

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 221 Woodford St		Owner: Brett Astor		Phone: 775-4710		Permit No 950752
Owner Address: c/o Baxter Property management		Leasee/Buyer's Name: 305 Commercial St Ptd, ME 04101		Business Name:		
Contractor Name: Precision Contracting		Address:		Phone:		PERMIT ISSUED Permit Issued: JUL 24 1995 CITY OF PORTLAND
Past Use: 9-fam		Proposed Use: Same		COST OF WORK: \$ 2,300.00 PERMIT FEE: \$ 30.00		
Proposed Project Description: Remove Exterior Install 3 Fire Doors Install Fire Escape		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		Zone: CBL: 130-B-001 Zoning Approval: All in town v 7/21/95 - S Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Signature: [Signature]		Signature: [Signature]		
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature: _____ Date: _____		
Permit Taken By: Mary Gresik		Date Applied For: 10 July 1995				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

P/U for debris removal

PERMIT ISSUED WITH REQUIREMENTS

Handwritten notes: Call Brett 874-8703-5211

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Signature of Brett Astor

21 July 1995 - reapplied
10 July 1995

SIGNATURE OF APPLICANT: Brett Astor ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT

Handwritten mark: 6

COMMENTS

9/15/95 No work yet - A.P. Rowe
10-8-96 Four doors have all been installed

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 7/24/85

ADDRESS: 221 Woodburys St.

REASON FOR PERMIT: Renovation

BUILDING OWNER: Brett Aster

CONTRACTOR: Precision Contracting

PERMIT APPLICANT: Brett Aster

APPROVED: ✓ DENIED: _____

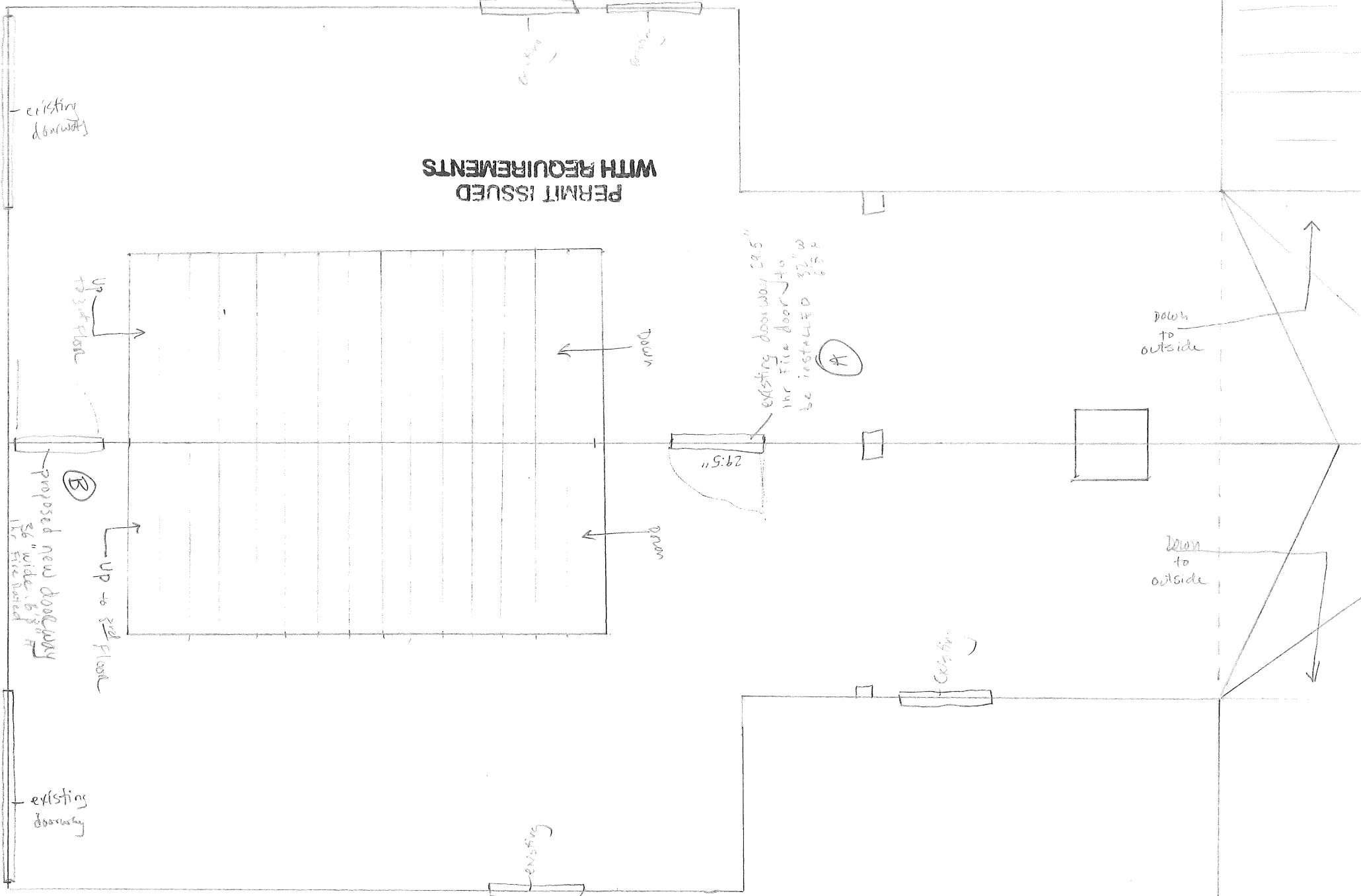
CONDITIONS OF APPROVAL OR DENIAL:

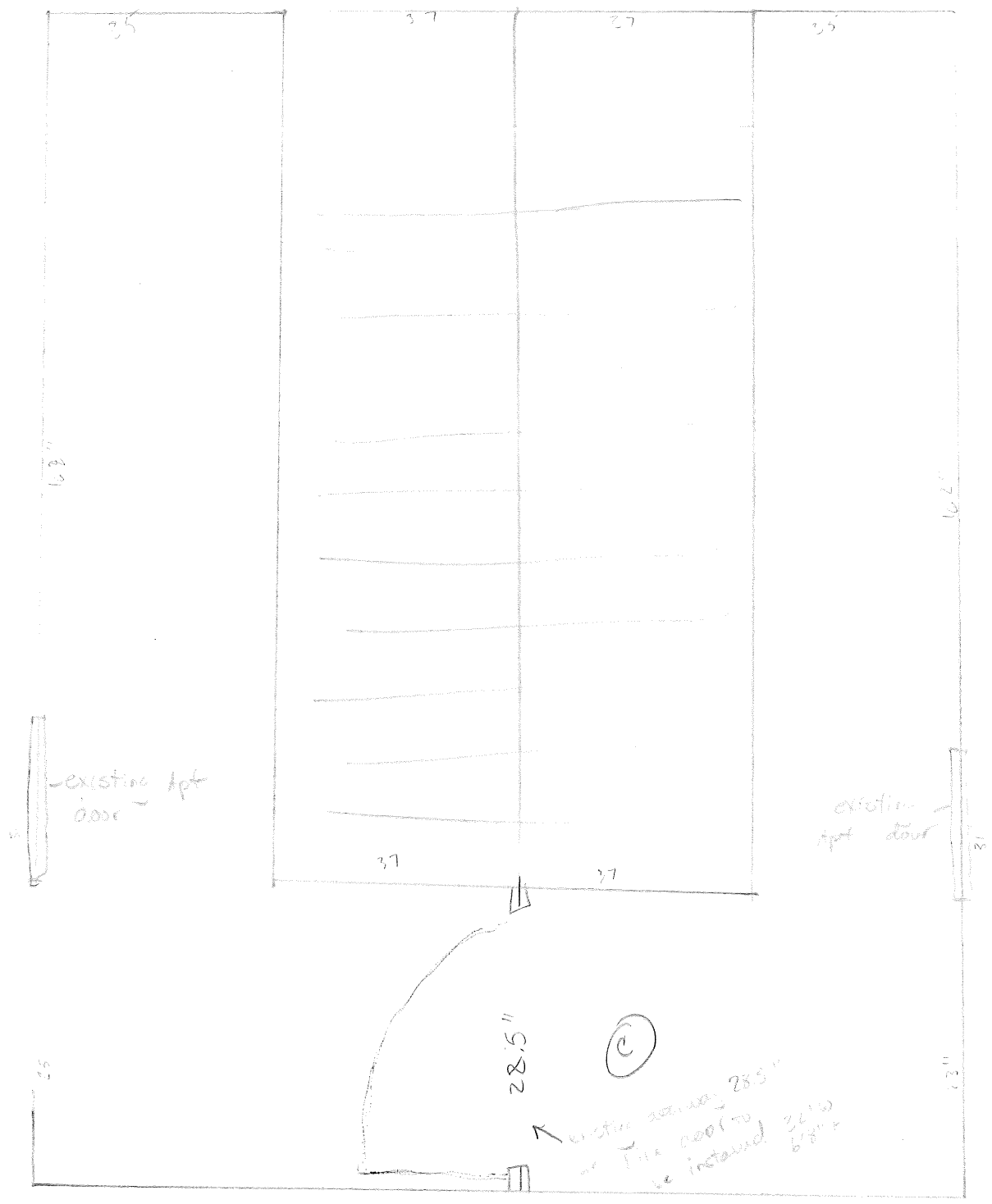
1. All vertical openings shall be enclosed with construction having a fire rating of at least (1)/~~(2)~~ hour - including fire doors with self closers and fire exit hardware.
2. Each apartment shall have access to two separate, remote and approved means of egress. A single exit is acceptable when it exits directly from apartment to the building exterior with no communications to other apartment units.
3. Each apartment shall be equipped with approved single station smoke detectors powered by the house current. The detectors shall be located in an area which will provide protection for sleeping areas and shall be interconnected within the living unit. An additional smoke detector shall be provided in the sleeping room(s). When activated, the detectors shall initiate an alarm in that sleeping room.
4. The boiler or furnace shall be protected by enclosing with one hour fire rated construction including fire doors and ceiling or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gpm, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.

5.) Fire exit doors shall be properly ~~be~~ labelled with signs.

SECOND FLOOR HALLWAY

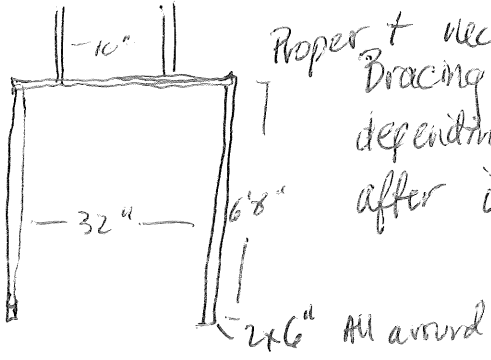
221 Woodford St.





221 Waukegan St.
Brett Astor

(A)



Proper + necessary
Bracing to be installed
depending on where studs fall
after wall is opened up

(B) Same as above, to be 36" wide, 6'8" H.

(C) Same As (A) - to be 32" wide, 6'8" H.