

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that VETERANS OF FOREIGN WARS

Located At 693 FOREST AVE

Job ID: 2012-02-3298-ALTCOMM

CBL: 129-L-010-001

has permission to Do interior alterations for future tenant, ADA bath, walls, roofing, ACT ceiling, enclose lift shaft provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

 3/20/12  
\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD



# Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development  
Building Inspections Division

Location: 693 FOREST AVE

CBL: 129 L010001

Issued To: Veterans Of Foreign Wars

Issued Date: 12/07/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 201240927 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

GROCERY STORE  
USE GROUP - M  
TYPE - 5-B  
IBC 2009

LIMITING CONDITIONS: NONE

Approved:

12-7-12

Inspector

Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-02-3298-ALTCOMM	Date Applied: 2/16/2012	CBL: 129- L-010-001	
Location of Construction: 693 FOREST AVE (695)	Owner Name: VETERANS OF FOREIGN WARS	Owner Address: 687 FOREST AVE PORTLAND, ME 04103	Phone:
Business Name:	Contractor Name: Maine Properties Inc. - Travis Blake	Contractor Address: PO Box 368, Scarborough, ME 04074	Phone: 207-415-3450
Lessee/Buyer's Name: Sonkn Nguyen & Hai Pham	Phone:	Permit Type: BLDG - Building	Zone: B-2b
Past Use: Retail - Aubuchon Hardware	Proposed Use: Retail - grocery store <del>tenant</del> <del>fit up</del> Alterations for future tenant	Cost of Work: 48000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: M Type: 5B IBC-2009 Signature: JMB
Proposed Project Description: interior alterations to retail space		Signature: <i>[Signature]</i> (58)	3/20/12
Proposed Project Description: interior alterations to retail space	Pedestrian Activities District (P.A.D.)		
Permit Taken By:	<b>Zoning Approval</b>		

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
2. Building Permits do not include plumbing, septic or electrical work.	<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
	Date: OK w/ conditions 2/17/12 ABM	Date:	Date: ABM

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

4-3-12 DWM/BKL Pre construction Jason 653-8783 no show  
discussed Drywall at ceiling. 5B don't need to tape.

4-20-12 DWM/BKL/PSF Steve 408-5957 <sup>Scott Brown</sup> ~~650-3506~~ Close to OK  
Plumbers for future unpermitted kitchen plumbed to code.

7-20-12 DWM/BKL/Capt Pirone Final Fall  
complete shaft, provide 60 min enclosure to basement. Fire & Elec Fall  
Basement room enclosed w/o inspection, Bathroom incomplete

9-26-12 GF/BKL ABOVE CEILING PASS

12-4-12 GF/BW FINAL HANDRAILS 1 ea SIDE INTERIOR  
BKL DOOR SWEEP  
ASTRIGAL  
HOOD?  
BATH E-LIGHT  
EXTERIOR STAIRS HANDRAIL (1)  
GAPS & HOLES BSMT CEILING

12-6-12 GF FINAL CORRECTIONS MADE - PASS

CLOSED

4-3-12 DWM/BKL Pre construction Jason 653-8783 no show  
discussed Drywall at ceiling. 5B don't need to tape.

4-20-12 DWM/BKL/PSF Steve 408-5957 <sup>Scott Brown</sup> ~~650-3506~~ Close-in OK  
Plumbers for future unpermitted Kitchen plumbed to code.

7-20-12 DWM/BKL/Capt Pirone Final Fall  
Complete shaft, provide 60 min enclosure to basement. Fire & Elec Fed  
Basement room enclosed w/o inspection, Bathroom incomplete



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-02-3298-ALTCOMM

Located At: 693 FOREST AVE

CBL: 129- L-010-001

## **Conditions of Approval:**

### **Zoning**

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. This permit is for construction of an ADA bathroom; two exterior windows on the Vannah St side of the building, a partition wall for a possible future kitchen space; and repair of the existing shaft enclosure for the material lift. Additional tenant fit up permits shall be required for tenant fit up and include a life safety plan for the entire space as well as kitchen equipment and use plan(s) prior to issuance of any certificate of occupancy.
4. Vertical openings (Shafts) shall be 60-minute fire rated including fire door assemblies.
5. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
6. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
7. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
8. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
9. A firefighter Building Marking Sign is required.
10. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
11. A single source supplier should be used for all through penetrations.

## **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. THIS PERMIT DOES NOT APPROVE THE TENANT FIT UP OF THIS SPACE, ONLY THE INFRASTRUCTURE AS DESCRIBED; A SEPARATE APPLICATION FOR REVIEW IS REQUIRED FROM THE TENANT.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



## Benjamin Wallace - Re: Building permit for 695 Forest Ave

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**From:** Benjamin Wallace  
**To:** Steve Murphy  
**Date:** 3/14/2012 1:01 PM  
**Subject:** Re: Building permit for 695 Forest Ave  
**CC:** Jeanie Bourke  
**Attachments:** Benjamin Wallace.vcf

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Hi Steve,

To reiterate what we discussed on the phone this after noon, this is not a tenant fit up permit but construction only in preparation for a possible future tenant. The scope of work under this permit is to install an ADA bathroom; two exterior window assemblies on the Vannah Street side of the building; build a partition wall for a proposed future kitchen space; and repair a shaft that connects the basement with the top floor level for an existing material lift. A separate fit up permit will be required prior to any certificate of occupancy and will have to provide a life safety plan for the entire space as well as kitchen equipment and use plan(s). The conditions on this permit will reflect this and that the shaft must be 60-minute fire rated including fire doors.

