NOTED**

SHEET NUMBER

**A1.1**



**1** Foundation Plan  
Scale: 1/4"=1'

**LANGFORD AND LOW**  
GENERAL CONTRACTOR

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

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JDE

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DRAWING STATUS

- OFFICE REVIEW
- CLIENT REVIEW
- PERMIT SET
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CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE

**New Foundation Plan**

DATE

**June 30, 2011**

REVISIONS

REVISION #  
DATE  
DESCRIPTION

REVISION #  
DATE  
DESCRIPTION

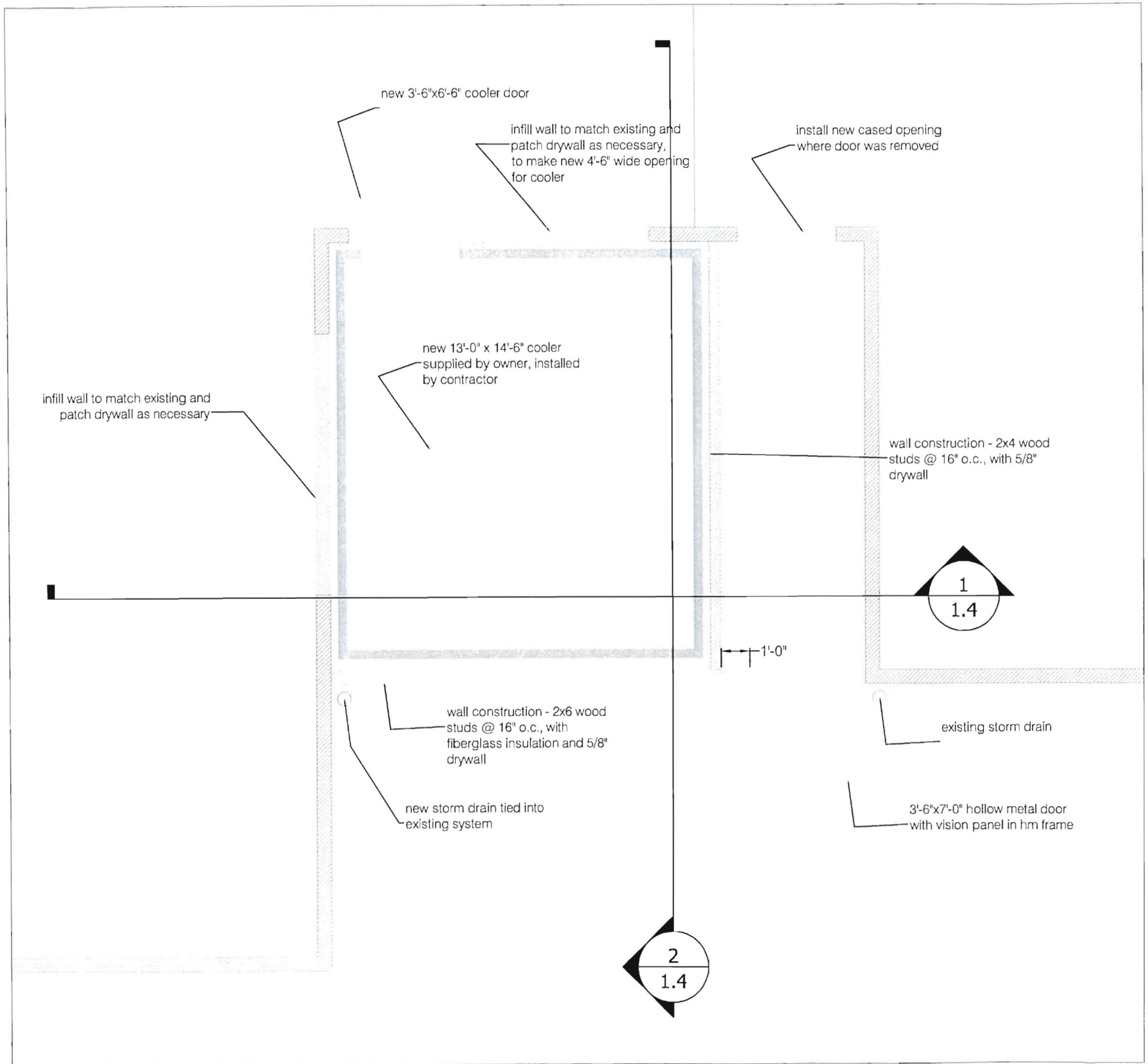
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DATE  
DESCRIPTION

SCALE

**AS NOTED**

SHEET NUMBER

**A1.2**



**1** 1st Floor Renovation Plan  
Scale: 1/4"=1'

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

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- CONTRACT DRAWINGS
- CONSTRUCTION SET

CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE  
**First Floor Renovation  
Plan**

DATE  
**June 30, 2011**

REVISIONS

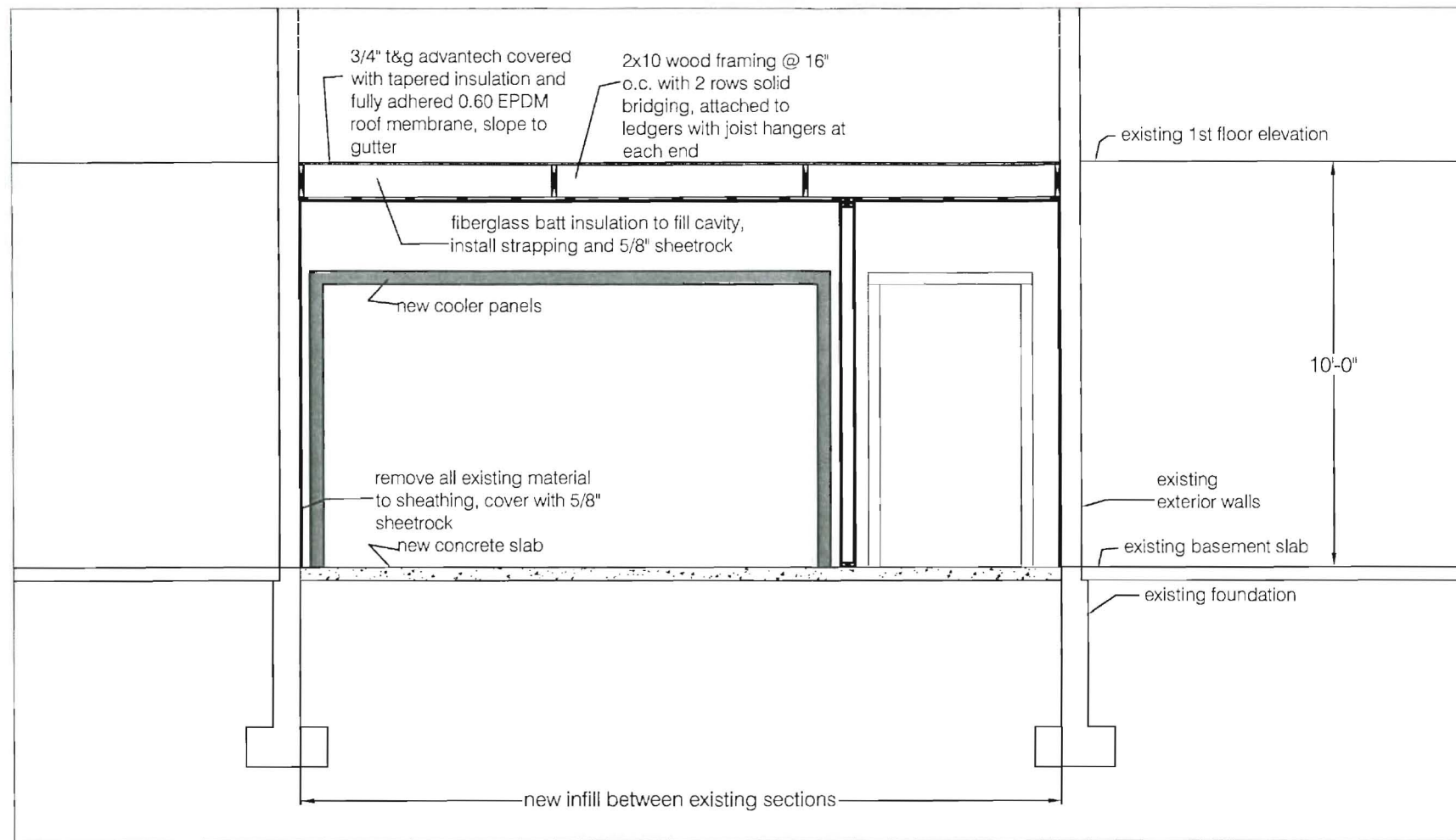
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SCALE  
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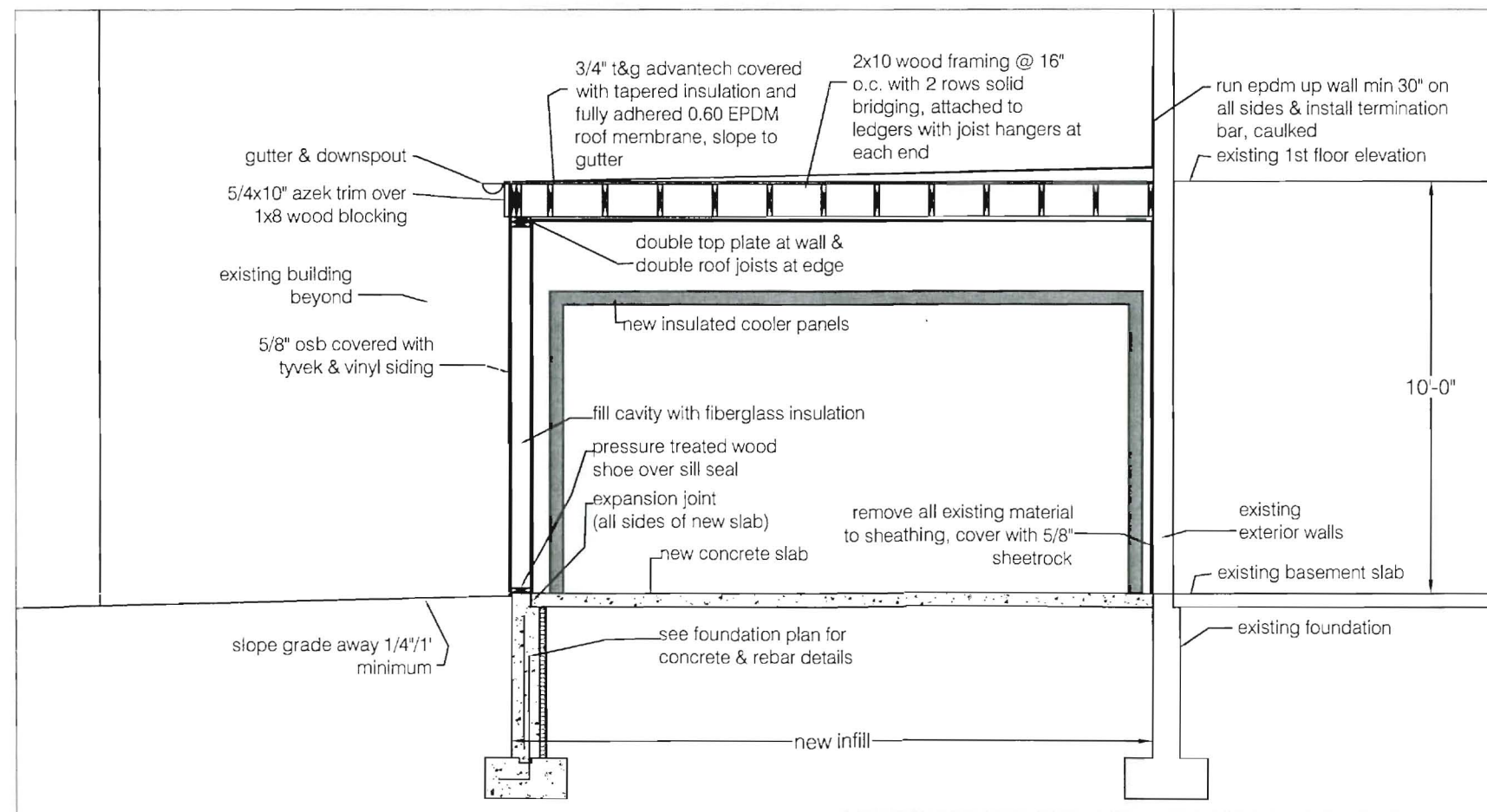
SHEET NUMBER  
**A1.3**



**1** Section  
Scale: 1/4"=1'



**2** Section  
Scale: 1/4"=1'



**LANGFORD AND LOW**  
GENERAL CONTRACTOR

DRAWN BY:  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
**LANGFORD AND LOW**  
MASTER OF ARCHITECTURE, TULANE UNIVERSITY  
BACHELOR OF ARCHITECTURE, TULANE UNIVERSITY

REVIEWED BY  
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DRAWING STATUS

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CONSULTANTS

STRUCTURAL:  
MECHANICAL:  
ELECTRICAL:  
LANDSCAPE:  
CODE:  
DESIGN:

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Jones-Rich-Hutchins  
Funeral Home  
199 Woodford Street  
PORTLAND, ME 04103

DRAWING TITLE  
**Sections**

DATE  
**June 30, 2011**

REVISIONS

REVISION # DATE DESCRIPTION

REVISION # DATE DESCRIPTION

REVISION # DATE DESCRIPTION

SCALE  
**AS NOTED**

SHEET NUMBER  
**A1.4**