DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMIT

This is to certify that VIP FURNITURE LLC

Located At 683 FOREST

Job ID: 2011-02-378-UI

CBL: 129- -L-004-001- - - - -

has permission to Install Walk in Freezer

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.	A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer 4/7/11

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No:	Date Applied:	CBL:	
2011-02-378-UI #2011-2127	3/2/2011	129 - - L - 004 - 001 - - - - -	
Location of Construction: 683 FOREST AVE	Owner Name: FURNITURE LLC VIP	Owner Address: 44 WASHINGTON AVE PORTLAND, ME - MAINE 04101	Phone:
Business Name: NOOR GROCERY	Contractor Name: BLUE COLD DISTRIBUTORS SHELLY PELLETIER	Contractor Address: 10 SNOW CANNING RD, SCARBOROUGH, ME 04074	Phone: ( ) 885-0107
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-2B
Past Use: RETAIL (FURNITURE)	Proposed Use: SAME: RETAIL (GROCERY STORE) – TO INSTALL INTERIOR WALK-IN FREEZER	Cost of Work: $3,000.00 Fire Dept: ✓ Approved w/ conditions ___ Denied ___ N/A Signature: CAPT. R. Gautreau	CEO District: Inspection: Use Group: M Type: N/A IBC-2009 Signature: MB 4/7/11
Proposed Project Description: 683 Forest Ave Permit#10-1388 – INSTALL WALK-IN FREEZER		Pedestrian Activities District (P.A.D.)	
Permit Taken By: LANNIE			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrial work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
___ Shoreland	___ Variance	✓ Not in Dist or Landmark
___ Wetlands	___ Miscellaneous	___ Does not Require Review
___ Flood Zone	___ Conditional Use	___ Requires Review
___ Subdivision	___ Interpretation	___ Approved
___ Site Plan	___ Approved	___ Approved w/Conditions
___ Maj ___ Min ___ MM	___ Denied	___ Denied
Date: ok with Conditions 3/28/11	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-02-378-UI **Located At:** 683 FOREST **CBL:** 129 - - L - 004 - 001 - - - - -

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. This property shall remain a retail use. Any change of use shall require a separate permit application for review and approval. All conditions on the tenant fit-up permit #10-1388 are still in force.

Fire

1. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
2. All construction shall comply with City Code Chapter 10.
3. Fire extinguishers are required. Installation per NFPA 10.
4. Install shall comply with all manufacture's specifications.
5. Installation shall meet all City of Portland Code requirements.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Electrical – Commercial
2. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCU0PIED.

ADDENDUM TO PERMIT # 10-1388

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 683 FOREST AVE		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# 129 Block# L Lot# 4	Owner: VIP Furniture LLC 44 Washington Ave PORTLAND	Telephone:
Lessee/Buyer's Name (If Applicable) NOOR GROCERY	Applicant name, address & telephone: BLUE COLD DISTRIBUTORS 10 Snow Canning RD SCARBOROUGH, ME 04074	Cost Of Work: $ 3,000.— Fee: $ C of O Fee: $ 50.00

Current legal use (i.e. single family) COMMERCIAL
If vacant, what was the previous use? FURNITURE RETAIL
Proposed Specific use: GROCERY RETAIL
Is property part of a subdivision? NO If yes, please name
Project description:
INSTALL WALK IN COOLER

RECEIVED
MAR 21 2011
Dept. of Building Inspections
City of Portland Maine

Contractor's name, address & telephone: BLUE COLD DISTRIBUTORS

Who should we contact when the permit is ready: Shelley Pelletier
Mailing address: Phone: 885-0107

10 SNOW CANNING RD.
SCARBOROUGH, ME 04074

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Shelley Pelletier Date: 03-21-11

This is not a permit; you may not commence ANY work until the permit is issued.