Thanks,

Lt. Benjamin Wallace Jr.  
Fire Prevention Officer  
Portland Fire Department  
380 Congress Street  
Portland, Maine 04101  
(207)874-8400  
wallaceb@portlandmaine.gov

>>> "Steve Murphy" <stevem@mpropertiesinc.com> 3/14/2012 7:39 AM >>>

Good Morning Gentlemen.

I am Emailing you this morning to try to touch base with you regarding the building permit we have applied for at 695 Forest Avenue. As per a note in the file there is still information you need in order to process your portion of the application.

As with all permits time is important. I would like to meet with you so I can be clear as to what information is required.

Please contact me at your earliest convenience to discuss this matter with me.

Steve Murphy

Millwork Project Manager  
Maine Properties Inc.  
207-408-5957

B-26

2012 02 3 298

66



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.


Location/Address of Construction: <u>695 Forest Ave (693)</u>		
Total Square Footage of Proposed Structure/Area <u>Existing structure 5,500 sq ft</u>		Square Footage of Lot <u>N/A</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>129      2      010</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Veterans of Foreign Wars</u> Address <u>687 Forest Ave</u> City, State & Zip <u>Portland, Me 04103</u>	Telephone: <u>Travis@Maine Properties</u> <u>415-3450</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b>  <b>FEB 16 2012</b>  Dept of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>48,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>500</u>
Current legal use (i.e. single family) <u>Retail Space</u> If vacant, what was the previous use? <u>Retail Space - Aubuchon Hardware</u> Proposed Specific use: <u>Asian Supermarket &amp; Food Prep</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Tenant fit up for retail space with small kitchen, new ceiling, new hvac, new roof, new flooring, adding two windows</u>		
Contractor's name: <u>Maine Properties, Inc</u> Address: <u>PO Box 368</u> City, State & Zip <u>Scarborough, Me 04074</u> Telephone: <u>207-883-3753</u> Who should we contact when the permit is ready: <u>TRAVIS BLAKE</u> Telephone: <u>207-415</u> Mailing address: <u>PO Box 368 Scarborough, Me 04074</u>		

~~Change of use~~  
 575.00  
 500.00  
 500.00

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

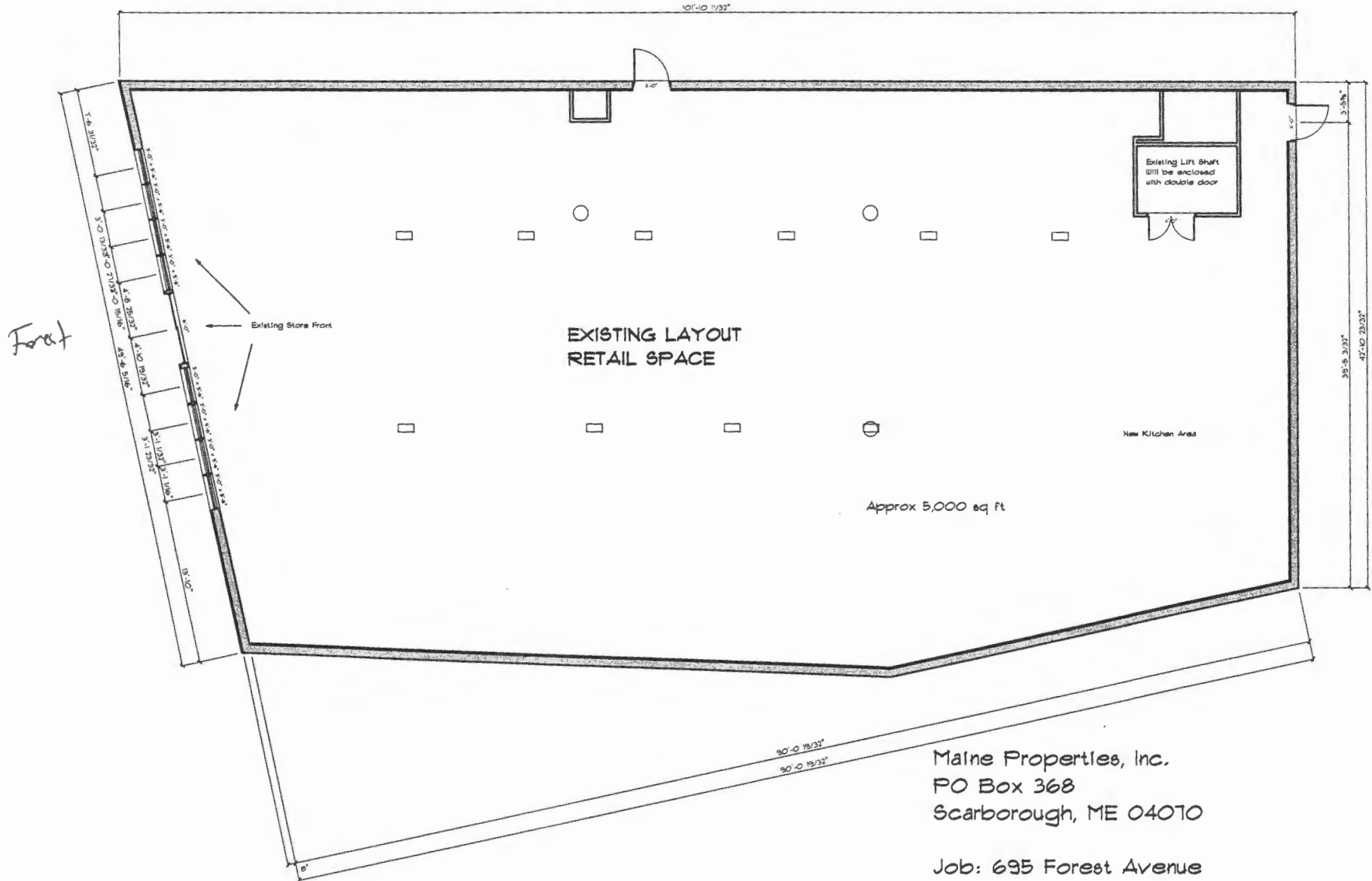
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 2/12/12

