

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 01-0942	Issue Date: JUG - 3 2 01	CBL: 130 E008001
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Location of Construction: 16 Nevens St	Owner Name: Fairchild Janet F	Owner Address: 16 Nevens St	Phone: 5932
Business Name:	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	Zone: R5

Past Use: Two Family	Proposed Use: Two Family Dwelling w/ Handicap Ramp	Permit Fee:	Cost of Work: \$1,000.00	CEO District: 3
Proposed Project Description: Build 9' X 22' X 4' Ramp addition to Existing Sideyard Porch		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R2 Type: SB Boca 99 Signature: DC	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: N/A Date:

Permit Taken By: dgc	Date Applied For: 08/03/2001	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/3	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: N/A	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: N/A
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

[Signature]
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 16 NEVENS Street

Total Square Footage of Proposed Structure 10938 <u>100 SF</u>	Square Footage of Lot 10,400 ⁹⁸⁷⁶
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Tax Assessor's Chart, Block & Lot Chart# <u>130-E-8</u> Block# Lot#	Owner: <u>JANET Fairchild</u>	Telephone: <u>773-5932</u>
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Lessee/Buyer's Name (If Applicable) <u>NA</u>	Applicant name, address & telephone: <u>JILL Fairchild (Janet)</u> <u>773-16 NEVENS ST.</u> <u>5932 PORTLAND 04103</u>	Cost Of Work: \$ <u>1000</u> Fee: \$ <u>N/A</u>
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Current use: Residence 2 Family

If the location is currently vacant, what was prior use: N/A

Approximately how long has it been vacant: N/A

Proposed use: HANDICAPPED RAMP ADDITION

Project description:
Adding handicapped ramp to accomodate wheel chair.

Contractor's name, address & telephone:

Who should we contact when the permit is ready: JANET Fairchild

Mailing address:
SAME

Phone: SAME

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Janet Fairchild</u>	Date: <u>7/2/01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

Applicant: Jewel Fairchild

Date: 8/3

Address: 16 Nevens

C-B-I: 130-E-8

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 8/3

Zone Location - R5

Interior or corner lot - I

Proposed Use/Work - 2 Family w/ handicap ramp

Sevage Disposal - P

Lot Street Frontage - 80' -

Front Yard - 20 req 28' shown

Rear Yard - 20 req 35' shown

Side Yard - 12 req 15 & 27 shown

Projections - Existing Porch rear left

Width of Lot - 80'

Height -

Lot Area - 9876 sq'