129-L-4

B-2-b — 3/21/11

WALK in Cooler - 2011-02-27 683 Forest Ave

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
18870	NOOR - Retail Grocery Store	Initialized	Tenant fit-up for grocery store NOOR UI #101388			

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

Permit #: 20111065

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
18870	NOOR - Retail Grocery Store	Initialized	Plumbing for permit#101388			

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Plumbing Permit Fees	$52.00			2/4/11	1066	$52.00		

Permit #: 20112127

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
18870	NOOR - Retail Grocery Store	Initialized	Install Walk in Cooler			

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Permit Based Fee	$50.00							

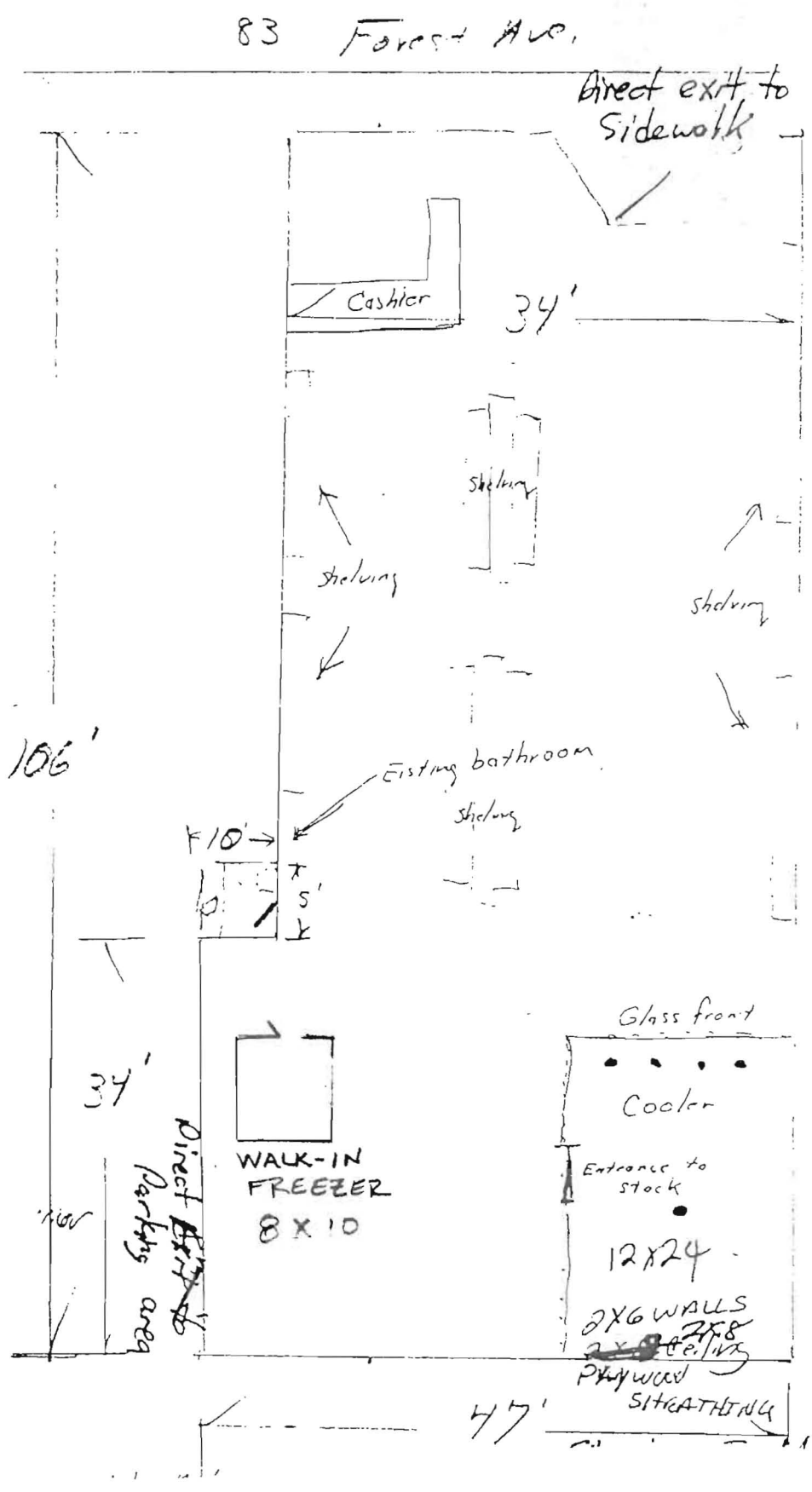
#10-1388

tenant fit-up for UI - Lonnie

ADDENDUM TO:

PERMIT #

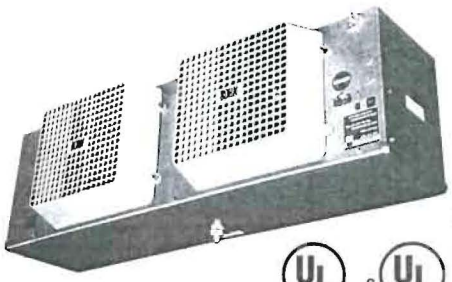
10-1388



ELECTRIC DEFROST

MODELS LET & LLE are Trim-Aire® unit coolers designed to maintain room temperatures from –20°F. to +34°F. Their low silhouette, only 15", and flush-to-ceiling mounting makes them ideal for use in low ceiling freezers or coolers with limited headroom. Model LET units, 6 fins per inch, can be used in rooms where light or medium frost loads are expected. Model LLE, 4 fins per inch, should be used in rooms with heavy frost loads.

Features include heavy aluminum casing and stainless steel screws for corrosion resistance, molded fan guards for ease of cleaning and directional air flow, and complete factory wiring of defrost components. The heaters slide into deep slots provided in the finned surface of the coil, and are easily removed when servicing is required.



SANITATION CLASSIFIED UL IM18 CLASSIFIED TO NSF C2-1988

See bulletin 403 for full details.

Model No.	BTUH 10° F TD +20°F. SST	BTUH 10° F TD –20°F. SST	CFM	Motor Info. 230/1 (All) Qty.	Motor Info. 230/1 (All) FLA	Heater Info. Watts	Heater Info. 230/1 Amps	Heater Info. 230/3 Amps	Heater Info. 460/1 Amps	Dimensions (In.) L	Dimensions (In.) H	Dimensions (In.) W	Connections (In.) Liq.	Connections (In.) Suct.	Connections (In.) Drain	Approx. Ship Wt. (Lbs.)
LET 040	4600	4000	840	1	1.1	1000	4.35	—	—	29	15	12	1/2 OD	5/8 OD	5/8 MF	42
LET 047	5400	4700	820	1	1.1	1000	4.35	—	—	29	15	12	1/2 OD	5/8 OD	5/8 MF	45
LET 065	7500	6500	1570	2	2.2	1600	6.96	4.60	3.48	41	15	12	1/2 OD	5/8 OD	5/8 MF	60
LET 090	10400	9000	1680	2	2.2	2000	8.70	5.80	4.35	49	15	12	1/2 OD	7/8 OD	5/8 MF	74
LET 120	13800	12000	2520	3	3.3	3000	13.04	8.60	6.52	69	15	12	1/2 OD	7/8 OD	5/8 MF	92
LET 160	18400	16000	3360	4	4.4	4000	17.39	11.50	8.70	89	15	12	1/2 OD	1 1/8 OD	3/4 FPT	122
LET 200	23000	20000	4200	5	5.5	5000	21.74	14.40	10.87	109	15	12	1/2 OD	1 1/8 OD	3/4 FPT	214
LET 240	27600	24000	5040	6	6.6	6000	26.09	17.20	13.04	129	15	12	1/2 OD	1 1/8 OD	3/4 FPT	242
LLE 102	12000	10200	2610	3	3.3	3000	13.04	8.60	6.52	69	15	12	5/8 OD	7/8 OD	5/8 MF	94
LLE 136	16000	13600	3480	4	4.4	4000	17.39	11.50	8.70	89	15	12	7/8 OD	1 1/8 OD	3/4 FPT	124
LLE 170	20000	17000	4350	5	5.5	5000	21.74	14.40	10.87	109	15	12	7/8 OD	1 1/8 OD	3/4 FPT	208
LLE 204	24000	20400	5220	6	6.6	6000	26.09	17.20	13.04	129	15	12	7/8 OD	1 1/8 OD	3/4 FPT	226