This is not a permit; you may not commence ANY work until the permit is issue

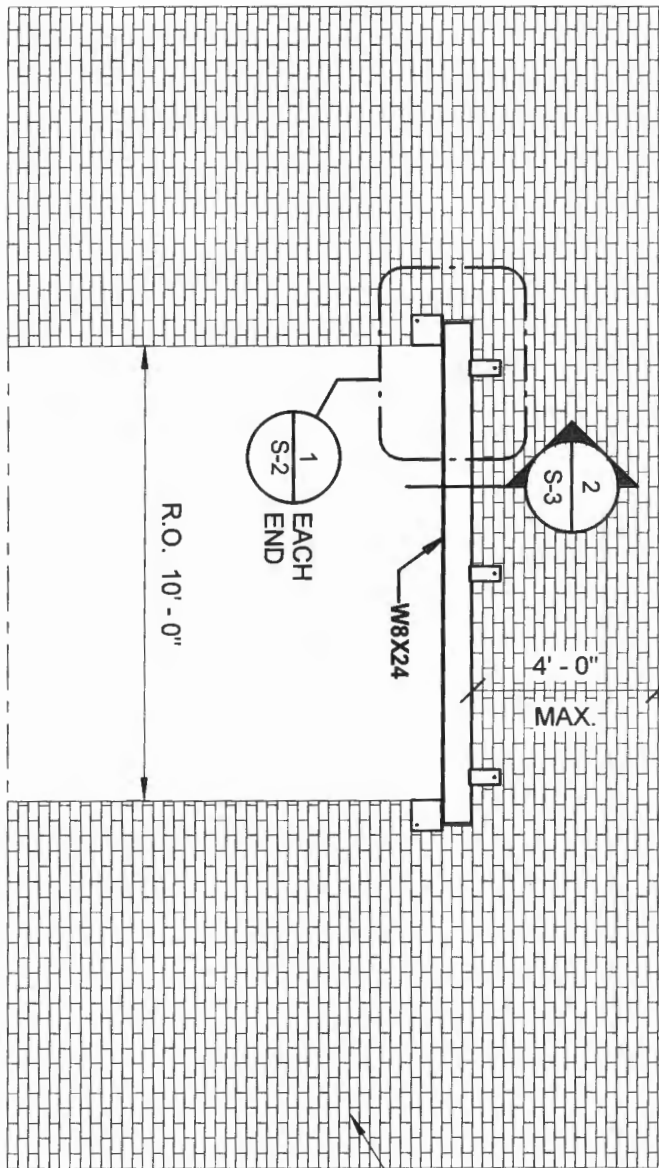


Vannich Ave



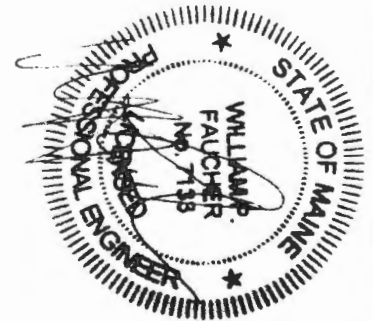
Maine Properties, Inc.  
PO Box 368  
Scarborough, ME 04070

Job: 695 Forest Avenue  
Picture not to scale



(E) BASE OF WALL  
0'-0"

(E) MASONRY  
WALL



MASONRY WALL OPENING ELEVATION

VFW MASONRY WALL OPENINGS  
FOREST AVENUE, PORTLAND, ME

Scale: 1/4" = 1'-0"

Project No: 12012

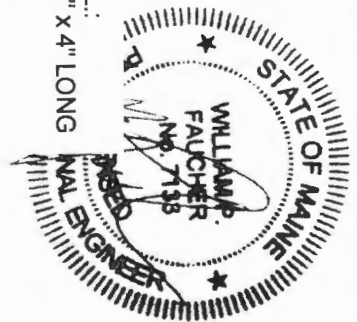
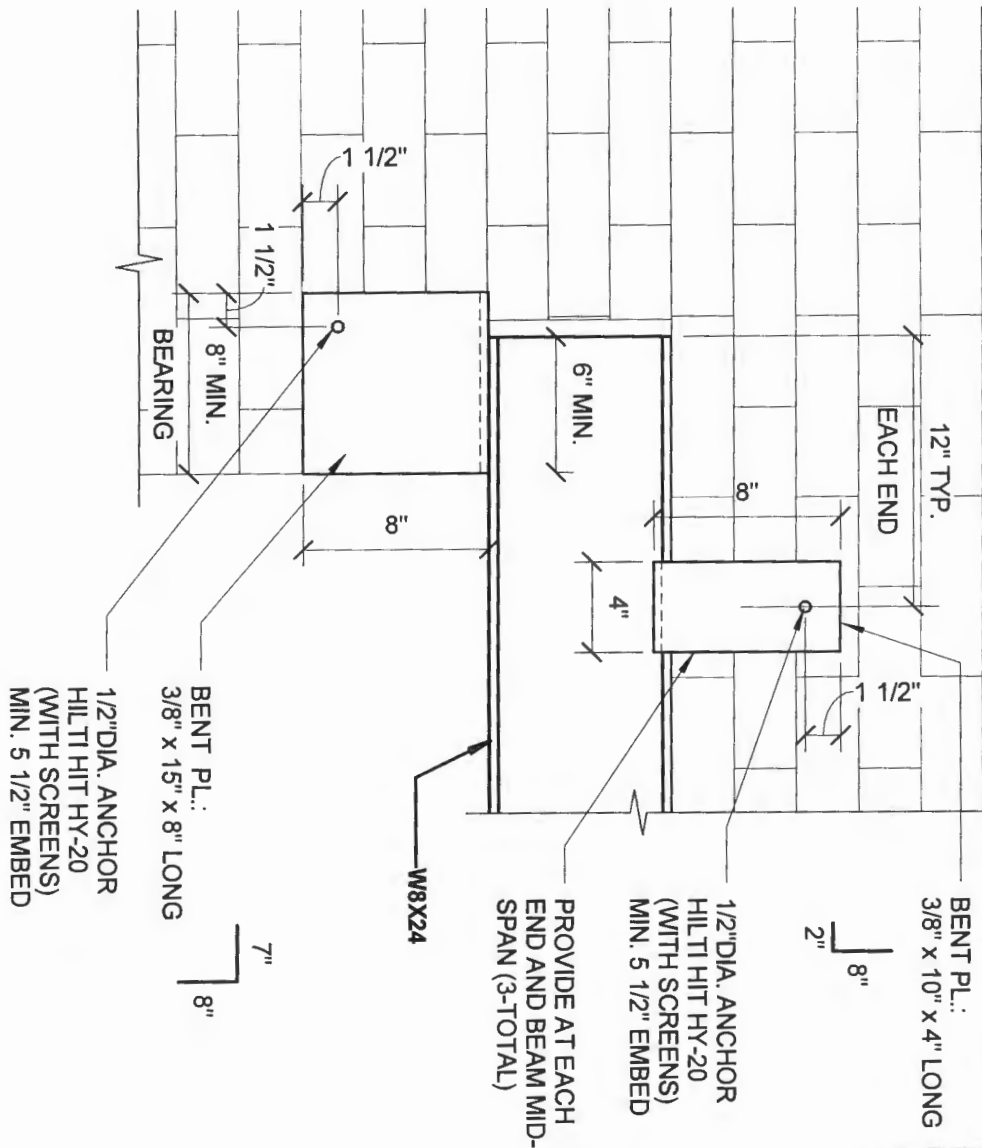
Date: 02/01/12