Lot Coverage/ Impervious Surface - 40% max = 3950 / 3008 sq' shown

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

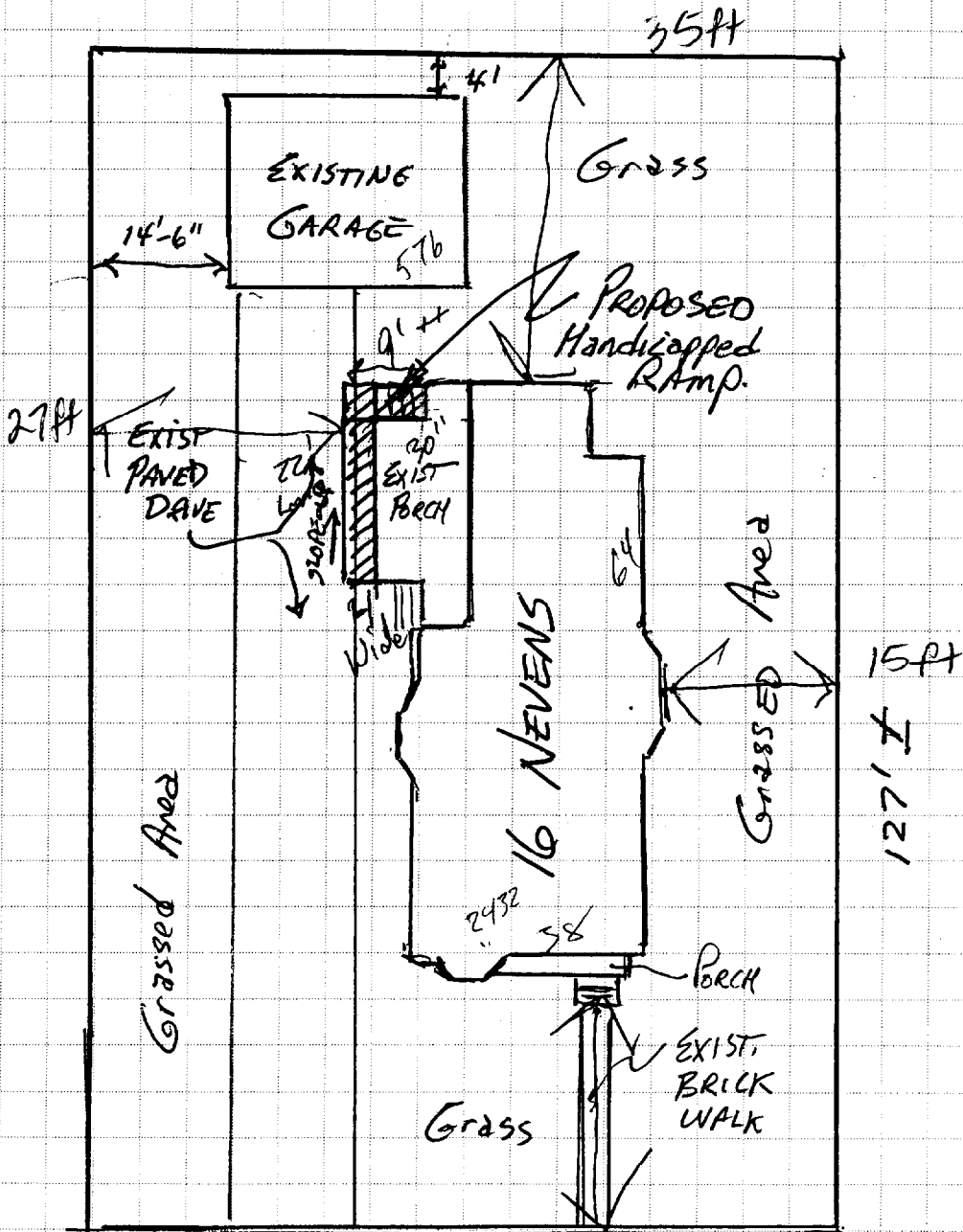
Shoreland Zoning/ Stream Protection -

Flood Plains -

OK DC

SEBAGO TECHNICS, INC.
 12 Westbrook Common
 P.O. Box 1339
 WESTBROOK, MAINE 04098
 (207) 856-0277 FAX (207) 856-2206

JOB _____
 SHEET NO. _____ OF _____
 CALCULATED BY: *AT McElroy* DATE _____
 CHECKED BY _____ DATE 8/02/01
 SCALE 1" = 20'



30950
3008

80' ± 28ft
NEVENS ST.

001880
QUITCLAIM DEED

I, STEPHEN A. ROBBINS of Sewickley, County of Allegheny, State of Pennsylvania for consideration paid, release to JANET F. ROBBINS of Portland, County of Cumberland, State of Maine, the land in Portland, Cumberland County, described as follows:

A certain lot or parcel of land with the buildings thereon, situated in said Portland, on the Westerly side of Nevens Street, and more particularly bounded and described as follows:

Commencing at an iron hub set in the ground in the west side line of said Nevens Street, at the southeast corner of a lot conveyed to Burtis L. Parkman by Hubbard H. Nevens by deed recorded in Cumberland County Registry of Deeds, Book 567, Page 424, said hub being two hundred forty (240) feet south 20'2" west, measured on said west side line of said Nevens Street, from an iron hub at the southeast corner of land occupied as a school house lot by the City of Portland, and also two hundred eighty-seven and sixty-five one hundredths (287.65) feet south 20'2" west from a point where the south side of said school house produced easterly would intersect said west side line of Nevens Street, and from the first mentioned iron hub running south 20'2" west by said west side line of said Nevens Street eighty (80) feet to an iron hub; thence westerly at right angles with said Street about one hundred seventeen and eight-tenths (117.8) feet to land now or formerly of B. H. Lewis; thence northwesterly by said Lewis land to land conveyed to Etta F. Walton by deed recorded in said Registry of Deeds, Book 608, Page 424; thence easterly by said Walton land about one hundred twenty-nine (129) feet to the point of beginning.

Being the same premises conveyed by deed of Phyllis A Trilling to Wilfred A. Houle and Anne M. Houle dated April 26, 1946 and recorded in Cumberland County Registry of Deeds in Book 1815, Page 462.

Being the same premises conveyed to Stephen A. Robbins and Janet F. Robbins by deed of Wilfred A. Houle and Anne M. Houle dated November 27, 1985 and recorded in Cumberland County Registry of Deeds in Book 6991, Page 267.

Witness my hand and seal this 14 day of January, 1988.

Stephen A. Robbins
STEPHEN A. ROBBINS

Commonwealth of Pennsylvania
County of Allegheny, ss.

Jan. 14, 1988

Personally appeared before me the above-named Stephen A. Robbins and acknowledged the foregoing instrument to be his free act and deed.

RECORDED
RECORDED REGISTRY OF DEEDS
1988 JAN 14 AM 9:38

CUMBERLAND COUNTY
James J. Walsh

Michael Asten

~~Notary Public~~ MICHAEL ASTEN
ATTORNEY-AT-LAW

BUILDING A RAMP

This insert is intended as a "pocket guide" to building a ramp for residential use. We have condensed information contained in An Accessible Entrance: Ramps, an excellent publication written by Design Coalition. We thank them for their consultation in putting this abbreviated guide together, and for their willingness to share this information.

WHERE DO I PUT A RAMP?

Take some time to decide the best location for your accessible entrance. It is true that the shorter the ramp, the less expensive it will be to build. However, also look at other factors such as how close (and convenient) the ramp's location will be to your driveway, whether one of your entrances has an easier door to use, and how much of your home is made accessible according to the entrance you select.

Once you have done some "eyeballing", it is essential to measure precisely three basic things: amount of rise, clear opening at doors, and approaches and door swings.

AMOUNT OF RISE- What is the distance from the ground to the threshold of the entrance? Is the entrance located off a sloped surface? (If so, you need to calculate that into the length of ramp you will need (fig.2).) For every inch in height, your ramp needs to have a foot in length (ration of 1:12). For example, if you are ramping an entrance that is eight inches high, you will need a ramp eight feet long.

It may be tempting to build a shorter ramp, but by doing that, you are also sacrificing important safety features. A steeper incline than 1:12 makes it more difficult for someone to push a wheelchair up the ramp; it can also be harrowing at best when the person is going down the ramp.