All LET and LLE unit coolers have 1/4" OD external equalization connections. Shading indicates LLE models with 4 fins per inch.

MODEL SME (Spacemizer™) is the compact, ceiling mount with only 8 5/8" height that provides maximum headroom in a commercial freezer. The center mount design allows for product to be stacked all around while air flow distributes evenly throughout the box. SME are designed for –20°F. to +34°F and are ideal for tight storage situations.

Standard features include a heavy gauge grained aluminum cabinet that cleans easily and looks attractive. The stainless steel screws prevent rust streaks, and the PVC coated fan guards won't rust. The SME is designed to be easy to install and service. All the defrost controls are mounted and wired to a terminal board, and panels on either end remove quickly for complete access to the refrigerant components and electrical connection point. A quick disconnect, waterproof plug and receptacle is supplied with each motor.

See bulletin 410 for full details.

SME Model No.	BTUH 10°F TD	BTUH 12°F TD	Fans CFM	Fans Qty.	Amps 208/230-1-50/60 Motors Shaded Pole	Amps 208/230-1-50/60 Motors PSC	Amps 208/230-1-50/60 Heaters	Dimensions (In.) L	Dimensions (In.) H	Dimensions (In.) W	Connections (In.) Inlet OD In.	Connections (In.) Suction OD In.	Approx. Ship Wt. (Lbs.)
040	4000	4800	610	1	1.1	0.4	5.3	31 1/2	8 5/8	28 13/16	1/2	7/8	82
054	5400	6480	1300	2	2.2	0.8	8.7	53 1/2	8 5/8	28 13/16	1/2	7/8	120
065	6500	7800	1260	2	2.2	0.8	8.7	53 1/2	8 5/8	28 13/16	1/2	7/8	120
090	9000	10800	1950	3	3.3	1.2	10.5	75 1/2	8 5/8	28 13/16	1/2	7/8	160
130	13000	15600	1830	3	3.3	1.2	15.7	75 1/2	8 5/8	28 13/16	1/2	7/8	174
174	17400	20880	2440	4	4.4	1.6	20.9	97 1/2	8 5/8	28 13/16	1/2	1 1/8	218

All SME units have 1/4" O.D. external equalizer connections and 3/4" FPT drain connection.

SANITATION CLASSIFIED UL IM18 CLASSIFIED TO NSF C2-1988

Technical Data Sheet

12/13/2010

Model:AHA2490ZXD

Product Description

Type:	Reciprocating
Application:	LBP - Low Back Pressure
Refrigerant:	R404A
Voltage/Frequency:	208-230V ~ 60HZ 200V ~ 50HZ

Product Specifications

Performance

		Refrigeration Capacity			Input Power	Efficiency			EVAP TEMP	COND TEMP	AMBIENT TEMP	RETURN GAS	LIQUID TEMP
Condition	Test Voltage	Btu/h	kcal/h	W	W	Btu/Wh	kcal/Wh	W/W					
ARI	230V ~ 60HZ	9400	2369	2754	2840	3.31	.83	.97	-23°C (-10°F)	49°C (120°F)	35°C (95°F)	4.4°C (40°F)	49°C (120°F)

General

Evaporating Temp. Range:	-40°C to -12.2°C (-40°F to 10°F)
Motor Torque:	High Start Torque (HST)
Compressor Cooling:	Fan