CAD File: 12012S.rvt

**Allied Engineering**  
Structural Mechanical Electrical Commissioning

160 Veranda Street  
Portland, Maine 04103  
T: 207.221.2260  
F: 207.221.2266  
Web: www.allied-eng.com

S-1



DETAIL - 1

VFW MASONRY WALL OPENINGS  
FOREST AVENUE, PORTLAND, ME

Scale: 1 1/2" = 1'-0"

Project No: 12012

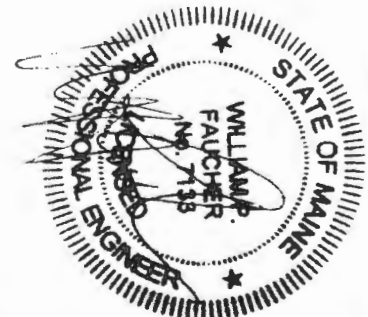
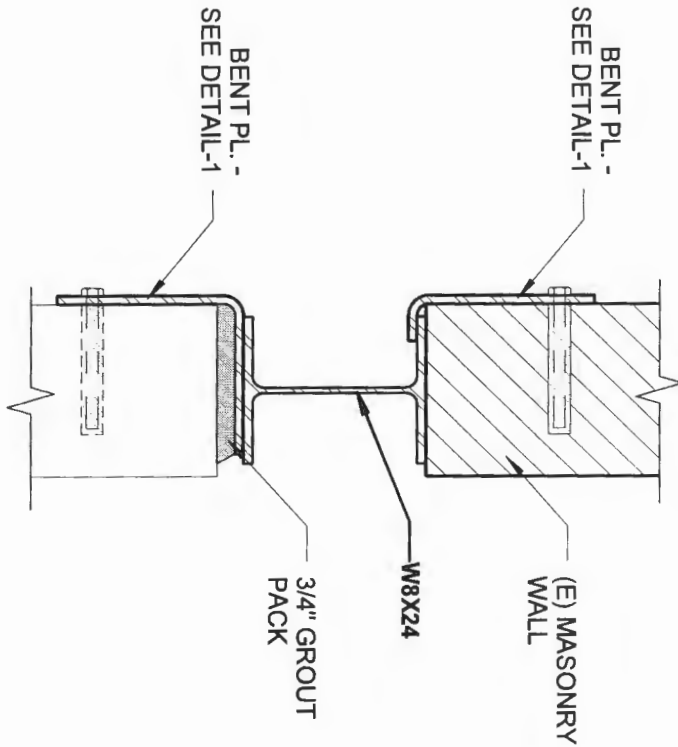
Date: 02/01/12

CAD File: 12012S.rvt

S-2

**Allied Engineering**  
Structural Mechanical Electrical Communications

160 Veranda Street  
Portland, Maine 04103  
T: 207.211.1266  
F: 207.211.1266  
Web: www.allied-eng.com



DETAIL - 2

VFW MASONRY WALL OPENINGS  
FOREST AVENUE, PORTLAND, ME

Scale: 1 1/2" = 1'-0"

Project No: 12012

Date: 02/01/12

CAD File: 12012S.rvt

S-3

**Allied Engineering**  
Structural Mechanical Electrical Construction

160 Veranda Street  
Portland, Maine 04103  
T: 207.221.2260  
F: 207.221.2266  
Web: www.allied-eng.com

# VETERANS OF FOREIGN WARS OF THE UNITED STATES



VFW Deering Memorial Post 6859  
687 Forest Ave.  
Portland, Maine 04103  
(207)773-8745

February 15, 2012

To: City of Portland, Cumberland County, Maine

Please be advised that we the Veterans of Foreign Wars of the United States, Deering Memorial Post 6859, 687 Forest Ave. (LANDLORD) HEREBY GRANT Sonkn Nguycn and Hai Pham (TENANT) permission to change the use of the property at 695 Forest Ave. from a retail hardware store to a retail grocery store.