Fig. 1 Rise and Run

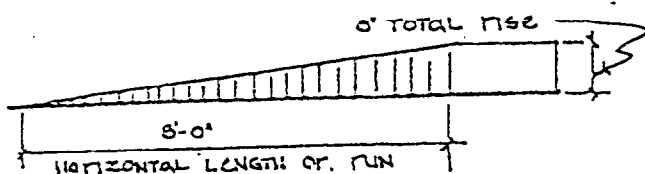
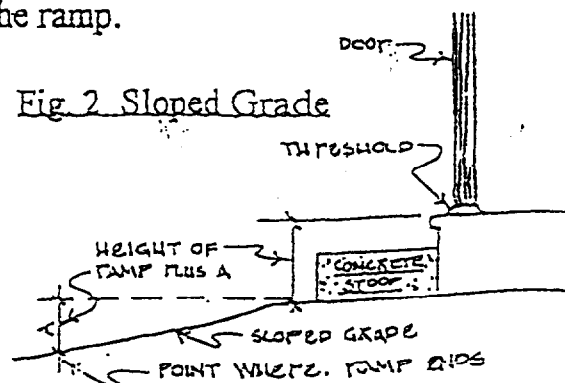
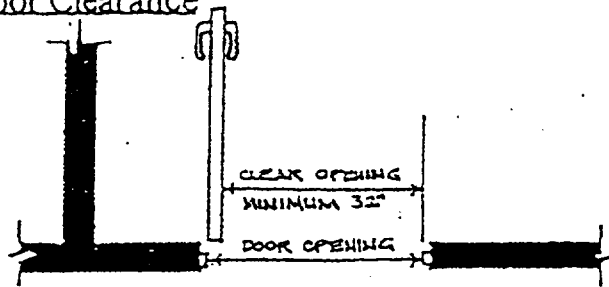


Fig. 2 Sloped Grade



DOORS- There are three factors to determine when measuring entrances: the amount of clearance, the kinds of approaches and door swings, and the ease with which the door may be opened.

Fig 3 Door Clearance



The minimum clearance you want to have is 32" anything less may just not be adequate. Clearance is not the same as door size.

To measure for clearance, measure the amount of space that exists between the door stop and the door when it is open.

APPROACHES AND DOOR SWINGS

It is critical to have adequate room at both the inside and outside of the entrance in order to negotiate turns and operate the door. If the entrance you are planning to ramp has a vestibule or foyer, the minimum space you will need is a width of 5' by a length of 6'6". If the entrance or foyer has two doors, make sure the doors open in the same direction or open out (fig 4 & 5). If both doors open into the room there must be 6' or more between their arcs of swing.