Mechanical

Weight:	78
Weight Unit of Measure:	N/A
Displacement (cc):	74.25
Oil Type:	N/A
Viscosity (cSt):	N/A
Oil Charge (cc):	1331
Sound Power dB(A):	N/A

Electrical

Voltage Range (50 Hz):	180-220
Voltage Range (60 Hz):	187-254
Locked Rotor Amps (LRA):	103
Rated Load Amps (RLA 50 Hz):	N/A
Rated Load Amps (RLA 60 Hz):	14.2
Max. Continuous Current (MCC in Amps):	25.5
Motor Resitance (Ohm) - Main:	N/A
Motor Resitance (Ohm) - Start:	N/A
Motor Type:	CSR
Overload Type:	N/A
Relay Type:	N/A

Agency Approval

CE Listed, CSA Listed, UL Recognized

DEPEND ON BALLY'S FOAMED-IN-PLACE URETHANE INSULATION

In a time when the elimination of CFCs has severely curtailed the effectiveness of many insulations, Bally's poured-foam urethane remains an outstanding choice.

The current formulation used in our panels relies on HCFCs, meeting international standards for CFC reduction as well as the U.S. Clean Air Act. Compared to the CFCs they replace, HCFCs reduce ozone depletion by a factor of ten. Yet they yield insulation with outstanding resistance to the transfer of heat — substantially more effective at resisting the transfer of heat than fiberglass, polystyrene or other common insulating materials.

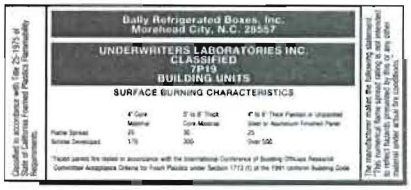
You also get these important advantages when you choose Bally:

- **Dimensional stability** — Bally urethane maintains its shape and size through a wide range of temperatures.
- **Light weight** — Poured-foam urethane insulation makes Bally panels light in weight, so they're easy to handle.
- **Energy efficiency** — The insulating superiority of Bally urethane saves money. You'll pay less to cool your Bally structure.

Approvals and Listings

Some manufacturers' statements of product safety are nothing but empty claims. Bally backs what it says with approvals and listings from leading independent quality certification organizations. Buyers can be sure that Bally products live up to the maker's claims and their own standards.

Underwriters Laboratories



No independent testing organization is more respected than Underwriters Laboratories. The tag at right, showing UL-tested listings for flame spread and smoke developed, appears on every Bally panel. It proves that the panels are UL-classified — a vital assurance to every buyer.

UL listings have also been granted to electrical systems in Bally structures, including interior lights, door heaters and refrigeration systems.

Factory Mutual

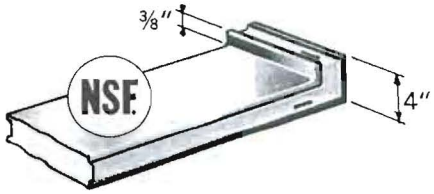
Bally panels have been approved as a Class 1 building material by Factory Mutual Insurance System, Norwood, Mass. This approval means that Bally wall and ceiling panels meet FM standards for walk-ins and refrigerated buildings without sprinklers.

New York City

Stringent tests on their urethane insulation have earned Bally walk-ins and refrigerated buildings the Materials and Equipment Approval of the City of New York. Also, to conform to the standards imposed by the city's Advisory Board, Bally makes available special wiring systems and a low-voltage heater.