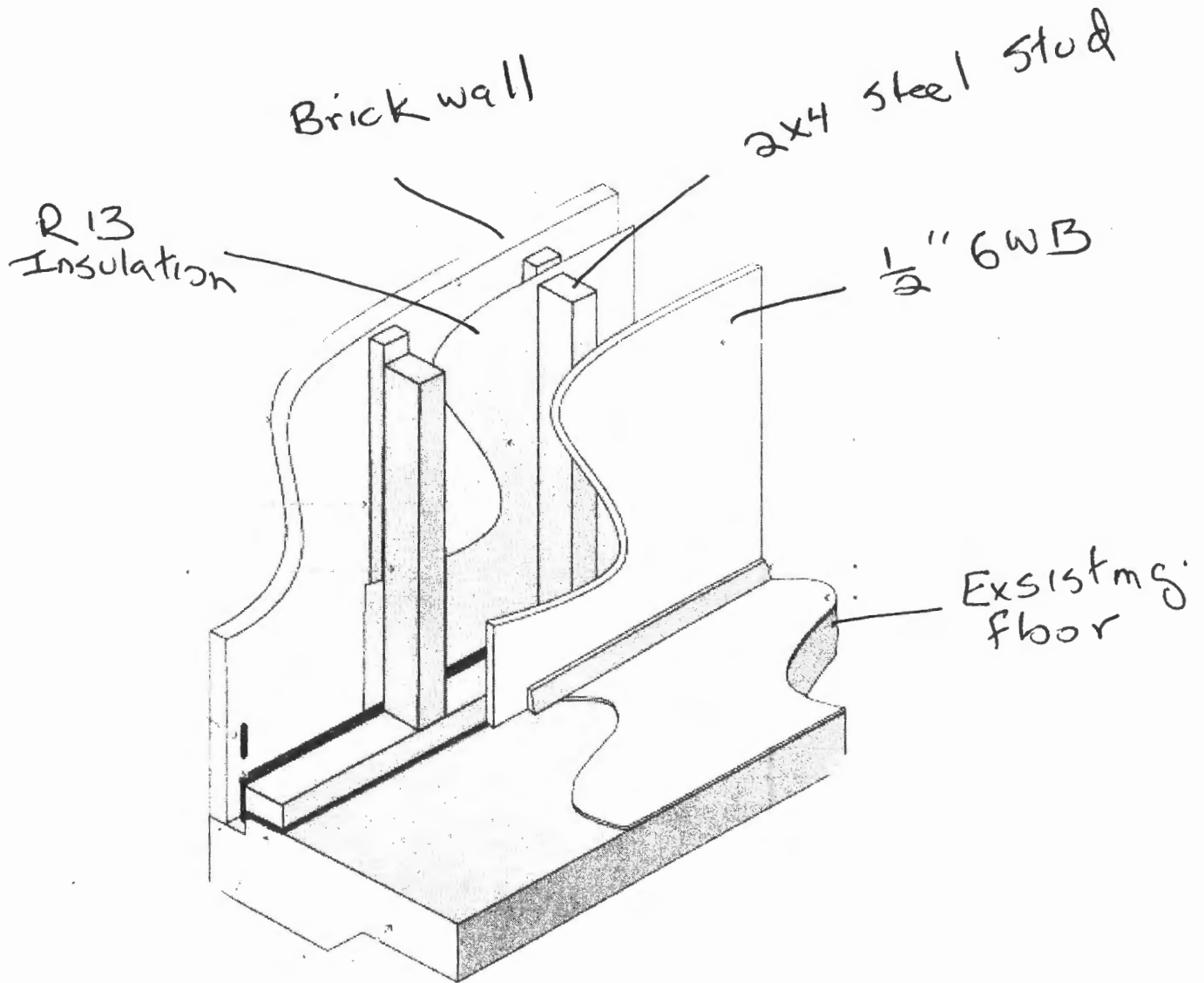
LANDLORD:

A handwritten signature in black ink, appearing to read "Thomas R. Lussier", with the date "2/15/2012" written below it.