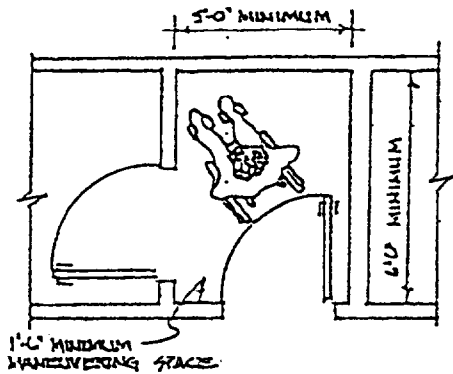


Fig 4 Door Swing - Right Angle

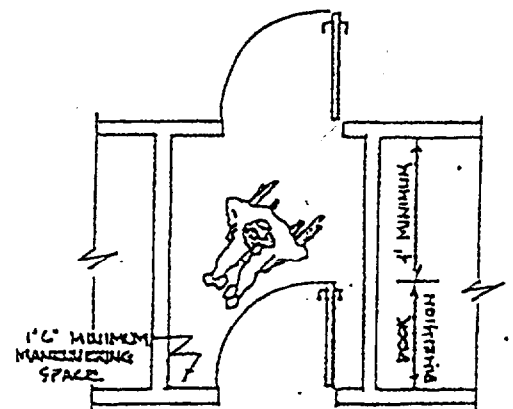


Fig 6 Door Swing - 1 Direction

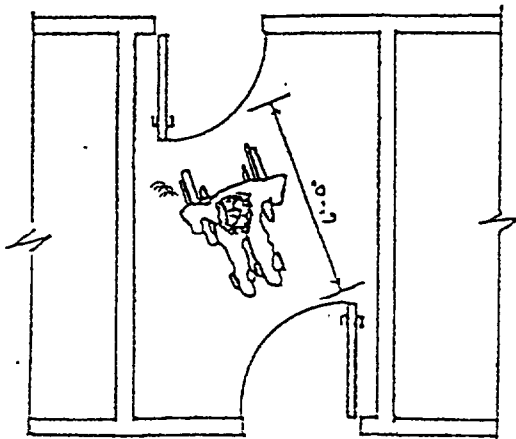


Fig 5 Door Swing - Out

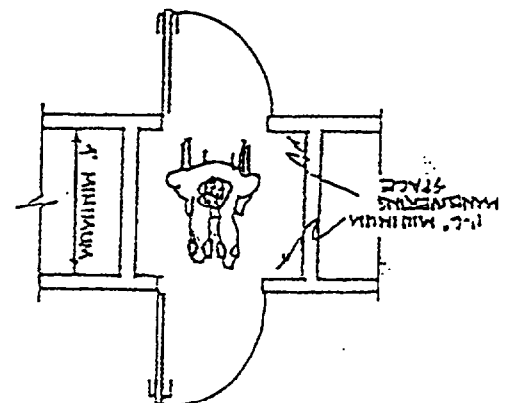


Fig 7 Door Swing - In

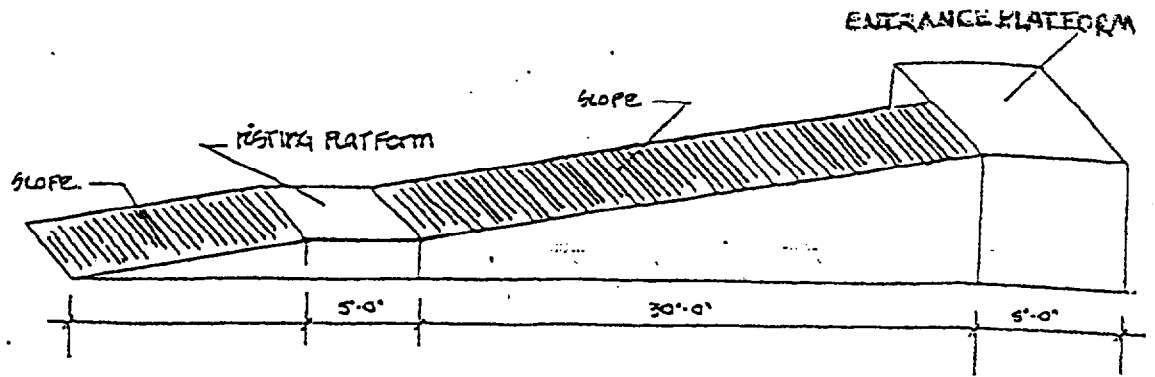


Fig 11 Single Run Ramp Exceeding 30 Feet

SLOPES (one foot in length to every inch in rise, or a ratio of 1:12) apply to the ramp portion only. Add the platform dimension to the length of ramp you will need. (Otherwise, what you have done is made the ramp portion steeper and less safe).

HANDRAILS AND MIDRAILS are both safety and assistive features. Standard height for adults are 2'-8" above the surface of the ramp and 1'-4" to 1'-6" for children. For residential ramps these dimensions can be adjusted for the particular user. If the handrail is installed on a wall, allow a 1 1/2" knuckle space between the rail and the wall.

CURBS help prevent wheels from going over the edge of the ramp surface, and as such, are an essential safety feature. These are continuous strips of wood, laid along both ramp edges (2" min. height).

RAMP WIDTH can vary, particularly for residential use. The recommended minimum width for residential ramps is 3'6" to allow adequate room for right angle or other turns.

CONSTRUCTION WITH LUMBER

FOUNDATION - A foundation anchors your ramp and distributes the weight and load of your ramp. Wood used for posts, or wood 8" or closer to the ground, must be decay-resistant.

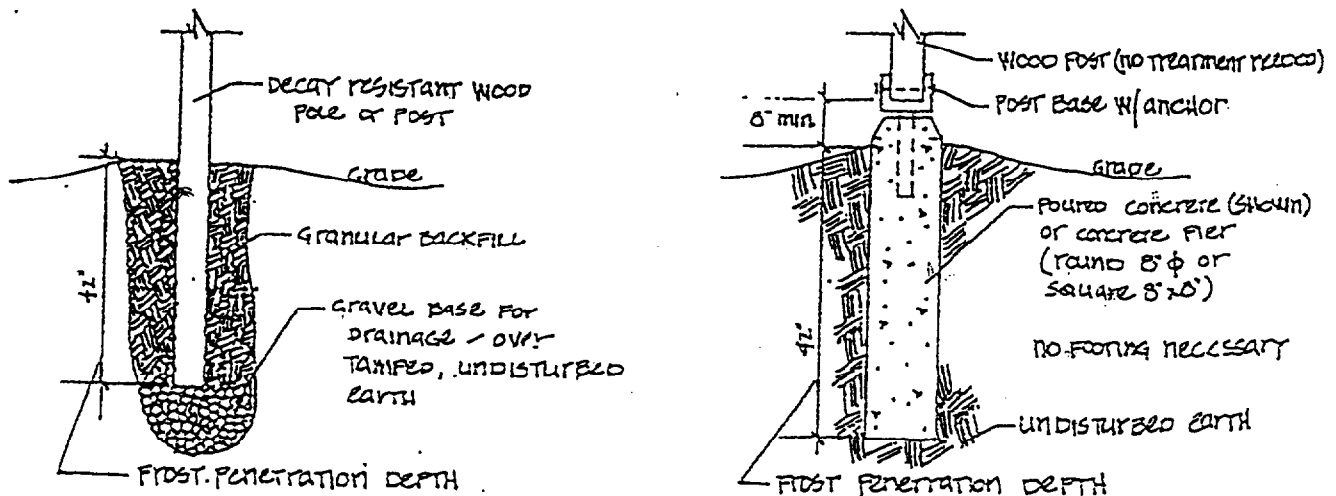


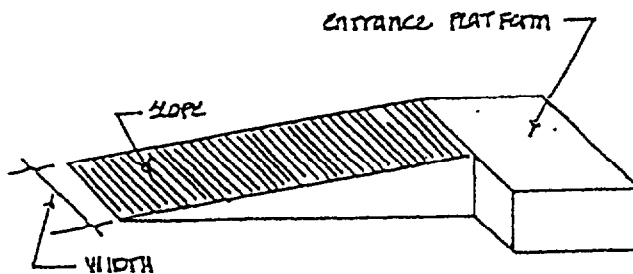
Fig 12 Foundation Options

OTHER FACTORS- Evaluate the type of door handle you have in terms of how easy it is to use (i.e., a lever type is easier than a knob). Also look at how quickly and how easily a door opens and closes, as well as how heavy the door is. Most of these considerations can be easily modified to provide maximum access.

Thresholds higher than 1/2" can be hazardous and/or impossible for wheelchair users to use. If the additional height is due to weather stripping, remove it from the threshold and apply it to the bottom of the door. Another alternative is to add a mini-ramp using wood or metal.

DESIGN

PLATFORMS are level areas which are located to allow for maneuvering, turning, and resting.



A platform at the entrance is essential. The platform should be 5 feet deep and extend a minimum of 18" on the latch side of the door.

If your ramp will be constructed so that it has a right angle turn or doubles back (fig 9 & 10), it'll need a direction change platform.

Fig 8 Single Run Ramp

change platform. Again, it should be 5 feet deep so that wheelchair users can make a turn safely and with ease.

If your ramp is straight and is longer than 30 feet, include a resting platform every thirty feet (fig 11).