National Sanitation Foundation

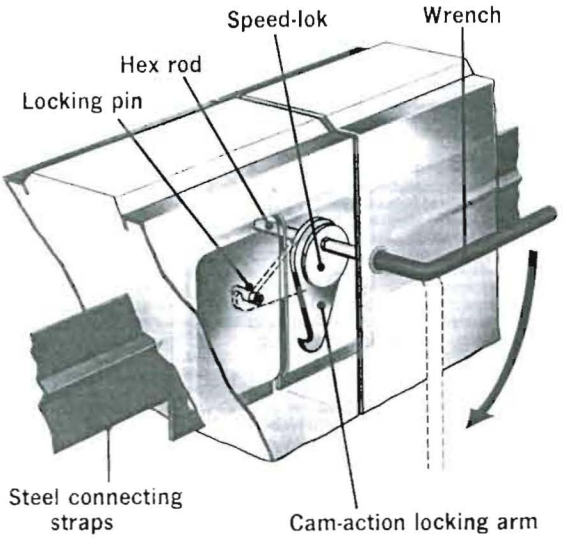
Approval of the National Sanitation Foundation is granted to Bally installations incorporating floor panels with a 3/8" coved offset.



Bally holds many more state and municipal code approvals. For details, contact our corporate headquarters in Morehead City, North Carolina.

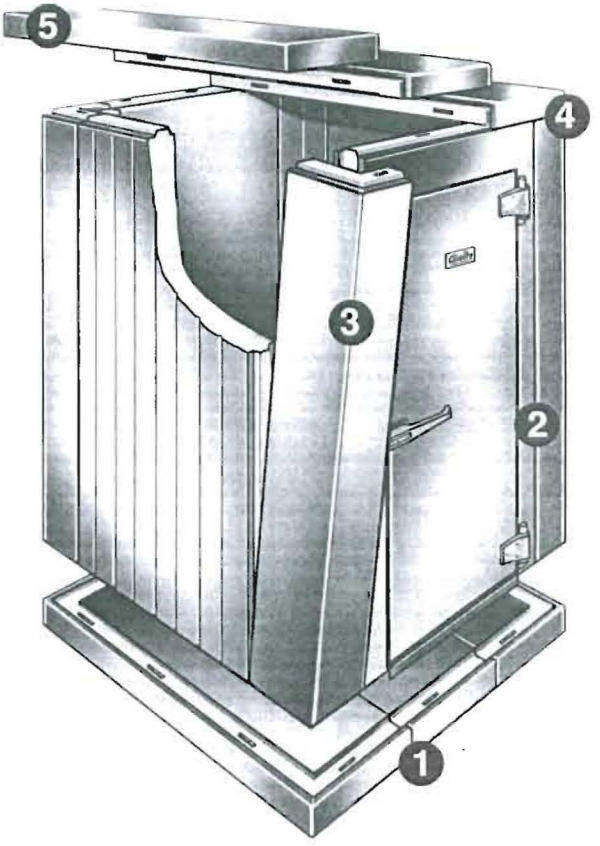
BALLY'S DIAPHRAGMATIC JOINING SYSTEM IS STRONG AND VERSATILE

The heart of a rugged, versatile walk-in is its joining system. Bally's diaphragmatic system — based on our superb Speed-lok — is proven effective in more than 150,000 installations worldwide. Bolstered by a steel strap foamed into the panels, Bally structures are unusually strong and versatile.



The Bally Speed-lok, consisting of only two simple assemblies, is operated by a single tool — a hex wrench.

1. Locking pin. This steel rod is precisely positioned so that the locking arm engages it tightly.
2. Locking arm is cam-mounted, with a hooked end. When a hex wrench is used to turn the arm, the eccentric movement of the cam first enables the hook to engage the pin and then draws the panels tightly together.