Signature  
Thomas R. Lussier  
Post 6859 Adjutant

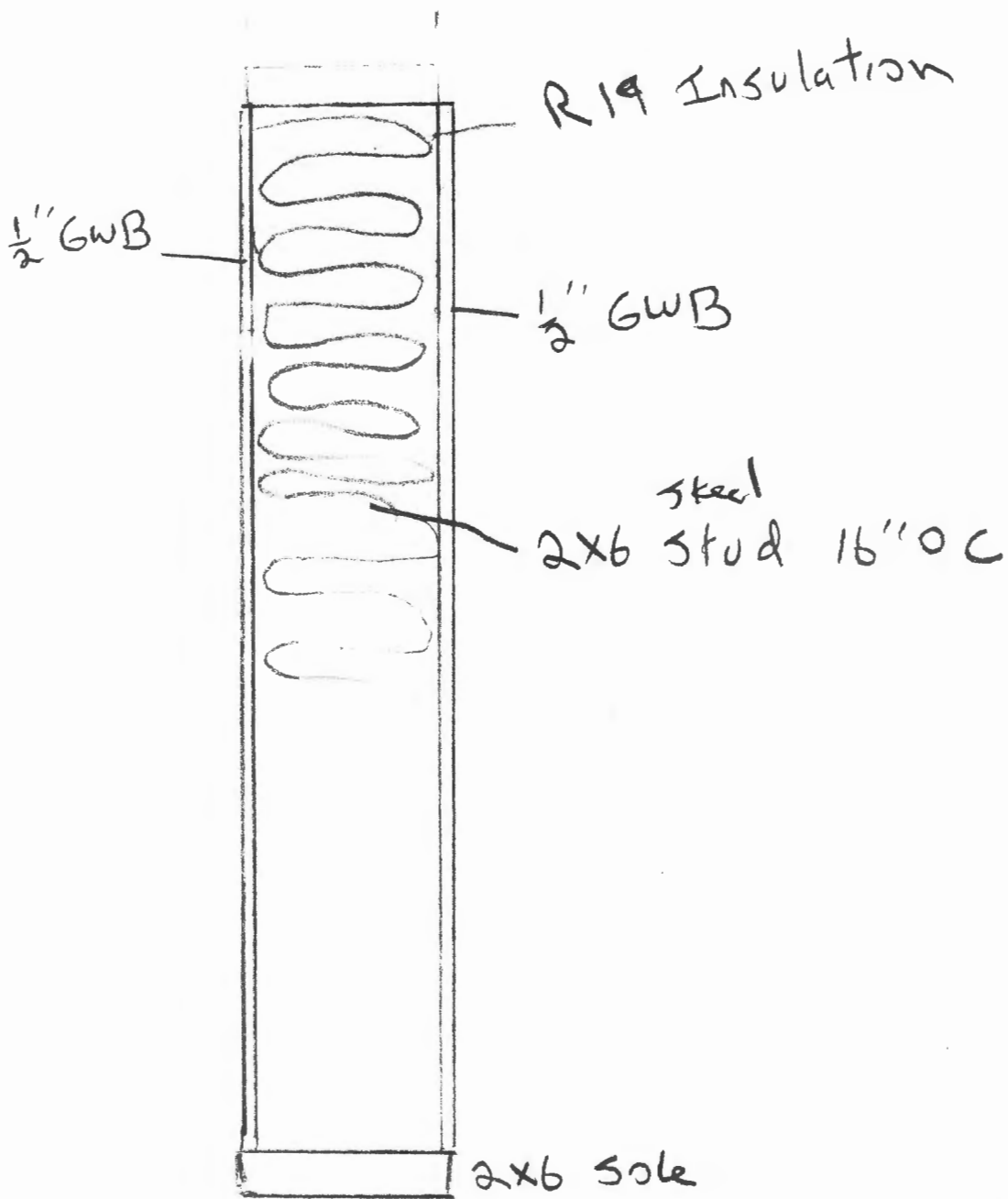


# Interior Wall Section Wall Type 1



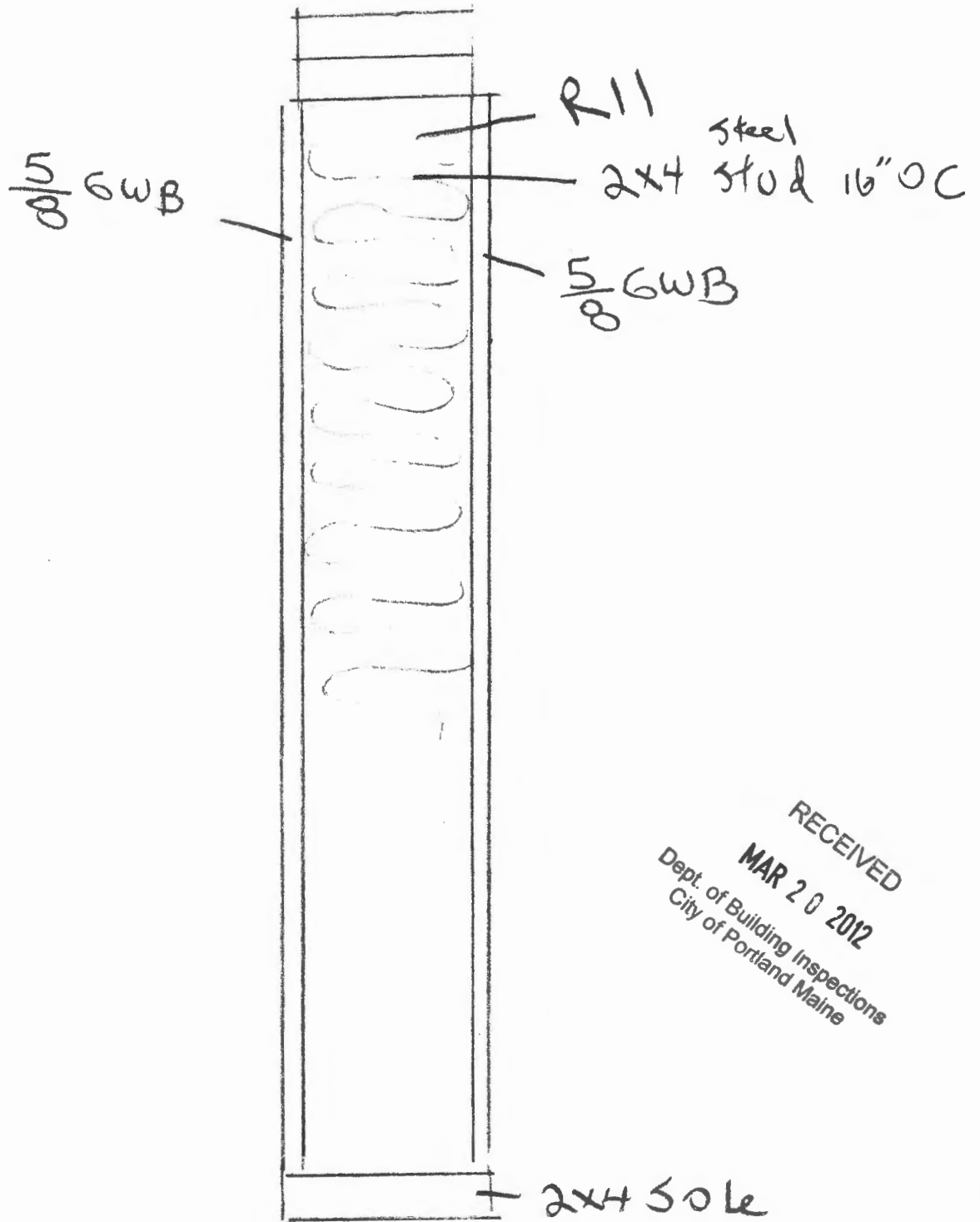
RECEIVED  
MAR 20 2012  
Dept. of Building Inspections  
City of Portland Maine