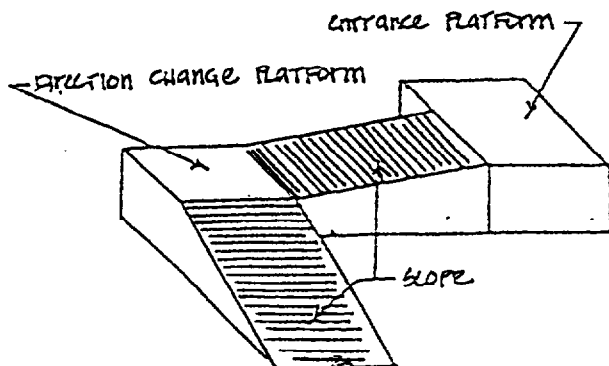


Fig 9 Right Angle Ramp

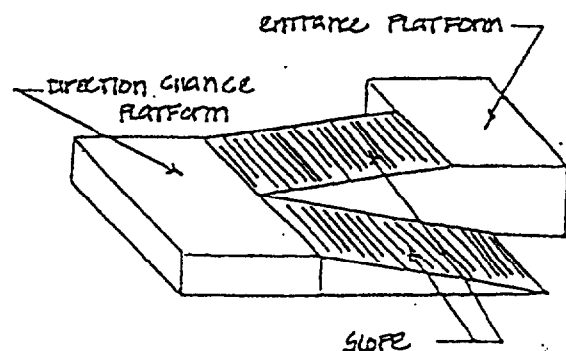
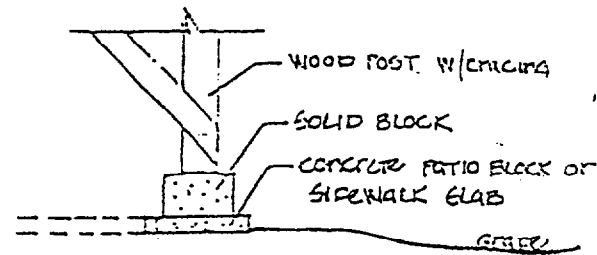
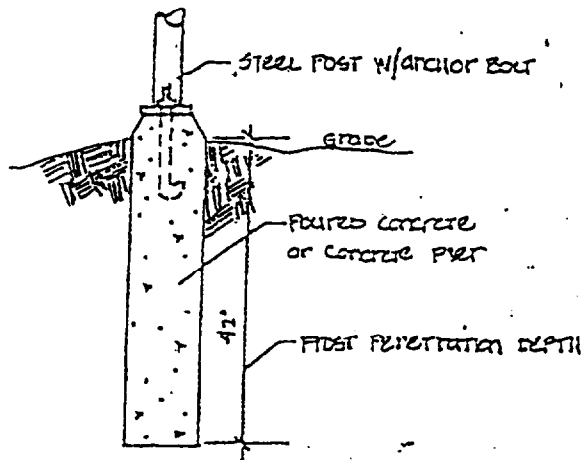


Fig 10 Double Back Ramp

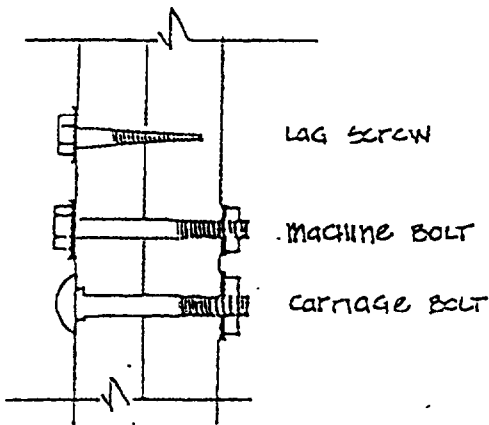
Fig 12 Foundation Options (Cont.)



To determine post sizes and spacing, use this chart:

Lumber size	Recommended span between posts	Recommended post size
2 x 6	6' - 12'	4 x 4
2 x 8	8' - 14'	4 x 4
2 x 10	10' - 16'	4 x 4
2 x 12	20' - 22'	4 x 4

SUPPORTING FRAMEWORK - This includes side beams (stringers), joists, and crossbracing. These support the ramp surface, distribute the load, and add strength to the structure.



Attach side beams to the posts with carriage bolts, machine bolts, or lag screws. When using bolts, drill a hole the size of the bolt (1/2" hole for 1/2" diameter bolt) and pound the bolt through the wood. While you can also fasten by using galvanized nails, this does not create as strong a joint.

For support to the decking surface, add a center beam. Face nail this beam with galvanized nails to the end joist and reinforce mid-way with bridging or a center joist.