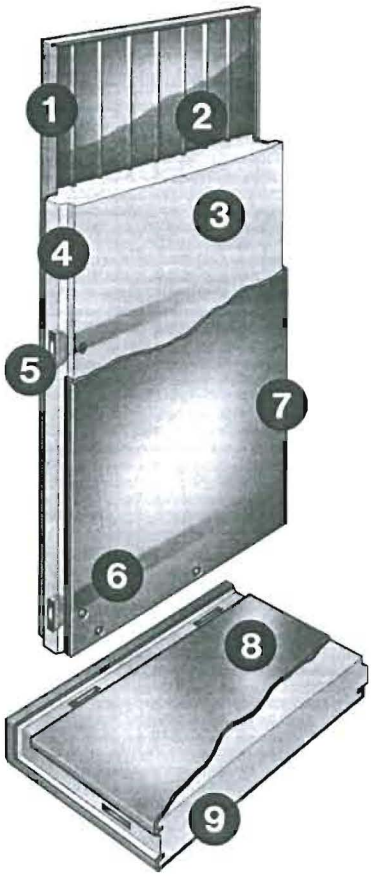


Five easy steps ...
to assemble a Bally walk-in

1. Position floor panels. Use Speed-loks to connect them. A level building floor is necessary.
2. Start assembling walls by joining a wall panel to a corner panel. Lock both panels to the floor. Each vertical panel contains at least four Speed-loks. Because locks are actuated from the inside, walk-ins can be installed close to existing walls.
3. Finish assembling walls by locking together remaining vertical panels. Install the fourth corner panel last.
4. Begin assembling the ceiling by locking the end ceiling to the side walls.
5. Complete the ceiling assembly by locking the remaining ceiling panels together and, in turn, to side walls.

SOLID FUNDAMENTALS: THE PRE-ENGINEERED PANEL

In making our panels, we take nothing for granted. We design and build our own heated molds, in which our panels are foamed-in-place precisely and accurately. The prime insulation built into those panels provides dimensional stability through a wide range of temperatures.



Standard Bally Panel
4", 5" or 6" thick
(Facing inside)

1. Outside skins are available in white polyester over smooth galvanized, white polyester or sand-tan polyester over embossed galvanized, embossed aluminum, embossed Galvalume® or stainless steel. Optional finishes in a spectrum of custom colors are also available, as are Sandex sand-textured finishes.
2. Bally wash primer for optimum foam adhesion.
3. Foamed-in-place urethane insulation, (poured, not frothed).
4. Tongues and grooves on panel edges are accurately molded urethane.
5. Cam-action Speed-lok joining mechanism for snug joints.
6. Heavy-gauge steel straps connect locking arms with locking pins on opposite edges of each panel.
7. Inside skins are available in white polyester over smooth or embossed galvanized, embossed aluminum, embossed Galvalume or stainless steel.
8. Interior metal floor panel skin. Heavy-gauge galvanized steel or optional stainless steel.
9. Exterior metal floor panel skin. Usually supplied in same finish as vertical panels. Edges capped with matching metal when stainless steel or white over galvanized steel are specified for verticals.

Type of Panel	Lengths	Widths	Heights/Comments †
Center Ceiling Panels	Vary **	11-1/2", 23", 34-1/2" or 46"*	—
End Ceiling Panels	Vary **	23-1/2"	—
Corner Panels	—	12" x 12" Outside width	6'10" thru 10'10", 11'4" thru 19'4", 19'8" thru 27'8" in one foot increments.††
Hinged Door Panels 4", 5" or 6"	—	46" Wide — 30" and 36" Opngs. 57-1/2" Wide — 36", 42", 48" Opngs. 69" Wide — 36", 42", 48" or 60" Opngs.	6'10", 7'10"; for taller buildings, panels of an appropriate size are installed above the door panel.
Wall Panels	—	11-1/2", 23", 34-1/2" or 46"*	6'10" thru 10'10", 11'4" thru 19'4", 19'8" thru 27'8" in one-foot increments.
Center Floor Panels	Vary **	11-1/2", 23", 34-1/2" or 46"*	—
End Floor Panels	Vary **	23-1/2"	—

* 17-1/4" wide panels available for special uses. Contact factory for details.
** Maximum length for 4" and 5" thick floor and ceiling panels is 11'6" for multi-span and 17'4" for single span (indoors). Smallest building size is 3'11"w x 5'10"l, size increases in 11-1/2" increments to any size building. For height, see "wall panels" above.
† Heights shown are for vertical panels only, for overall height add thickness of appropiate floor and ceiling panels.
†† May be fabricated in two pieces.