# Typical Interior Wall - Bathroom Type 2



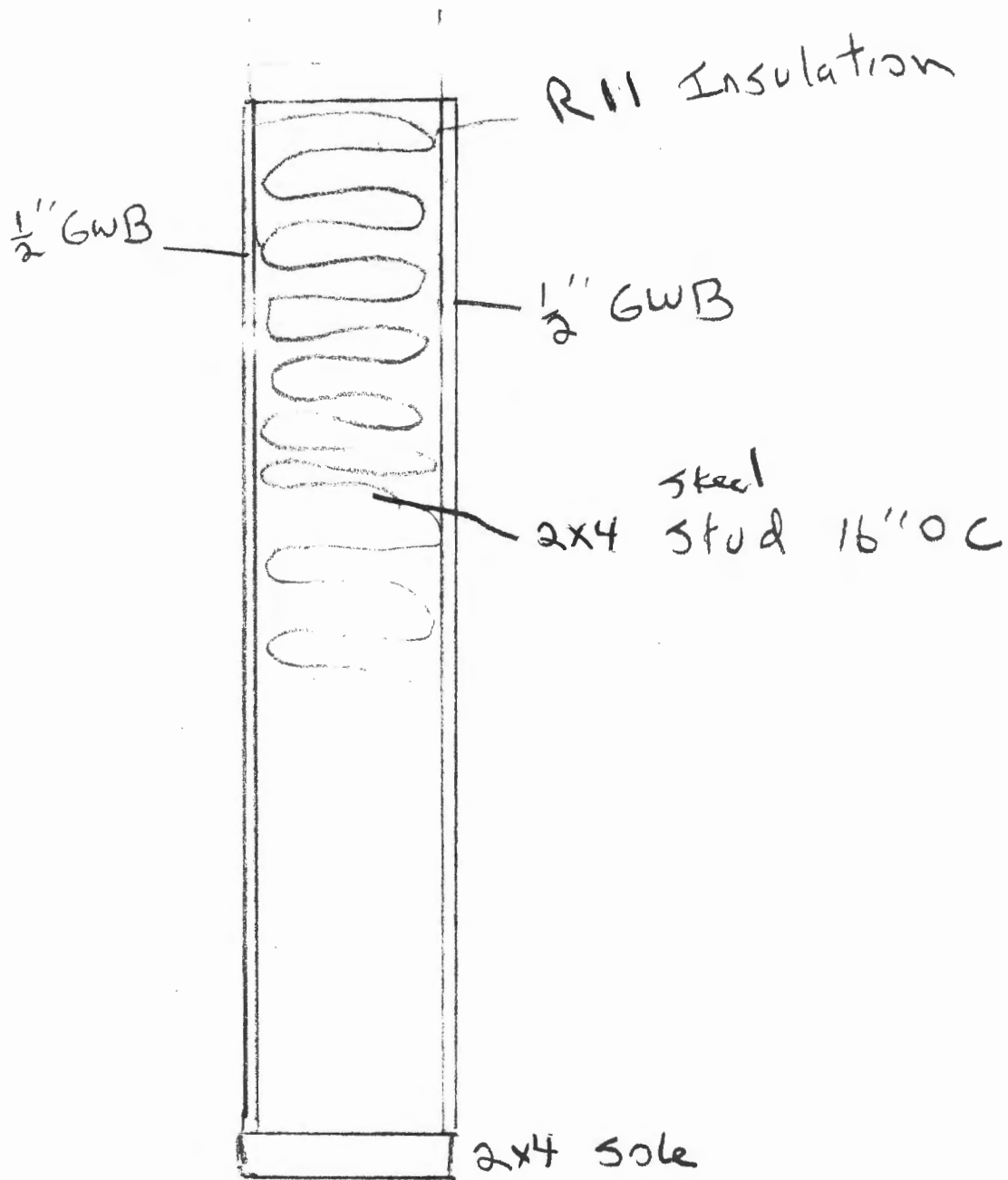
RECEIVED  
MAR 20 2012  
Dept. of Building Inspections  
City of Portland Maine

Typical Wall at elevator Shaft  
All doors in and out of shaft to  
be 60 min UL Listed fire doors  
Wall Type 3