Fig 13 Bolt & Screw Fasteners

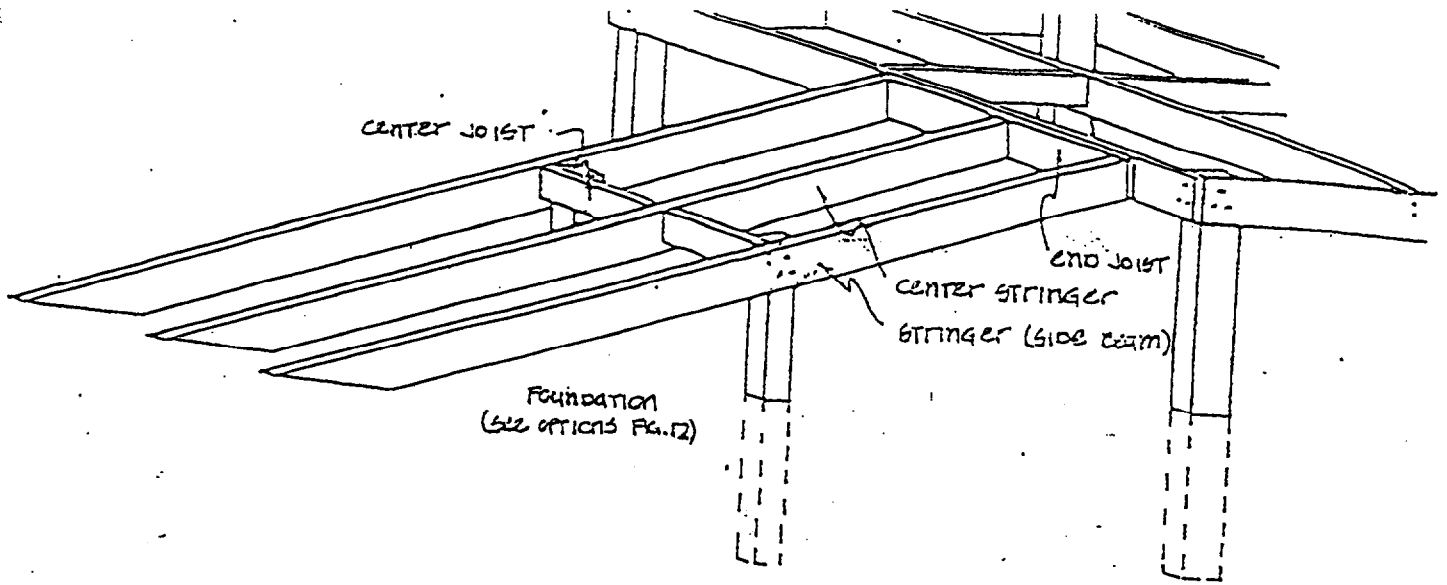
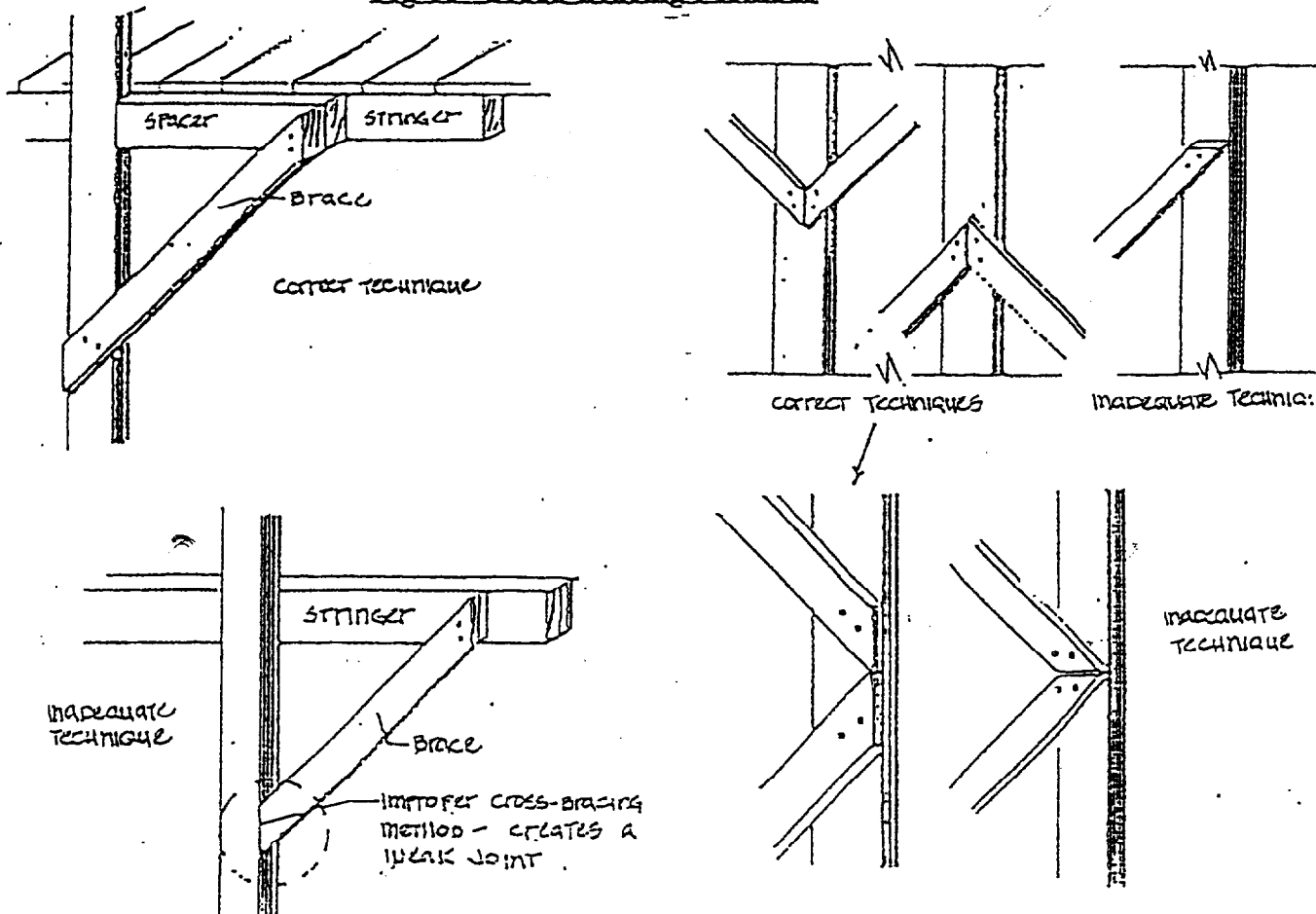


Fig 14 Construction Components

Joists run perpendicular to the side beams, and are used with a 5/8" OR 3/4" plywood surface. Minimum size lumber for joists is 2x6 with spacing 16" on center. Attach them to the side beams with 16d galvanized nails. (You can also use joist hangers, but they are expensive).

When posts are not secured in the ground, it's a good idea to apply cross bracing at the ramp posts.

Fig 15 Cross-Bracing Methods



SURFACE - Two common ramping surfaces are plywood sheets or decking. If you decided to use plywood, use a 5/8" or 3/4" exterior type, AC grade. This has a waterproof bond and a paintable veneer grade panel face. Secure the plywood at each joist with 8d galvanized nails spaced 10" apart and along each edge spaced 6" apart.

If you decide to use decking, use 2 x 4 or 2 x 6 dimension lumber. (Larger decking sizes are stronger, but have a tendency to warp). Apply it perpendicular to the direction of travel; secure it at the side and center beams with galvanized nails. Try to use edge-grained wood since it weathers better than flat-grained lumber (see fig 16). If you use flat-grained lumber, fasten it in place with the arc of the grain facing up. Leave a 1/8"-1/4" space between boards for water to drain off the surface.

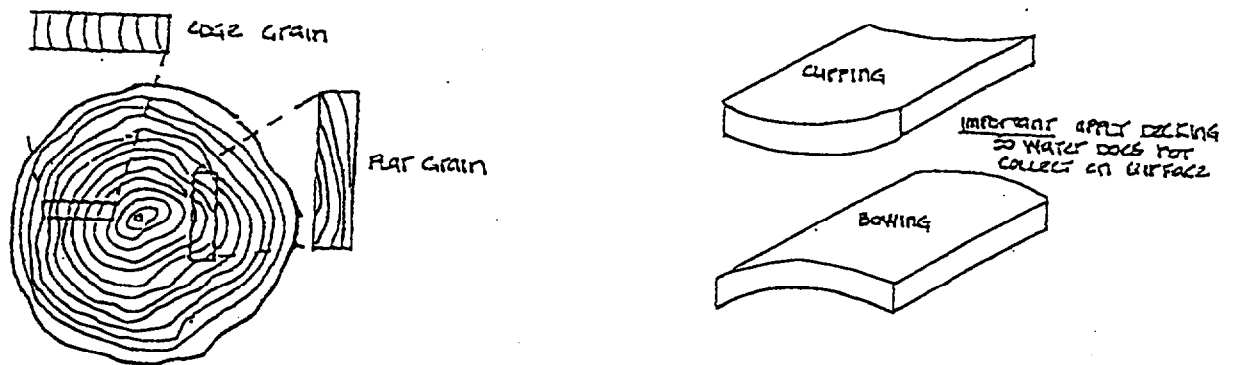


Fig 16 Lumber Identifiers

If a lip exists at the bottom of the ramp after the decking or plywood has been applied, you can attach a wide strip of metal over this lip to help ease of access to the ramp.

CURBS - A continuous 2" x 2" strip of wood nailed to the surface of the ramp along both edges can help prevent chair wheels from rolling off the ramp surface. A bottom rail or tow board (fig 17a) can serve the same purpose.

HANDRAILS AND MIDRAILS - This is the final construction step. Railings must be smooth, continuous, and anchored securely on both sides of the ramp. Accessibility codes require a maximum diameter of 1 1/4" for gripping ease. A 2 x 4 can be modified to meet this requirement (fig 17b).

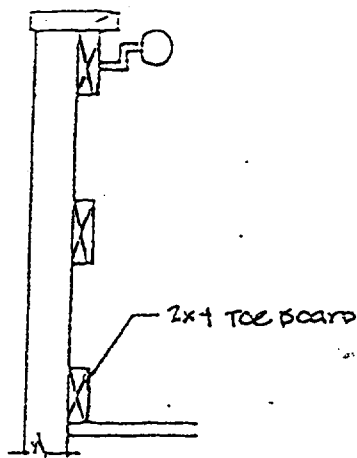


fig 17a Handrail Application

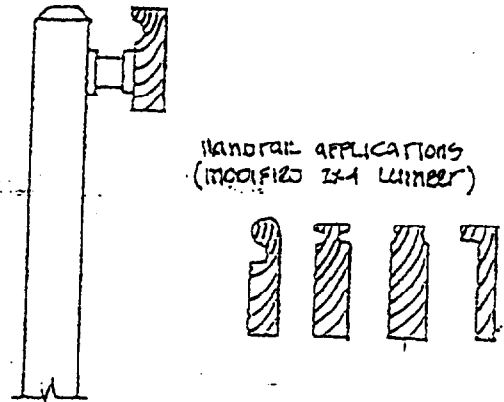


fig 17b Handrail Application

FINISHES - Ramps need some type of protection from the wear of weather, decay and regular use. Different options are noted below:

Redwood, cedar, or cypress can all weather naturally. These, however, are all expensive lumber.

If you decide to use a stain, select a type that does not rub off on clothing or track underfoot.

Paint requires more maintenance than natural finishes, but it is best for lower grade lumber. If you use plywood decking, seal the edges well so they don't de-laminate. Be sure to prime the wood first and use high quality paint specifically for heavy wear areas.