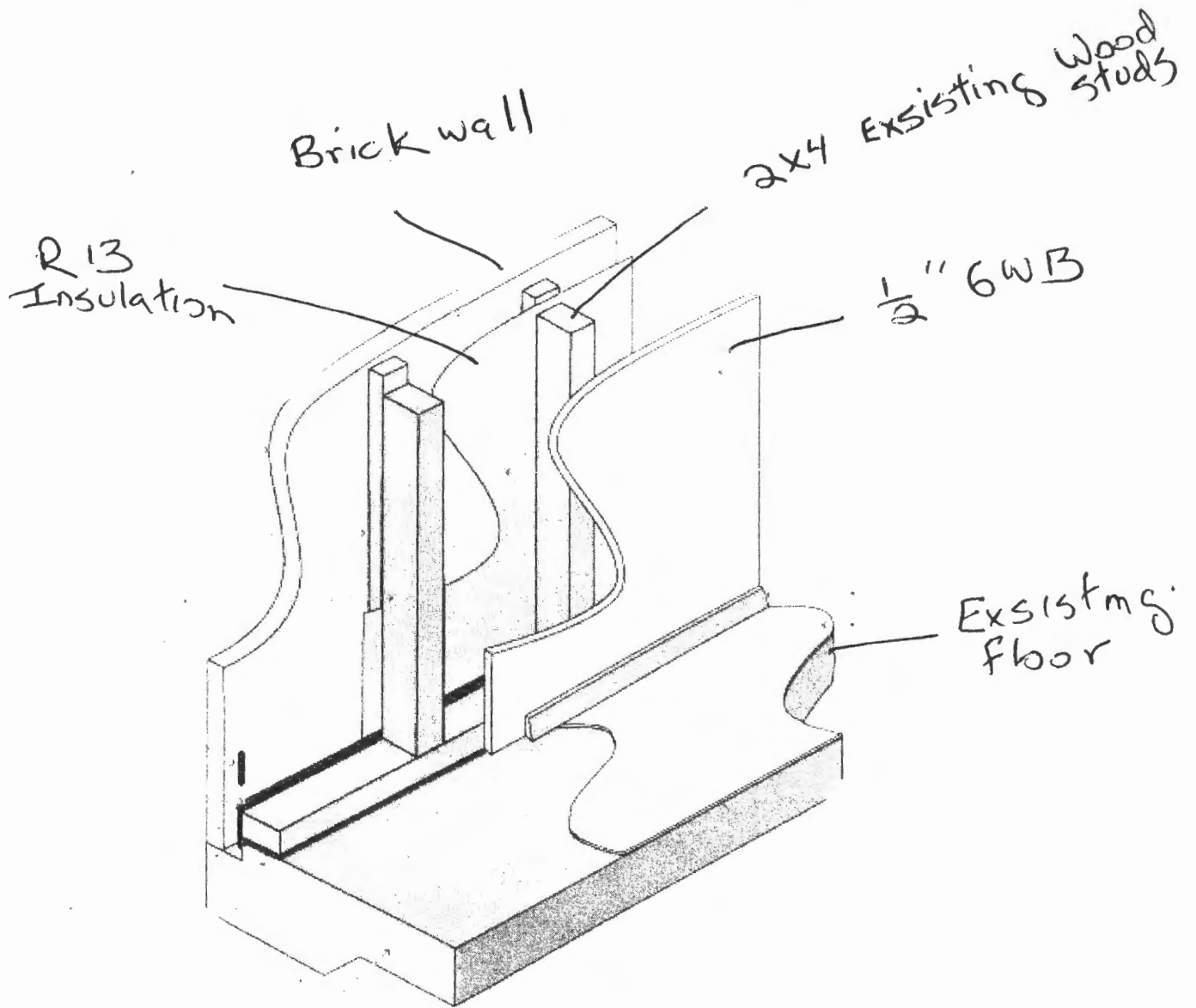
RECEIVED  
MAR 20 2012  
Dept. of Building Inspections  
City of Portland Maine

Typical Interior Wall - Kitchen Type 4

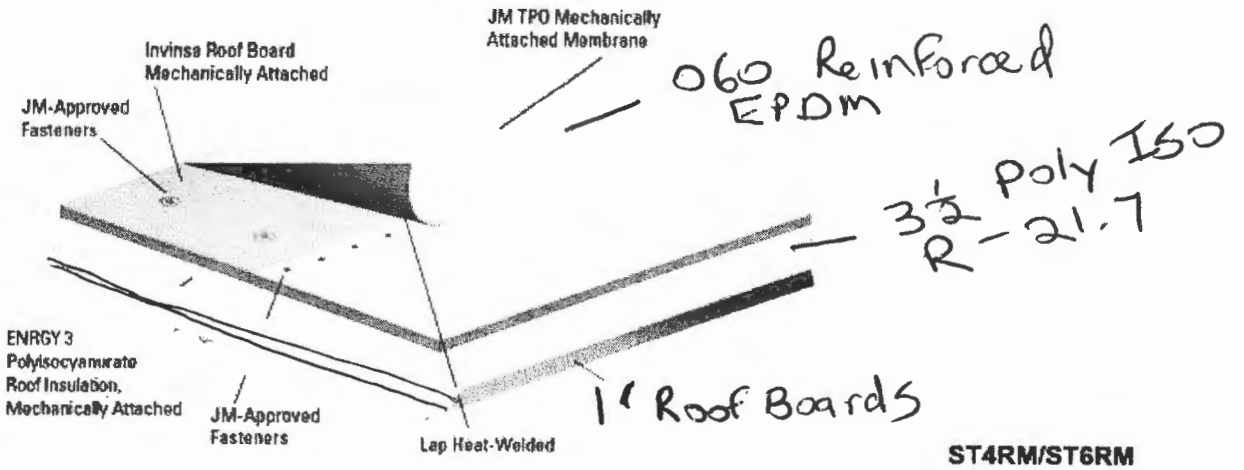


RECEIVED  
MAR 20 2012  
Dept. of Building  
City of Port

Interior Wall Section Wall Type 5



RECEIVED  
MAR 20 2012  
Dept. of Building Inspections  
City of Portland Maine



Above roof on 2x12 Rafters 16" OC.

RECEIVED  
 MAR 20 2012  
 Dept. of Building Inspections  
 City of Portland Maine



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

Feb 16 2018

Received from Maine Properties LLC

Location of Work 195 Franklin

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (IL) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2)

Other \_\_\_\_\_

CBL: 189 L 010

Check #: 23061

Total Collected \$ 555.00

Bldg Fee 500.00  
- (45) 95.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: J. Gray

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

#2012 02 3098