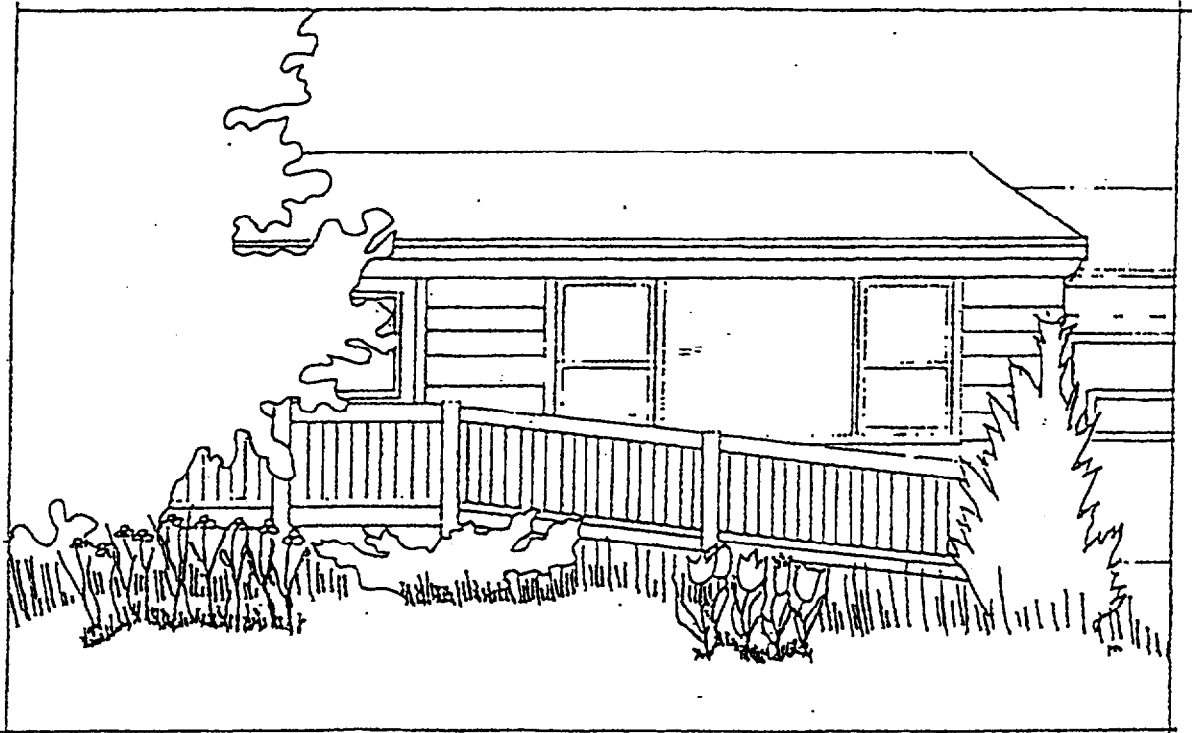
SLIP-RESISTANT SURFACES - These are applied after the finish except for porch or deck paint used with silica sand. When applying paint with sand, paint about 9 square feet of surface and sprinkle with silica, then immediately apply a second coat of paint. This surface is inexpensive, easy to apply, and relatively durable.

A non-skid material similar to coarse sandpaper with an adhesive backing is easy to apply and is made more durable by rounding the ends and adding waterproof adhesive to the edge. This is available in different widths and colors.

Cross-rib rubber runners, another option, are sold in 3-foot wide rolls and available by the square foot. Use a waterproof adhesive to secure to the ramp surface. It weathers relatively well.

AESTHETICS

Ramps can be designed and built to integrate will with the existing architecture. Landscaping or other applications, such as decorative fencing or screen panels, can be incorporated into your ramp planning to suit your personal tastes. Factors to consider include cost, amount of maintenance required, and amount of space you have available. There are many free sources to use to get ideas -- seed catalogs, library books on landscaping, nursery personnel, and on and on. Adding your personal touch can make your ramp not only functional, but an attractive addition to your home and yard.



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FACT SHEET
and
RECOMMENDATIONS

Current regulations, including the ADA Accessibility Guidelines [ADAAG], the Uniform Federal Accessibility Standards [UFAS], and the American National Standards [ANSI] avoid addressing alternative ramp configurations and imply that the only acceptable design is a "straight run" ramp, as outlined in Sections 4.8 of all three regulations. The only implied allowable deviations from the standards exist in the ADA regulations, although not specific to ramps. Section 2.2 of the ADA Guidelines allows "equivalent facilitation", or the use of alternative designs and technologies as long as "substantially equivalent or greater access is achieved". ADAAG Section 4.1.6 Accessible Buildings: Alterations also allows for deviation from the standards in cases where it is technically infeasible to fully comply with the Standards; in those cases, meeting the Standards to "the maximum extent feasible" is allowed within the scope of the alteration undertaken.

According to reliable sources from both the Access Board and the Department of Justice, the following clarifications regarding alternative ramp designs are appropriate:

- 1) Because alternative or curved ramp designs are not addressed nor specifically prohibited in the standards, they are not considered a violation of the standards if used as long as the designs meet the slope, rise, cross slope, and all other technical ramp requirements such as clear width, landings, handrails, and edge protection.
- 2) Care should be taken, however, in designing ramps with curved surfaces because:
 - a) inside curve slopes are steeper than outside curve slopes since slopes are a function of rise over run; the shorter distance creating a steeper slope.
 - b) curved ramps, when in full compliance with slope and cross slope requirements, are in fact a warped plane [surface] and compromise the four contact points and stability of a wheelchair; the tighter the radius of a curved ramp, the more warped the surface of the ramp will be.
 - c) currently, there are no technical recommendations available on minimum curve radii to maintain a reasonably level ramp surface; research may be initiated by the DOJ, however.
 - d) level landings are still required at each ramp rise of 30" and change of ramp direction.

SUMMARY and RECOMMENDATIONS: [also see attached sketch]

Alternative ramp designs are not prohibited by the regulations. When designing curved ramps, however, calculate the 1 : 12 maximum ramp slope on the inside curve; the outside curve will always be at a less steep slope and a reasonably level ramp surface maintained. Gentle curves are recommended to minimize warping and providing the most level ramp surfaces possible. Follow required ADAAG ramp guidelines.